

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 28, 2023

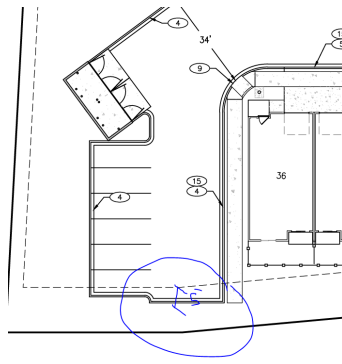
Ron E. Hensley, PE
The Group
300 Branding Iron Rd. SE
Rio Rancho, NM 87124

Re: Quaker Heights Townhomes
99999 Quaker Heights Pl. NW
Traffic Circulation Layout
Engineer's Stamp 02-16-23 (F11-D020A)

Dear Mr. Hensley,

Based upon the information provided in your submittal received 03-03-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify all existing access easements and rights of way width dimensions.
2. Per new city requirements a minimum 5' wide public sidewalk must be built from property line to property line along Quaker Heights Pl. and Milne Rd.
3. Please check with Code Enforcement if Motorcycle and Bicycle parking spaces are required.
4. Provide ADA parking space dimensions.
5. Please define the ADA pathway from the ADA parking aisle to the building entrance by labeling of flush or ramps.
6. ADA curb ramps must be updated to current standards and have truncated domes installed.
7. A 5 ft. keyway is required for dead-end parking aisles at the north west side of the site.



8. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
9. Provide a copy of Fire Marshal approval.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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10. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
11. Please remove Refuse Enclosure details from Transportation details sheet.
12. Please specify the City Standard Drawing Number when applicable.
13. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
14. Please provide a letter of response for all comments given.
15. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

PO Box 1293

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

Albuquerque

for log in and evaluation by Transportation.

NM 87103

If you have any questions, please contact me at (505) 924-3675.

www.cabq.gov

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: QUAKER HEIGHTS TOWNHOMES Building Permit #: _____ Hydrology File #: F11D020

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tracts 2-A and 2-B, Coors Village

City Address: 99999 Quaker Heights Pl.

UPC #101106116509431246

Applicant: THE Group Contact: Ron Hensley

Address: 300 Branding Iron Rd. SE, Rio Rancho, NM 87124

Phone#: 505-410-1622 Fax#: _____ E-mail: ron@thegroup.cc

Owner: Clearbrook Contact: Scott Henry

Address: 8801 Jefferson NE Bldg. A, ALBUQUERQUE, NM 87113

Phone#: 505-858-1800 Fax#: _____ E-mail: scotth@stillbrooke.com

TYPE OF SUBMITTAL: _____ PLAT (_____ # OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 3/02/23 By: THE Group / Ron Hensley

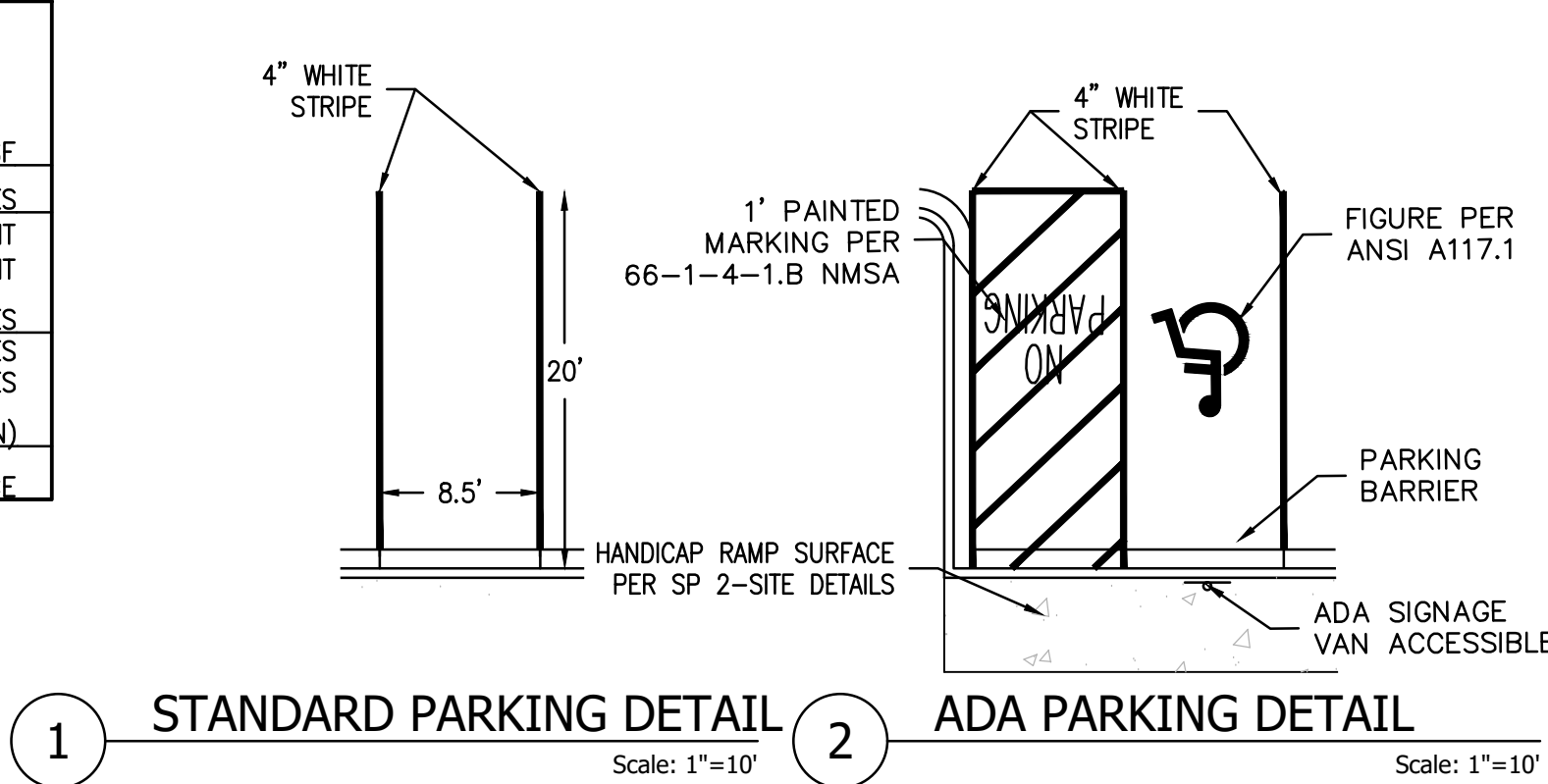
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

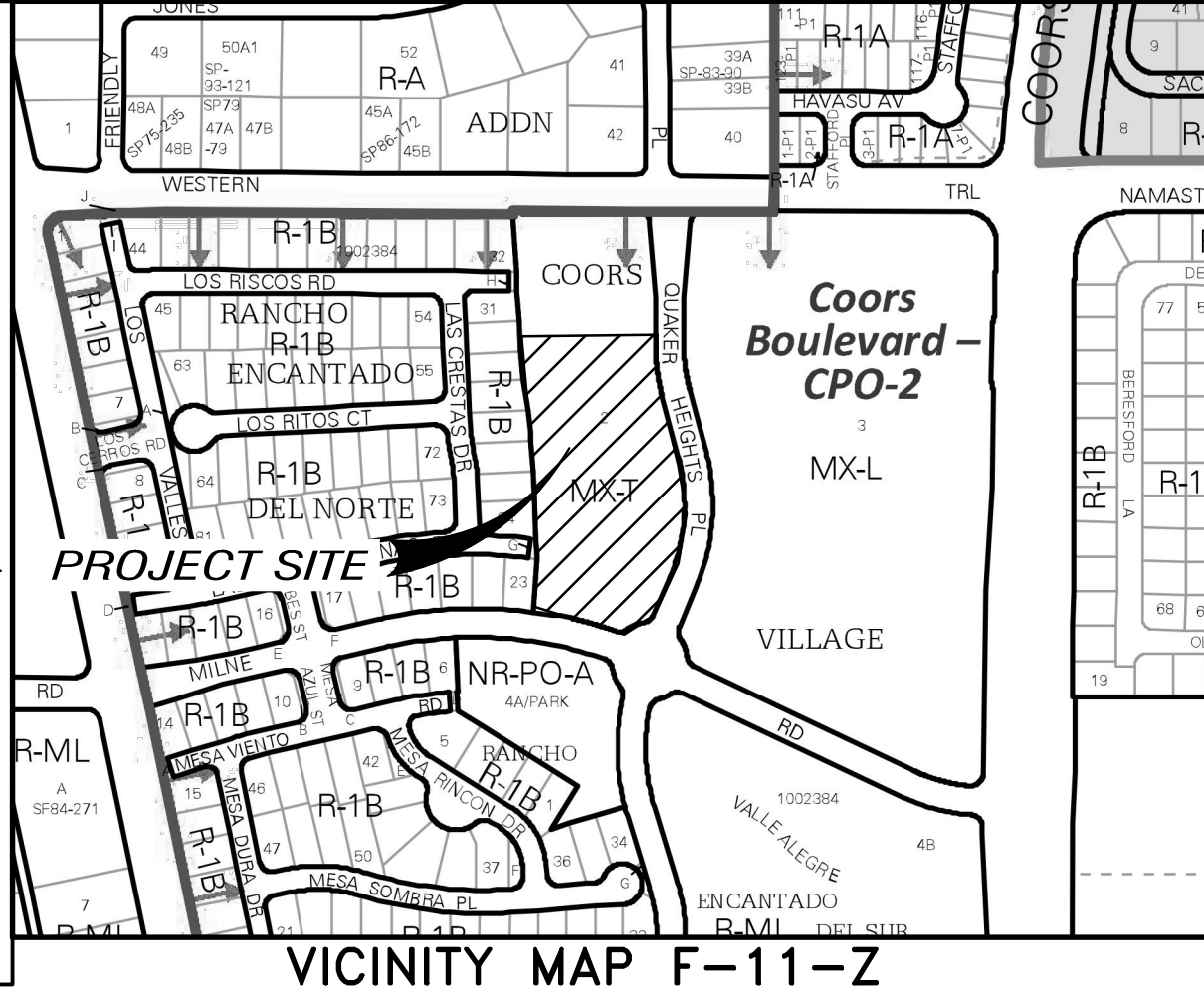
FEE PAID: _____

SITE DATA	
LOCATION	QUAKER HEIGHTS PL. N.W. ALBUQUERQUE, NM
LEGAL DESCRIPTION	TR 2-B FINAL PLAT TRACTS 2-A AND 2-B COORS VILLAGE
CURRENT ZONING	MX-T
LAND USE	LOW-DENSITY RESIDENTIAL
ZONE ATLAS PAGE	F-11
BUILDING CONSTRUCTION	2B
APPLICABLE CODE	2015 IBC / IFC
TOTAL LOT AREA	(3.45 AC) 150,099 SF
MAX. BUILDING HEIGHT ALLOWED	30 FEET
MAX. BUILDING HEIGHT	30 FEET
BUILDING FOOTPRINT AREA	47,844 SF
NET LOT AREA (LOT AREA - BUILDING AREA)	102,255 SF
NUMBER OF UNITS	52 SEMI-ATTACHED
LANDSCAPE AREA	38,933 SF
LANDSCAPE W/O TREES AND SHRUBS	6,733 SF
TOTAL LANDSCAPE % OF TOTAL LOT AREA	26%

PAVED, DRIVE AND PEDESTRIAN AREA	45,473 SF
REQUIRED PARKING	42*1 + 10*2=62 SPACES 1 SPACE / 2 BDR UNIT 2 SPACES / 3 BDR UNIT
PARKING PROVIDED	81 SPACES 52 GARAGE SPACES 29 PARKING SPACES
REQUIRED ADA PARKING	1 SPACES (1 VAN)
PROVIDED ADA PARKING	1 GARAGE SPACE/UNIT + 1 VAN SPACE



QUAKER HEIGHTS PL. N.W.
(56' R/W)



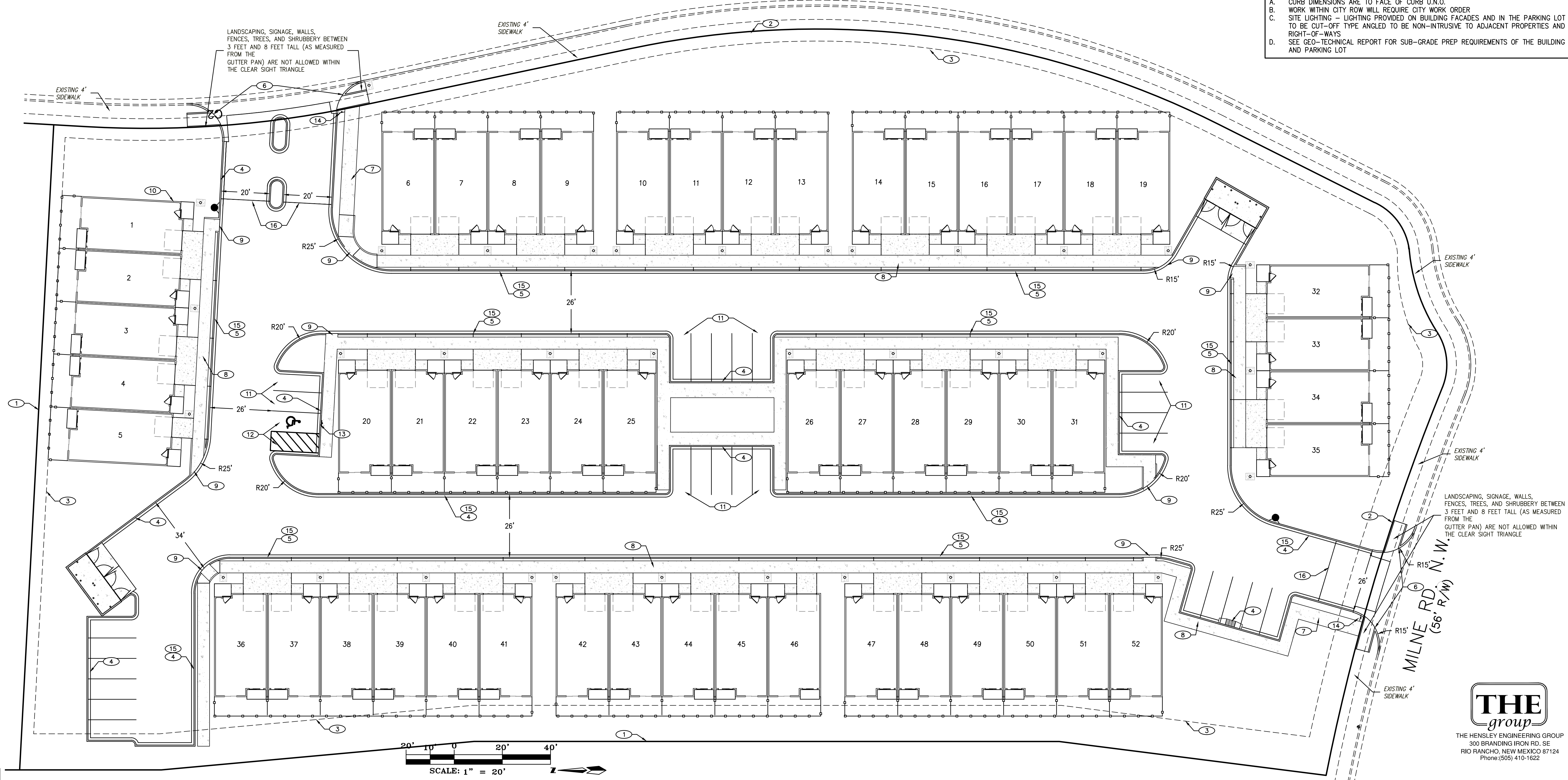
GENERAL NOTES

A. CURB DIMENSIONS ARE TO FACE OF CURB U.N.O.

B. WORK WITHIN CITY ROW WILL REQUIRE CITY WORK ORDER

C. SITE LIGHTING - LIGHTING PROVIDED ON BUILDING FACADES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGLED TO BE NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS

D. SEE GEO-TECHNICAL REPORT FOR SUB-GRADE PREP REQUIREMENTS OF THE BUILDING AND PARKING LOT



1. THIS SET OF DRAWINGS EXIST AS A WHOLE. IF THE SOLE CONTRACTOR INVOLVED IN THE DRAWING AS SUCH, EACH SHEET SHALL BE RESPONSIBLE TO THEIR RESPECTIVE DISCIPLINE.

2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN INCORPORATION, THE DRAWING TO VERIFY OR DESIGN DIMENSIONS IS NOT RECOMMENDED.

PROJECT ADDRESS: 9999 QUAKER HEIGHTS PL. N.W. ALBUQUERQUE, NM

CLIENT'S NAME:

PROJECT NAME: QUAKER HEIGHTS TOWNHOMES

PROJECT NUMBER:

PROJECT PROGRESS: SITE PLAN

DRAWN BY: REH

CHECKED BY: REH / REH

DATE: NOV. 4, 2022

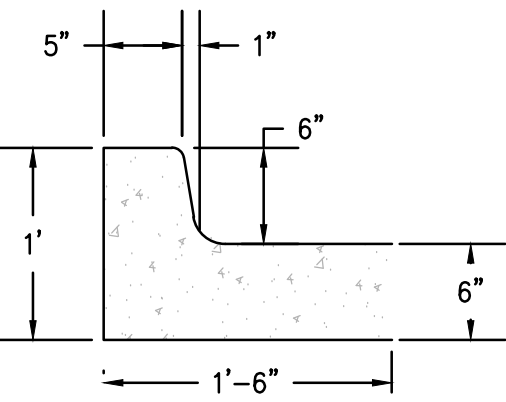
SCALE: AS NOTED

SHEET:

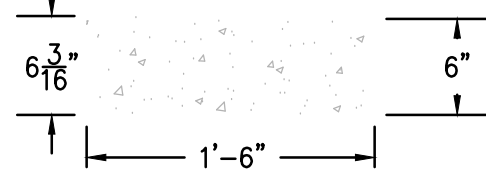
THE group

THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone:(505) 410-1622

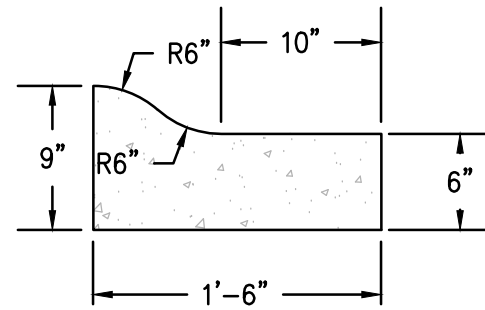
TCL



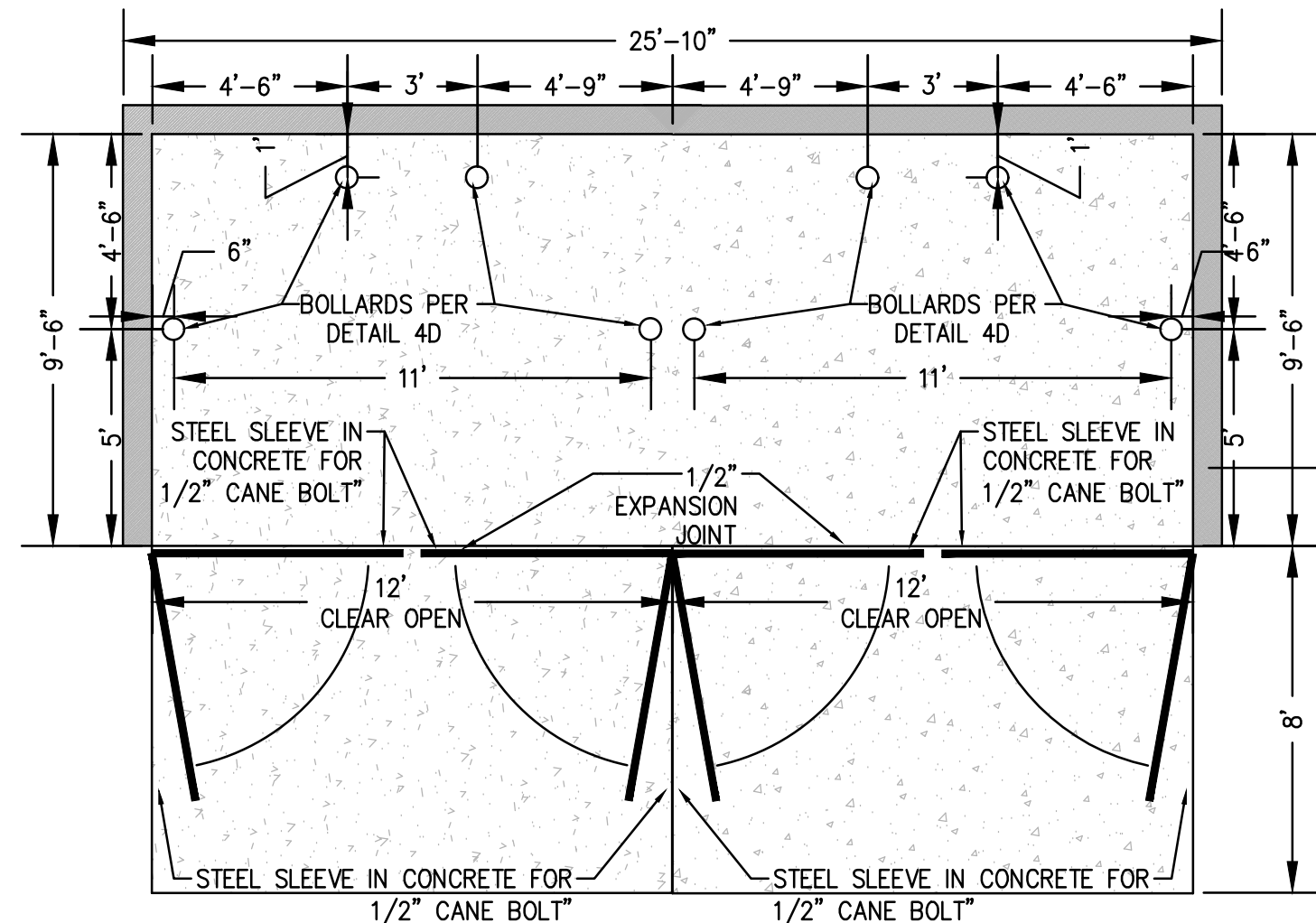
1 STANDARD CURB DETAIL
Scale: 1"=1'



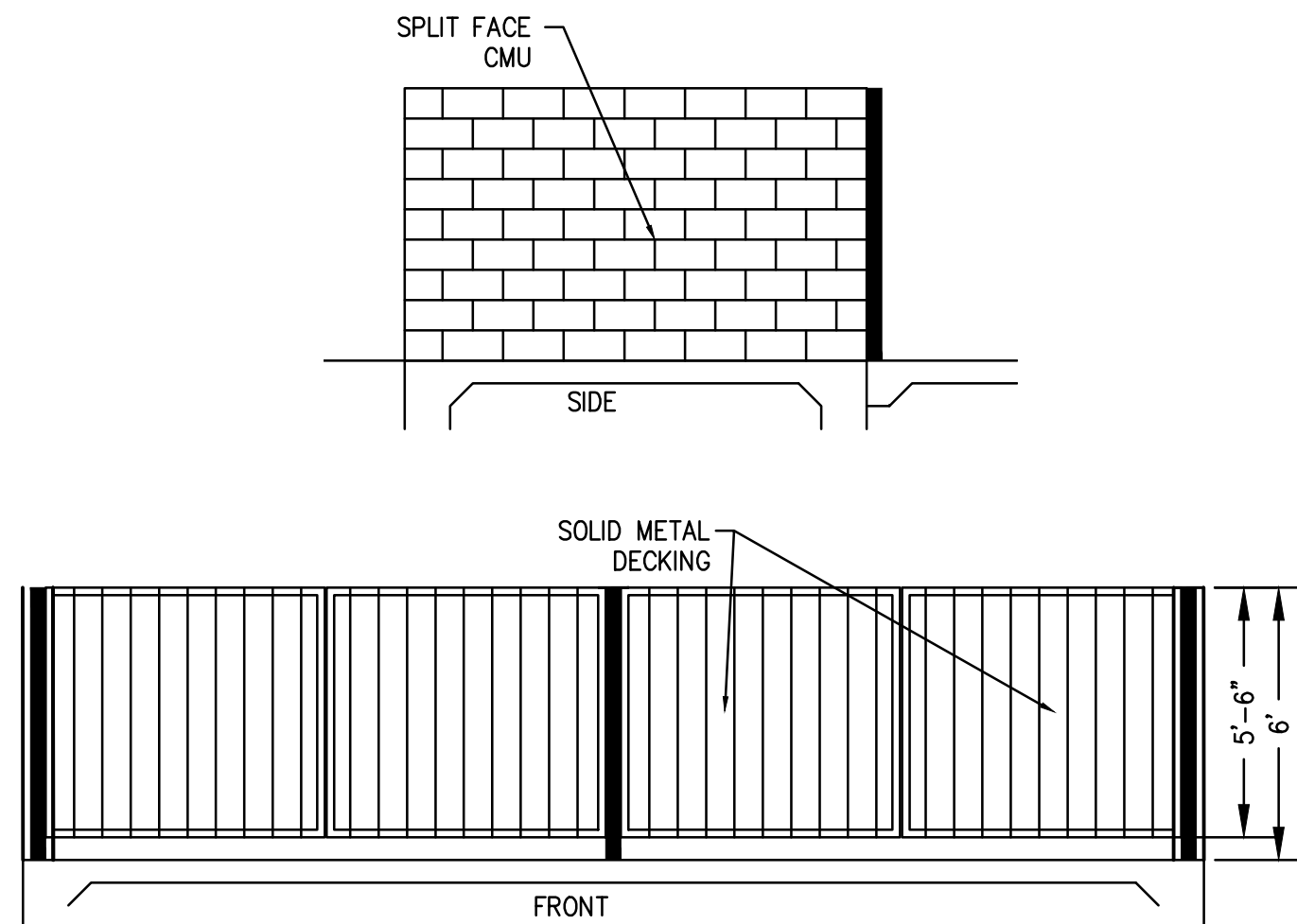
2 ESTATE CURB DETAIL
Scale: 1"=1'



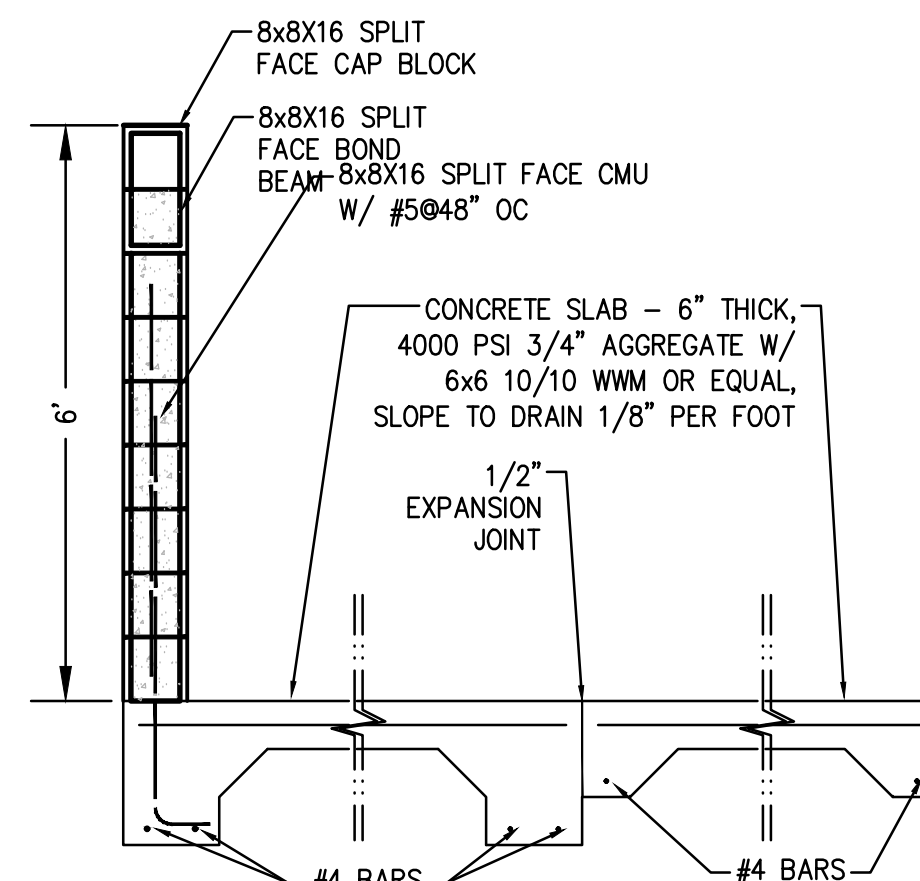
3 MONTABLE CURB DETAIL
Scale: 1"=1'



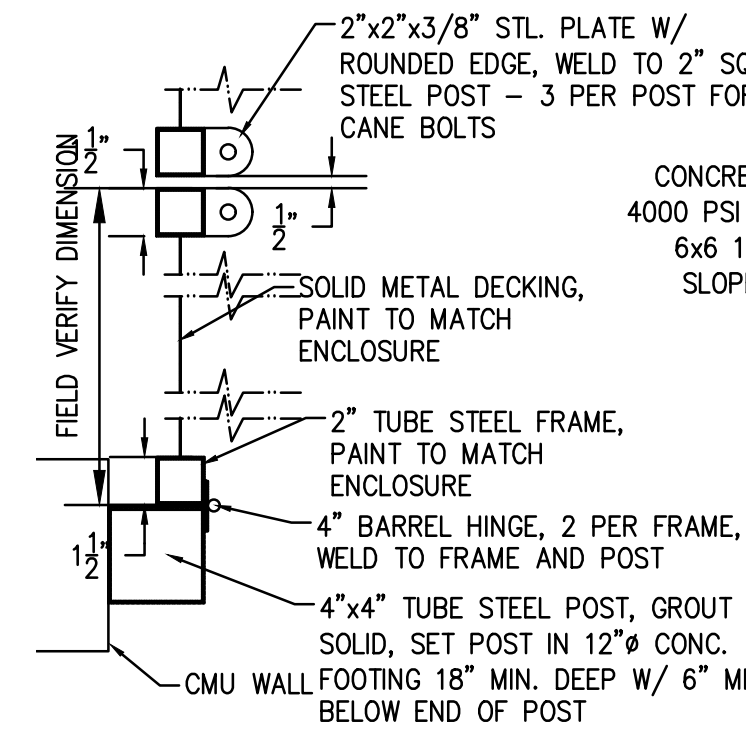
4 REFUSE ENCLOSURE
Scale: 1/4"=1'



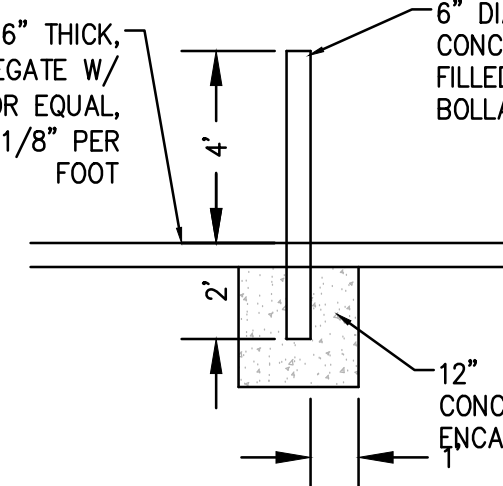
4A ENCLOSURE ELEVATIONS
Scale: 1"=5'



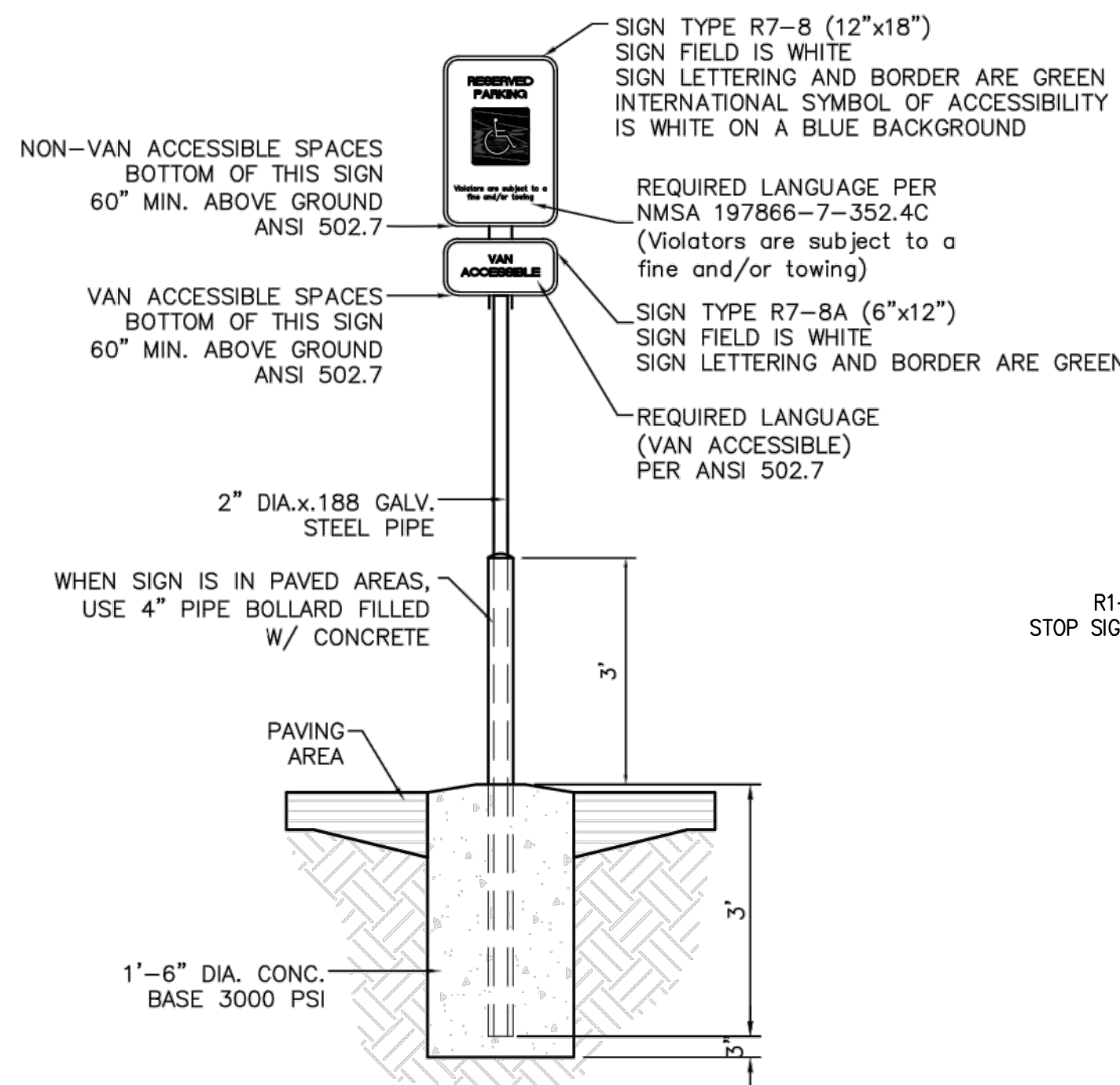
4B ENCLOSURE SLAB
Scale: 1/2"=1'



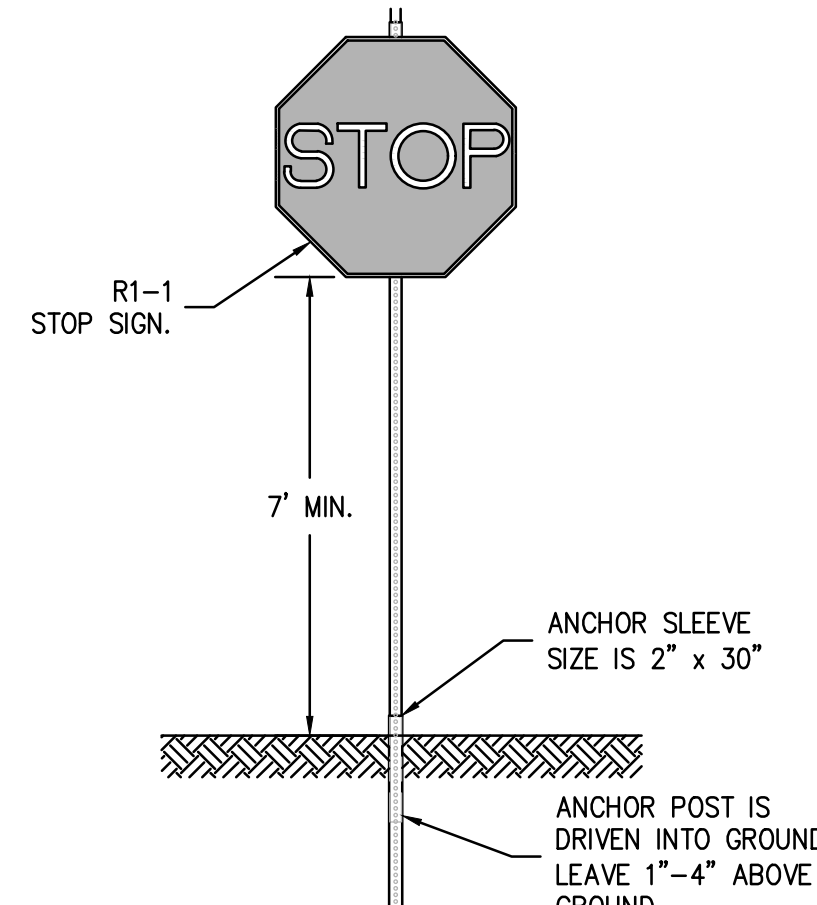
4C ENCLOSURE GATE
Scale: 1-1/2"=1'



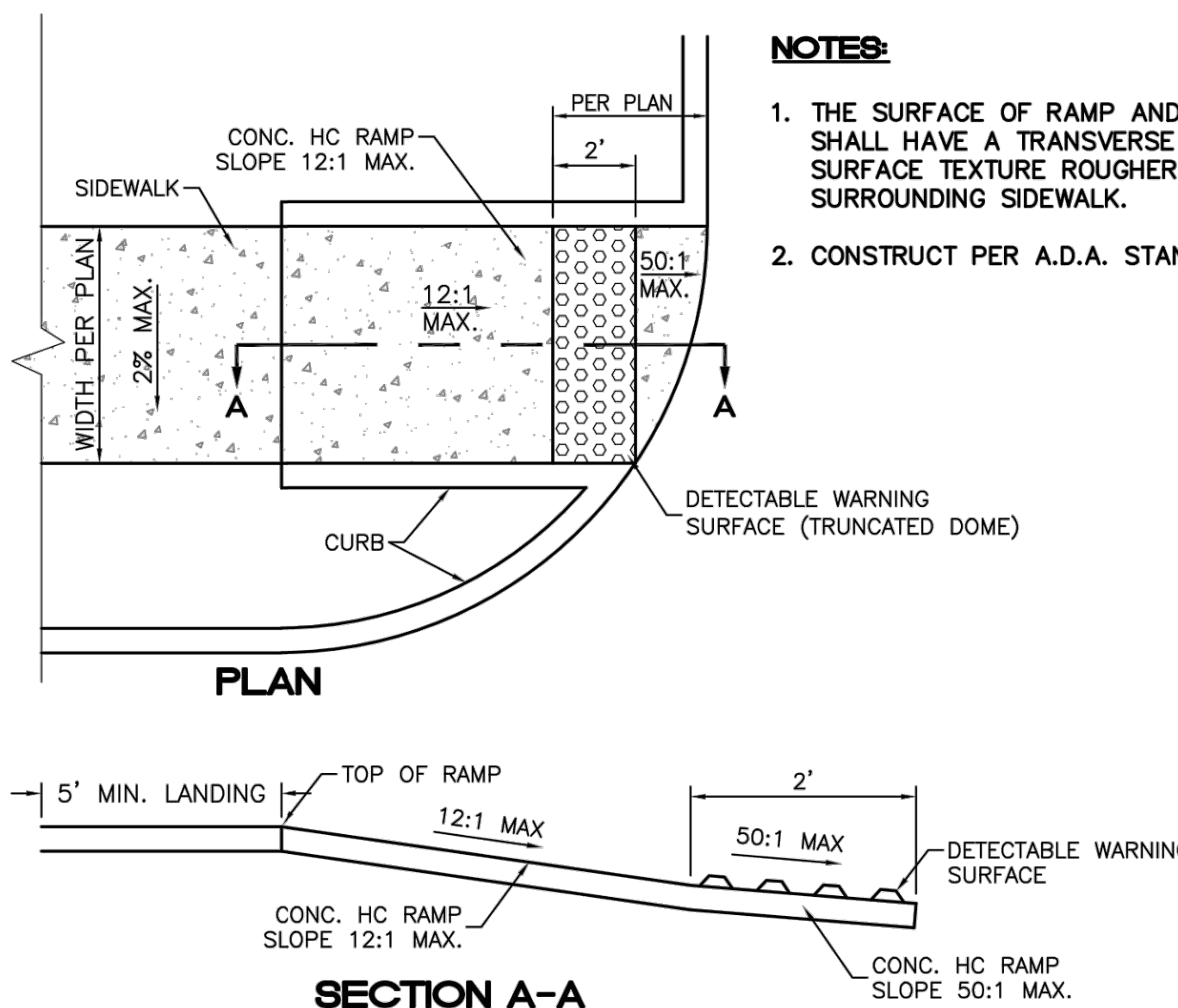
4D BOLLARD
Scale: 1/4"=1'



5 ADA SIGNAGE DETAIL
Scale: NTS



6 REGULATORY SIGN DETAIL
Scale: NTS



7 ADA RAMP DETAIL
Scale: 1/2"=1'

GENERAL NOTES

- CURB, GUTTER AND SIDEWALK WILL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
- SUBGRADE UNDER CURB, SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED TO A DRY DENSITY GREATER THAN 95 PER CENT OF MAXIMUM DRY DENSITY IN A MOISTURE RANGE OF OPTIMUM MOISTURE $\pm 2\%$ AS DETERMINED IN ACCORDANCE WITH ASTM D1557, UNLESS THE MATERIAL CONTAINS 35% OR MORE MATERIAL FINER THAN THE NO. 200 SIEVE. IF THE SUBGRADE MATERIAL HAS 35% OR MORE MATERIAL FINER THAN THE NO. 200 SIEVE, THE SUBGRADE SHALL BE COMPACTED TO A DRY DENSITY GREATER THAN 95 PERCENT OF MAXIMUM DRY DENSITY IN A MOISTURE CONTENT RANGE OF AT LEAST OPTIMUM MOISTURE TO OPTIMUM MOISTURE $\pm 4\%$ AS DETERMINED IN ACCORDANCE WITH ASTM D69.
- 1/4" EXPANSION JOINTS WHERE SIDEWALK ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS. SPACING 12' MIN. 22' MAX.
- FOR CURB ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX. SPACING. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOoled A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS.
- 1/4" EXPANSION JOINTS WHERE SIDEWALK ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS. SPACING 12' MIN. 22' MAX.
- 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.
- ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
- ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2%.

NOTES

- THE SURFACE OF THE RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- CONSTRUCT PER A.D.A. STANDARDS

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- CONSTRUCT PER A.D.A. STANDARDS.



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PROJECT ADDRESS: 99999 QUAKER HEIGHTS PL. N.W. ALBUQUERQUE, NM
PROJECT NAME: QUAKER HEIGHTS TOWNHOMES
SHEET: SP 2