

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 11, 2025

Ronald Bohannon, PE
Tierra West, LLC
5571 Midway Park PI NE
Albuquerque, NM 87109

Re: Coors Village/ 4500 Quaker Hights NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 09-23-24 (F11-D019A)
Certification dated 02-06-25

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 02-05-25, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Albuquerque

Sincerely,

NM 87103

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

www.cabq.gov

\xxx via: email
C: CO Clerk, File

February 11, 2025

Marwa Al-najjar
Development Review Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: APPROVED SITE PLAN FOR BUILDING PERMIT
REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY
COORS VILLAGE, 4500 QUAKER HEIGHTS NW, ALBUQUERQUE, NM 87120**

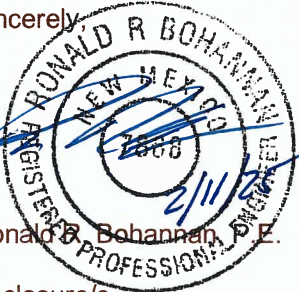
I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the as-built Approved Site Plan for Building Permit for issuance of a Permanent Certificate of Occupancy for the project referenced above. The project area as shown on the approved site plan is in substantial compliance as inspected on February 11th, 2025, and is in general accordance with the design intent of the Approved Site Plan for Building Permit dated 9/23/24.

The record information presented is not necessarily complete and intended only to verify substantial compliance with the site aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Therefore, we request approval of the as-built Approved Site Plan for Building Permit and issuance of the Permanent Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2019064
RRB/DB /bf

2019064 Permanent SP BP Letter-.docx

Site Plan Certification Punchlist
1) Install Flag pole
2) Install Bike Racks
3) Install Additional One Way sign at Roundabout
4) Install Monument Signage
5) Install Motorcycle Parking Signage

119064 Coors Village Tract 3A.dwg\AA\2019064_SP.dwg Sep 24, 2024 -- 7:27am

PROJECT NUMBER: PR-2018-001584

APPLICATION NUMBER: SI-2018-00151

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division

ABCWUA

Parks & Recreation Department

City Engineer/Hydrology

Code Enforcement

*Environmental Health Department (conditional)

Solid Waste Management

DRB Chairperson, Planning Department

* Environmental Health, if necessary

Date

Date

Date

Date

Date

Date

Date

KEYED NOTES:

1 CURB & GUTTER (SEE DETAIL SHEET C4)

2 STRAIGHT HC RAMP (SEE DETAIL SHEET C4)

3 CURB RETURN HC RAMP (SEE DETAIL SHEET C4)

4 SIDEWALK (DIMENSION ON PLAN) PER COA STD DWG #2430

5 PAVED PEDESTRIAN CROSSING OF COLORED, TEXTURED CONCRETE, DIMENSION ON PLAN (SEE NOTE 11 THIS SHEET)

6 DUMPSTER ENCLOSURE RECYCLE & WASTE (SEE DETAIL SHEET C4)

7 BIKE RACK (SEE DETAIL SHEET C5)

8 ACCESSIBLE PARKING SPACE TYPICAL SEE DETAIL SHEET C7 FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE). (SEE DETAIL SHEET C5)

9 PROPOSED MONUMENT SIGN (SEE ELEVATION SHEET C7 FOR DETAILS)

10 ASPHALT PAVEMENT (REFER GEOTECH REPORT)

11 ONE WAY SIGN (RIGHT DIRECTION)

12 ZERO CURB (SEE DETAIL SHEET C4)

13 SIGHT TRIANGLE (SEE NOTE 9 THIS SHEET)

14 MOTORCYCLE PARKING SIGN (SEE DETAIL SHEET C5)

15 SLOW POND (SEE GRADING SHEET FOR DETAILS)

16 GENERATOR BUILDING

17 "ONE WAY DO NOT ENTER" SIGN

18 SHUFFLE BOARD AND BOCCIE AREA (REFER ARCH PLANS)

19 PET WASTE BIN

~~20 OUTDOOR FIRE PIT~~

21 INSTALL PEDESTRIAN CROSSWALK SIGN BACK-TO-BACK REF: K-6534

22 INSTALL 36" R1-1 STOP SIGN

23 A 20' WIDE PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF TRACT 3-B MAINTAINED BY THE UNDERLYING PROPERTY OWNERS OF TRACT 3-A AND 3-B (12/31/2018, 2018C-169)

24 FLAG POLE (SEE ARCH. PLANS FOR DETAILS)

LEGEND

CURB & GUTTER

BOUNDARY LINE

EASEMENT

CENTERLINE

RIGHT-OF-WAY

BUILDING

SIDEWALK

SCREEN WALL

RETAINING WALL

STREET LIGHTS

LANE

STRIPING

EXISTING CURB & GUTTER

EXISTING BOUNDARY LINE

EXISTING SIDEWALK

EXISTING LANE

EXISTING STRIPING

NOTES:

1. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.

2. THE SITE IS WITHIN 300' OF BUS ROUTE #96, #790 AND #155 ON COORS BOULEVARD.

3. LIGHT POLES SHALL BE A MAXIMUM OF 16' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 16' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. BUILDING MOUNTED LIGHTING SHALL BE PROVIDED AT ALL BUILDING ENTRANCES AND EXITS. ALL SITE AND ACCESS LIGHTING SHOULD BE DESIGNED AS ENERGY SAVING LED LIGHTS.

4. STRUCTURE HEIGHT UP SHALL BE PER R-3 ZONE WITHIN TRACT 3-A AND SHALL ADDITIONALLY COMPLY WITH COORS CORRIDOR PLAN HEIGHT RESTRICTIONS.

5. SETBACKS SHALL BE PER THE R-3 ZONE WITHIN TRACT 3-A.

6. TRACT 3A SHALL ONLY BE OPERATED AS "HOUSING FOR OLDER PERSONS" AS THAT TERM IS DEFINED AT 42 U.S.C. SECTION 3607(B)(2). RESTRICTED TO RESIDENTS OF AGE 55 AND OLDER. THE FACILITY MAY PROVIDE SUPPORTIVE SERVICES SUCH AS MEALS, HOUSEKEEPING, SOCIAL ACTIVITIES, AND TRANSPORTATION.

7. BUILDING-MOUNTED LIGHTING SHALL BE PROVIDED AT ALL BUILDING ENTRANCES AND EXITS.

8. DUMPSTER ENCLOSURE SHALL BE PAINTED TO COMPLIMENT THE BUILDING.

9. MINI CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE (11'X11' PER DPM 7-11(D)).

10. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB AND GUTTER AS REQUIRED PER COA STD DWG 2430 AND 2415A.

11. PROPOSED DRIVE AISLE CROSSINGS TO BE ENHANCED INTEGRAL COLORED VEHICULAR CONCRETE PAVING WITH CONCRETE BANDS. SIDEWALKS TO BE CONCRETE.

INDEX TO DRAWINGS

C1. SITE PLAN FOR BUILDING PERMIT

C2. GRADING AND DRAINAGE PLAN

C3. MASTER UTILITY PLAN

C4. CONSTRUCTIONS DETAILS

C5. CONSTRUCTIONS DETAILS

C6. CONSTRUCTIONS DETAILS

L1. LANDSCAPING PLANS

B1. BUILDING ELEVATIONS

LEGAL DESCRIPTION:
Lot 3-A Coors Village Albuquerque, Bernalillo County, New Mexico January 2020

SITE INFORMATION

ZONE: MX-L (MIXED USE - LOW INTENSITY ZONE DISTRICT)
LOT AREA: 6.56 ACRES
PARCEL: TRACT 3A, COORS VILLAGE
BUILDING FOOTPRINT: 64,391 SF

SITE AREA ANALYSIS

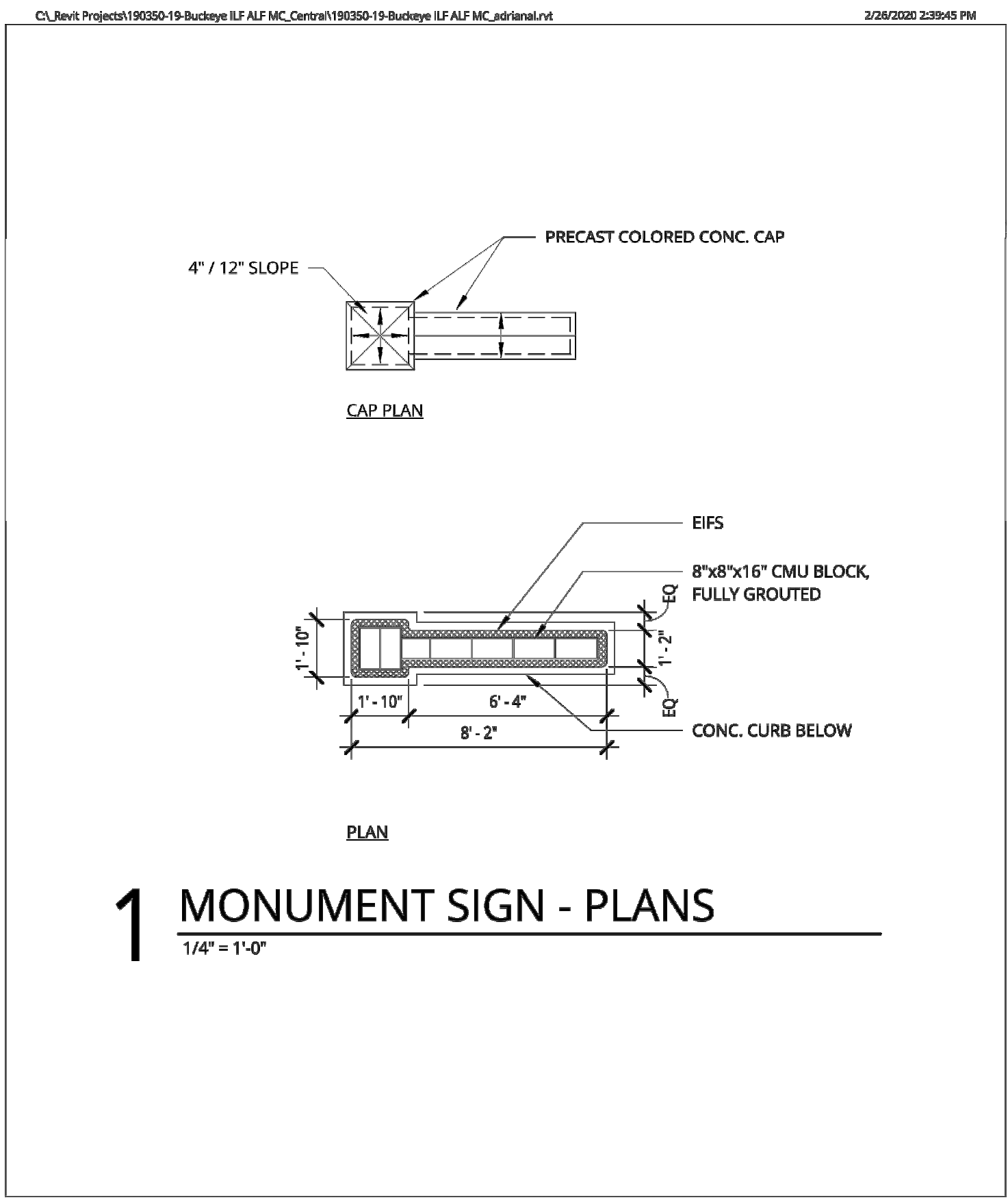
	AREA (SF)	% OF SITE
SITE AREA	286,087	100%
BUILDING AREA	64,391	22.8%
HARDSCAPE	30,709	10.7%
PARKING/ROADS	70,403	26.3%
LANDSCAPE	118,188	41.3%

PARKING

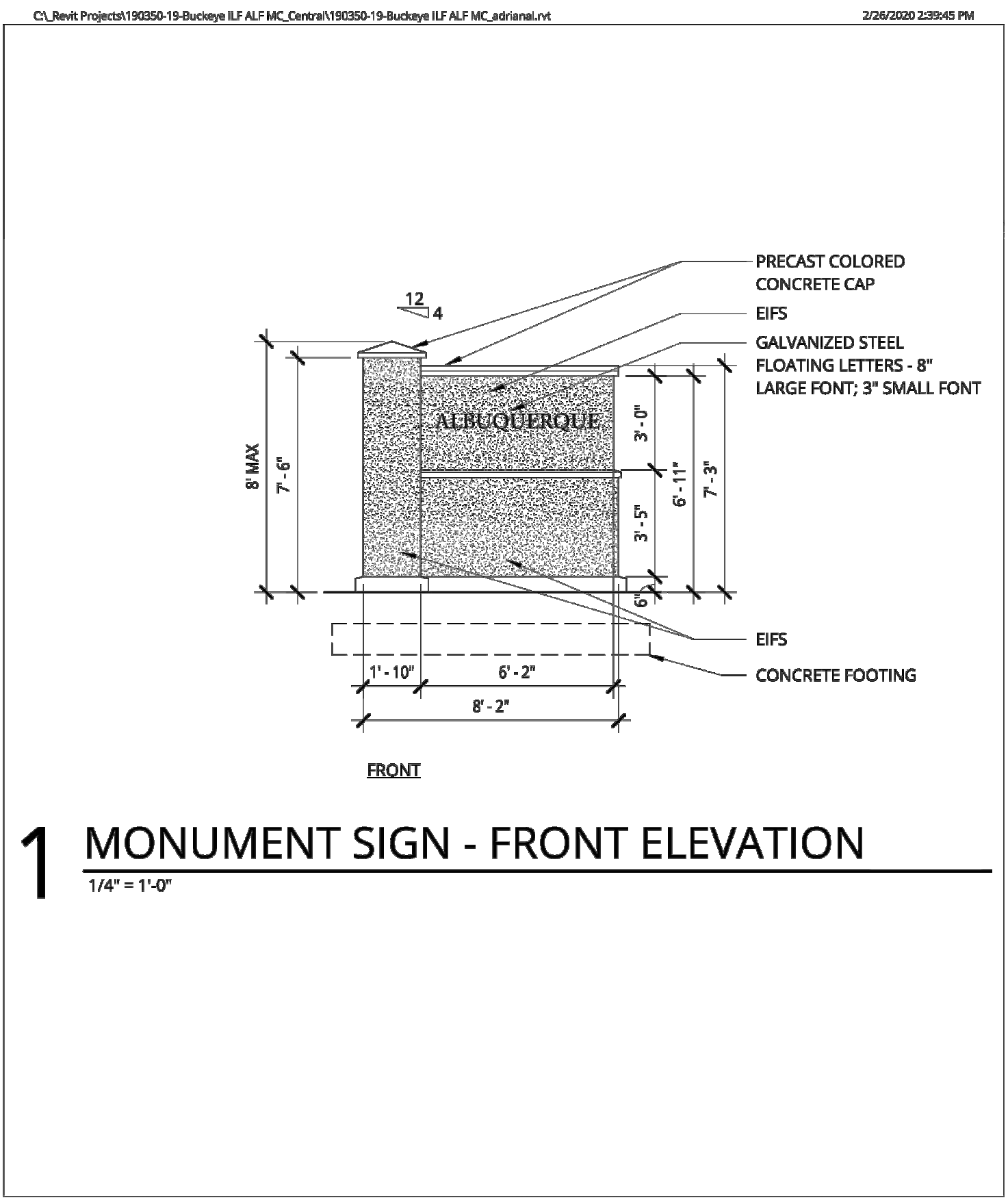
RESIDENTIAL USE	REQUIREMENT	UNIT/BEDS	PARKING PROVIDED
ASSISTED LIVING	1 SPACE / 3 BEDS	148 BEDS	50
NURSING HOME (MC)	1 SPACE / 5 BEDS	26 BEDS	6
ACCESSIBLE STALLS	101 - 300 SPACES = 8 ACC, 2 VAN	108	8
BICYCLE PARKING	10% OF REQ'D OFF STREET PARKING	56	6
TOTAL REQUIRED FOR CAMPUS: 56 STALLS			
TOTAL PROVIDED: 102 STANDARD STALLS, 8 ACCESSIBLE = 108 TOTAL PARKING STALLS			

PR-2018-001584, SI-2020-01022

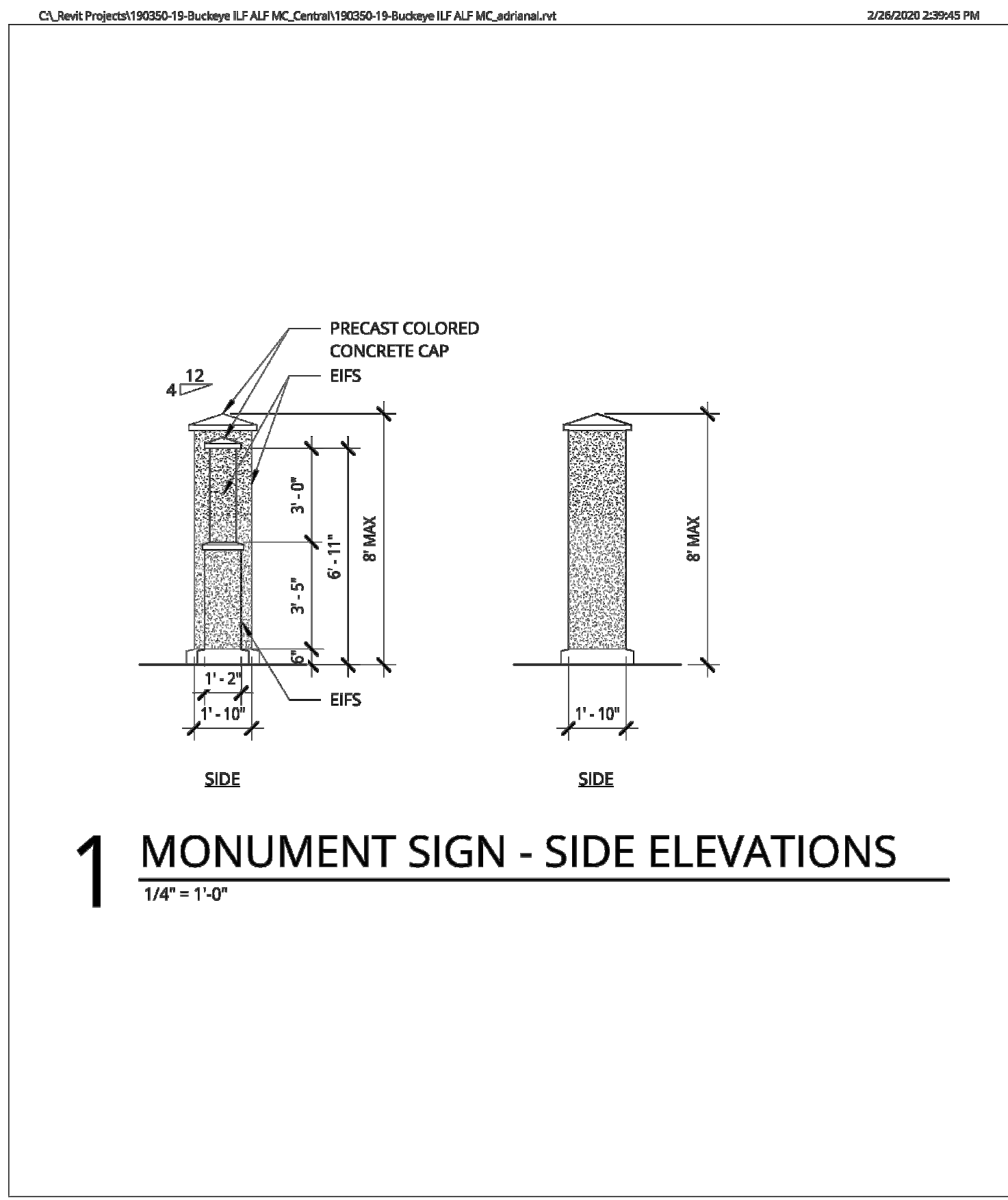
10	10-23-24	Proposed Monument Sign	
9	9-23-24	RECONFIGURE DRAINAGE SLOPE	RMG
8	9-23-24	DELETED PEDESTRIAN CONNECTION TO QUAKER HEIGHTS SIDEWALK	RMG
7	9-23-24	DELETED 6' PEDESTRIAN CROSSING	RMG
6	9-23-24	ADDED STEP TO GENERATOR PAD ACCESS DOOR	RMG
5	9-23-24	RELOCATED SIDEWALK AND LIGHT BASE FOR FIRE ACCESS	RMG
4	9-23-24	MOVED ADA FOR PEDESTRIAN CROSSING TO TOP OF GRADE BREAK	RMG
3	9-23-24	ADDED RAMP FOR ADA	RMG
2	9-23-24	RECONFIGURED SOUTHWEST CONNECTION	RMG
1	9-23-24	DELETED ADA SIDE CURB	RMG
NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		TRACT 3A COORS VILLAGE	
RONALD R. BOHANNAN		4500 QUAKER HEIGHTS ABQ NM 87120	
NEW MEXICO		SITE PLAN FOR BUILDING PERMIT	
7868		TERRA WEST, LLC	
09/23/2024		5571 MIDWAY PARK PLACE NE	
RONALD R. BOHANNAN		ALBUQUERQUE, NM 87109	
P.E. #7868		(505) 858-3100	
		www.tierawestllc.com	
		DRAWN BY	
		RMG	
		DATE	
		09/23/2024	
		2019064_SP	
		SHEET #	
		C1	
		JOB #	
		2024019	



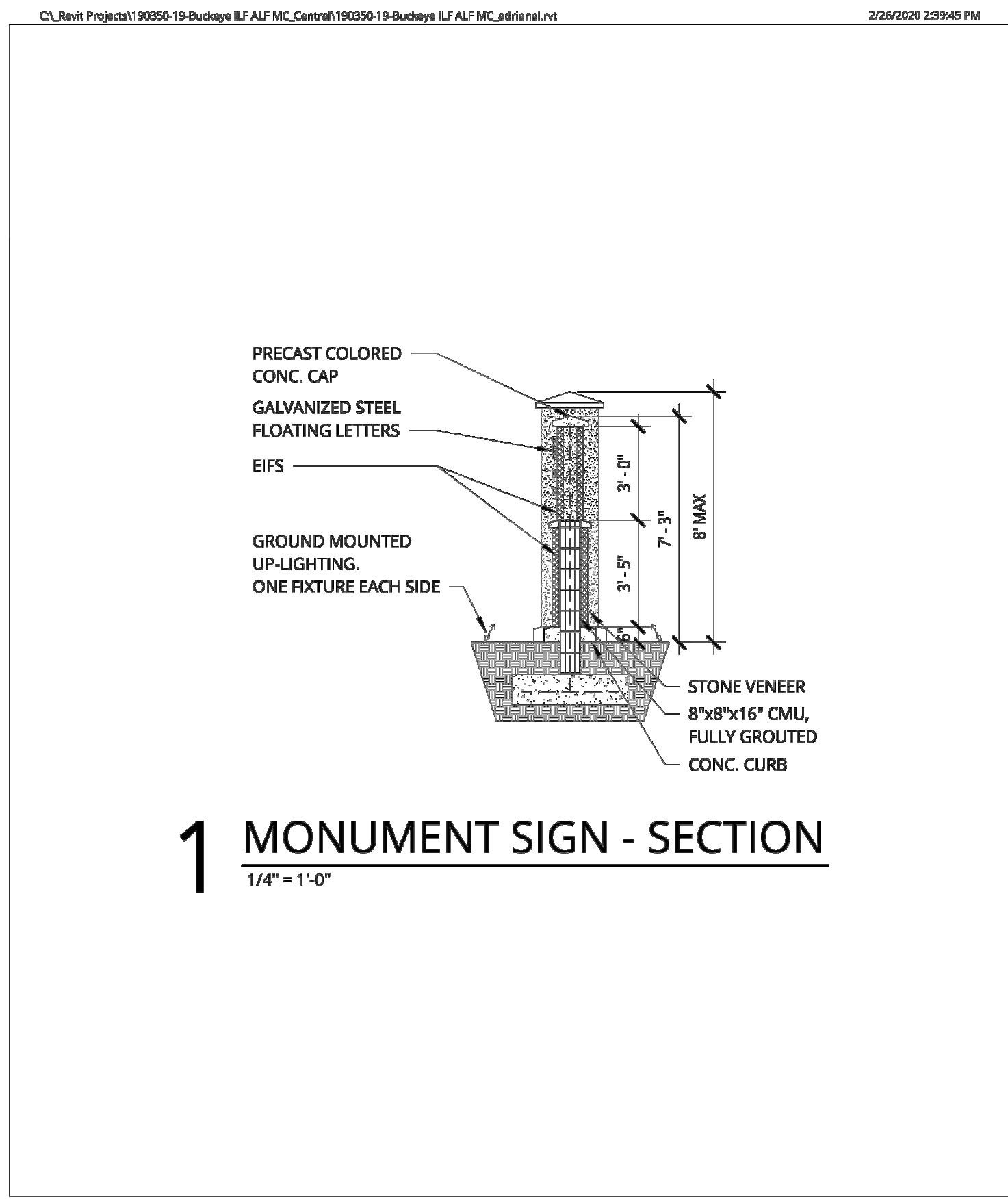
	<div>38 NORTHWEST DAVIS, SUITE 300 PORTLAND, OR 97209 T: 503.241.7100 1500 5TH AVE, SUITE 300 SEATTLE, WA 98101 T: 206.476.1500 © ANKROM MOISAN ARCHITECTS, INC.</div>	<div>ALBUQUERQUE SENIOR LIVING</div>	<div>Approver: DATE: ISSUE DATE PROJECT #: 190350 SCALE: 1/4" = 1'-0"</div>	<div>MONUMENT SIGN - PLAN</div>	<div>1.00</div>



	<div>38 NORTHWEST DAVIS, SUITE 300 PORTLAND, OR 97209 T: 503.241.7100 1500 5TH AVE, SUITE 300 SEATTLE, WA 98101 T: 206.476.1500 © ANKROM MOISAN ARCHITECTS, INC.</div>	<div>ALBUQUERQUE SENIOR LIVING</div>	<div>Approver: DATE: ISSUE DATE PROJECT #: 190350 SCALE: 1/4" = 1'-0"</div>	<div>MONUMENT SIGN - FRONT ELEVATION</div>	<div>2.00</div>



	<div>38 NORTHWEST DAVIS, SUITE 300 PORTLAND, OR 97209 T: 503.241.7100 1500 5TH AVE, SUITE 300 SEATTLE, WA 98101 T: 206.476.1500 © ANKROM MOISAN ARCHITECTS, INC.</div>	<div>ALBUQUERQUE SENIOR LIVING</div>	<div>Approver: DATE: ISSUE DATE PROJECT #: 190350 SCALE: 1/4" = 1'-0"</div>	<div>MONUMENT SIGN - ELEVATION</div>	<div>3.00</div>

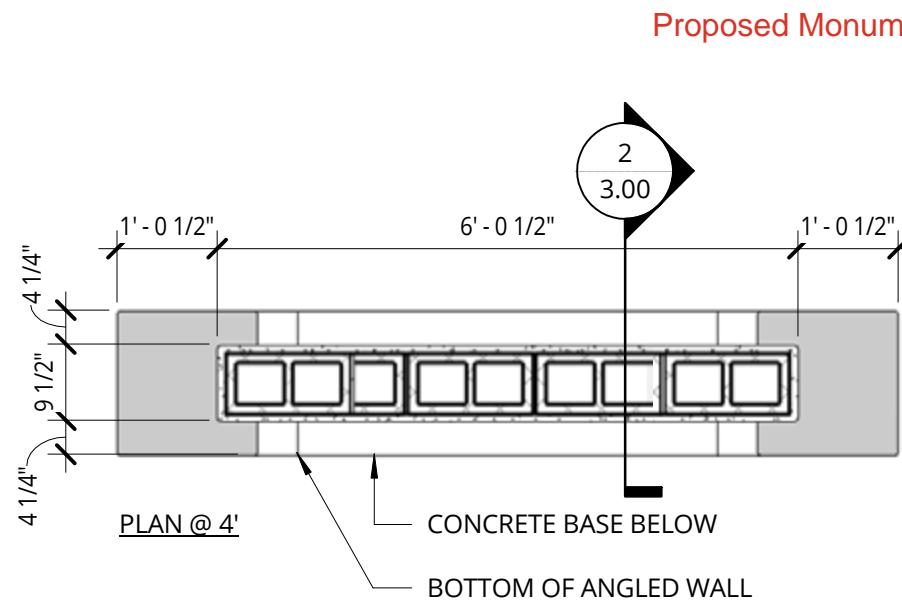
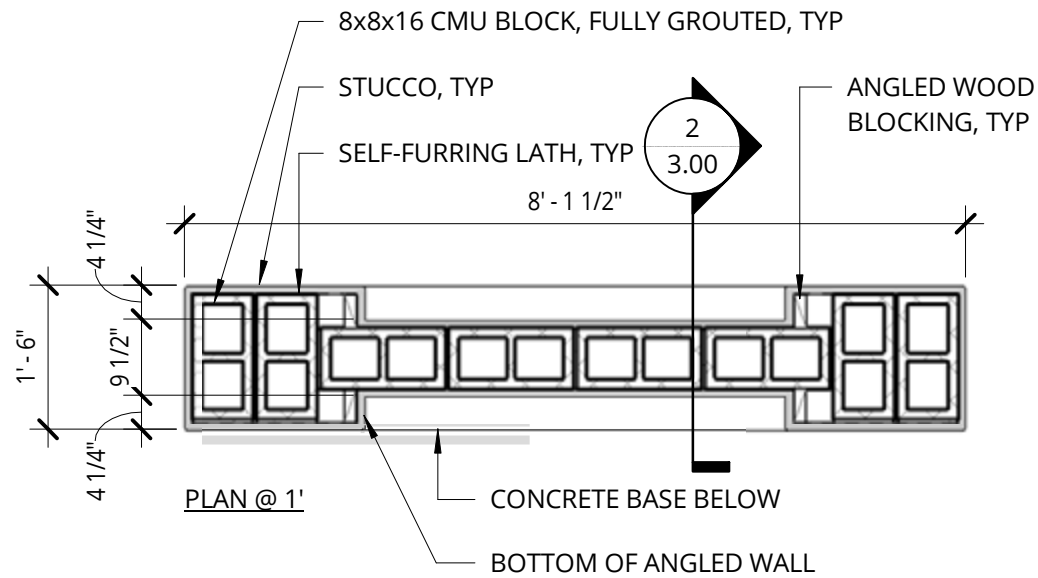


	<div>38 NORTHWEST DAVIS, SUITE 300 PORTLAND, OR 97209 T: 503.241.7100 1500 5TH AVE, SUITE 300 SEATTLE, WA 98101 T: 206.476.1500 © ANKROM MOISAN ARCHITECTS, INC.</div>	<div>ALBUQUERQUE SENIOR LIVING</div>	<div>Approver: DATE: ISSUE DATE PROJECT #: 190350 SCALE: 1/4" = 1'-0"</div>	<div>MONUMENT SIGN - SECTION</div>	<div>4.00</div>

We may need to update due to design change

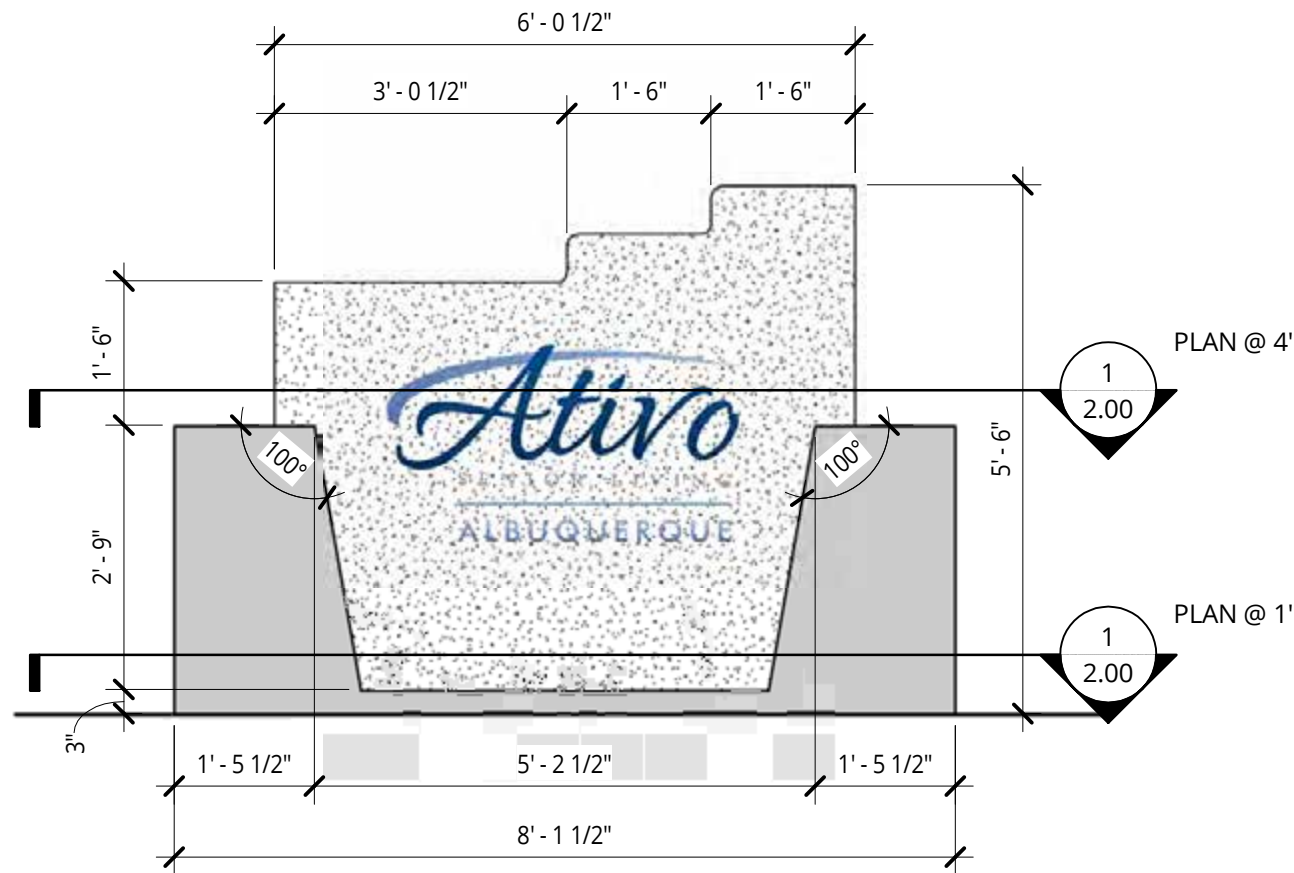
APPROVED Monument Sign

<div>ENGINEER'S SEAL 3/6/2020 RONALD R. BOHANNAN P.E. #7868</div>	<div>TRACT 3A COORS VILLAGE 4500 QUAKER HEIGHTS ABO NM 87120</div>	<div>DRAWN BY RS DATE 3/5/2020</div>
	<div>MONUMENT SIGN</div>	<div>2019064_DT</div>
<div> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div>	<div>SHEET # C7</div>	<div>JOB # 2019064</div>



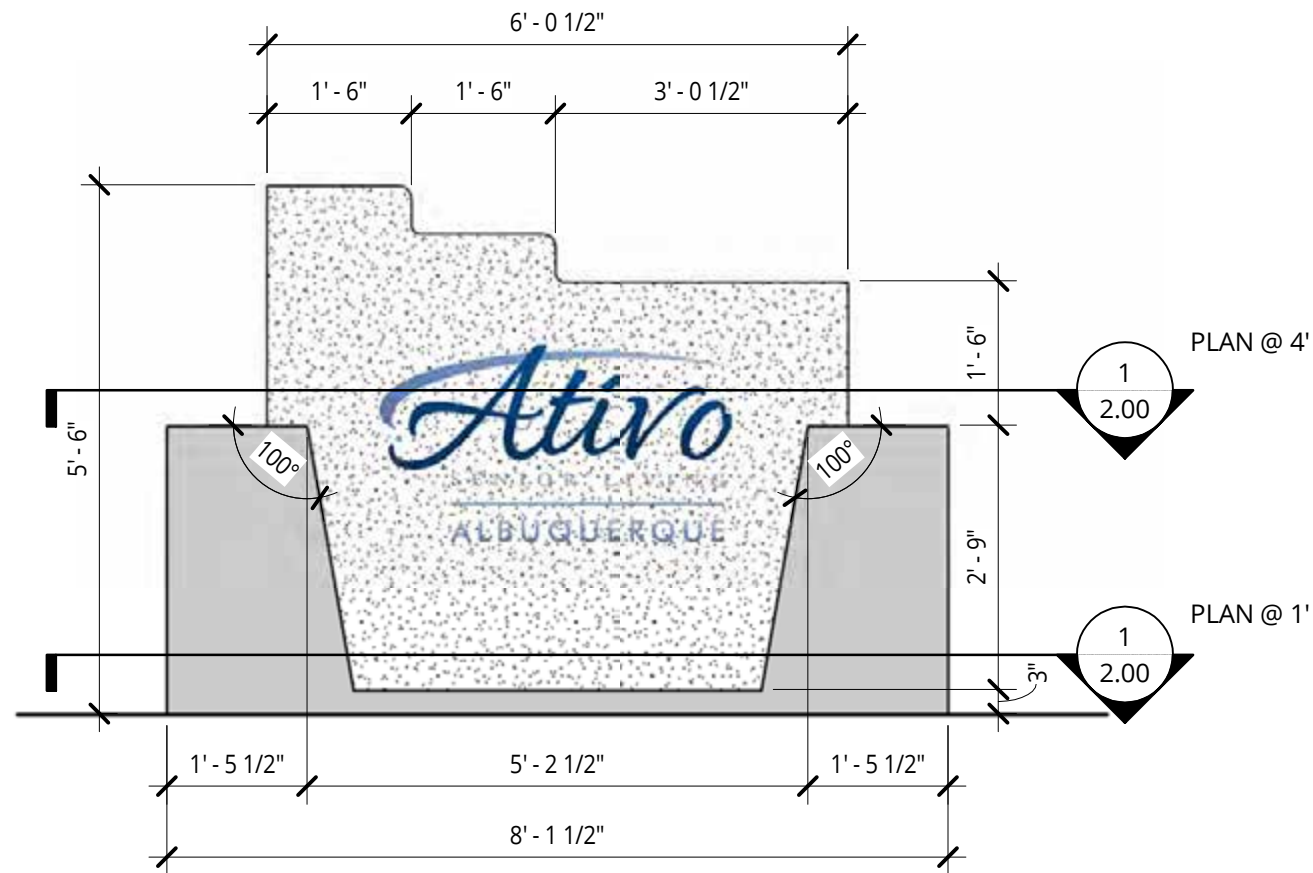
1 MONUMENT SIGN - PLAN

1/2" = 1'-0"



2 MONUMENT SIGN - FRONT ELEVATION

1/2" = 1'-0"



3 MONUMENT SIGN - REAR ELEVATION

1/2" = 1'-0"



38 NORTHWEST DAVIS,
SUITE 300
PORTLAND, OR 97209
T 503.245.7100

1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
T 206.576.1600

1014 HOWARD STREET
SAN FRANCISCO, CA 94103
T 415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

ATIVO SENIOR LIVING AT ALBUQUERQUE

4500 QUAKER HEIGHTS PL.

ALBUQUERQUE, NM

LINK SENIOR DEVELOPMENT

MONUMENT SIGN -
ELEVATIONS & PLANS

PERMIT SET

DATE: 01.28.2021

PROJECT #: 194000

SCALE 1/2" = 1'-0"

2.00

