



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 12/2020)

Project Title: Cambria Hotel Building Permit #: _____ Hydrology File #: F11D020

Zone Atlas Page: F-11 DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TR 2-B FINAL PLAT TRACTS 2-A AND 2-B COORS VILLAGE

City Address: 99999 Quaker Heights Pl. NW UPC #101106116509431246

Applicant: THE Group / Ron Hensley Contact: _____

Address: 300 Branding Iron Rd. SE, Rio Rancho, NM 87124

Phone#: 505-410-1622 Fax#: _____ E-mail: ron@thegroup.cc

Development Information

Build out/Implementation Year: 2024 Current/Proposed Zoning: MX-T

Project Type: New: ☒ Change of Use: () Same Use/Unchanged: () Same Use/Increased Activity: ()

Proposed Use (mark all that apply): Residential: ☒ Office: () Retail: () Mixed-Use: ()

Describe development and Uses:
52 UNITS OF LOW DENSITY RESIDENTIAL

Days and Hours of Operation (if known): _____

Facility

Building Size (sq. ft.): _____

Number of Residential Units: 52

Number of Commercial Units: _____

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* _____

Expected Number of Employees (if known):* _____

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour (if known):* AM 23 trips, PM 29 trips

Driveway(s) Located on: Street Name Quaker Heights Pl.

Adjacent Roadway(s) Posted Speed: Street Name Posted Speed

Street Name Posted Speed

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Local
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: None
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: Unavailable Volume-to-Capacity Ratio: N/A
(if applicable)

Adjacent Transit Service(s): _____ Nearest Transit Stop(s): Bus Stop Route 96, Bus Stop 155

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: None
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: 4' Sidewalk

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [☐] No ☒ Borderline [☐]

Thresholds Met? Yes [☐] No ☒

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied: [☐]

Notes:

 P.E.

4/14/2023

TRAFFIC ENGINEER

DATE

Submittal

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer mgrush@cabq.gov . Call 924-3362 for information.

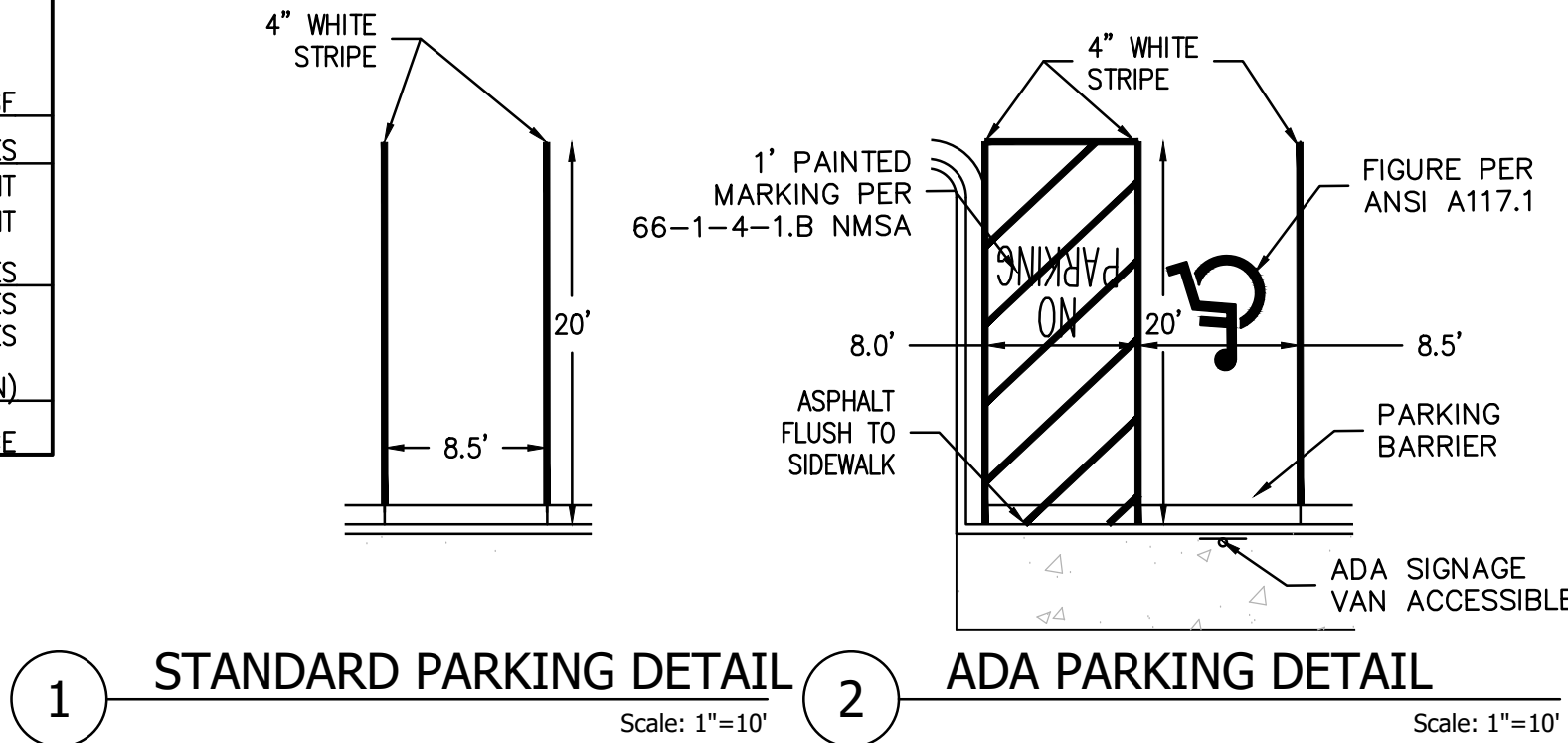
Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

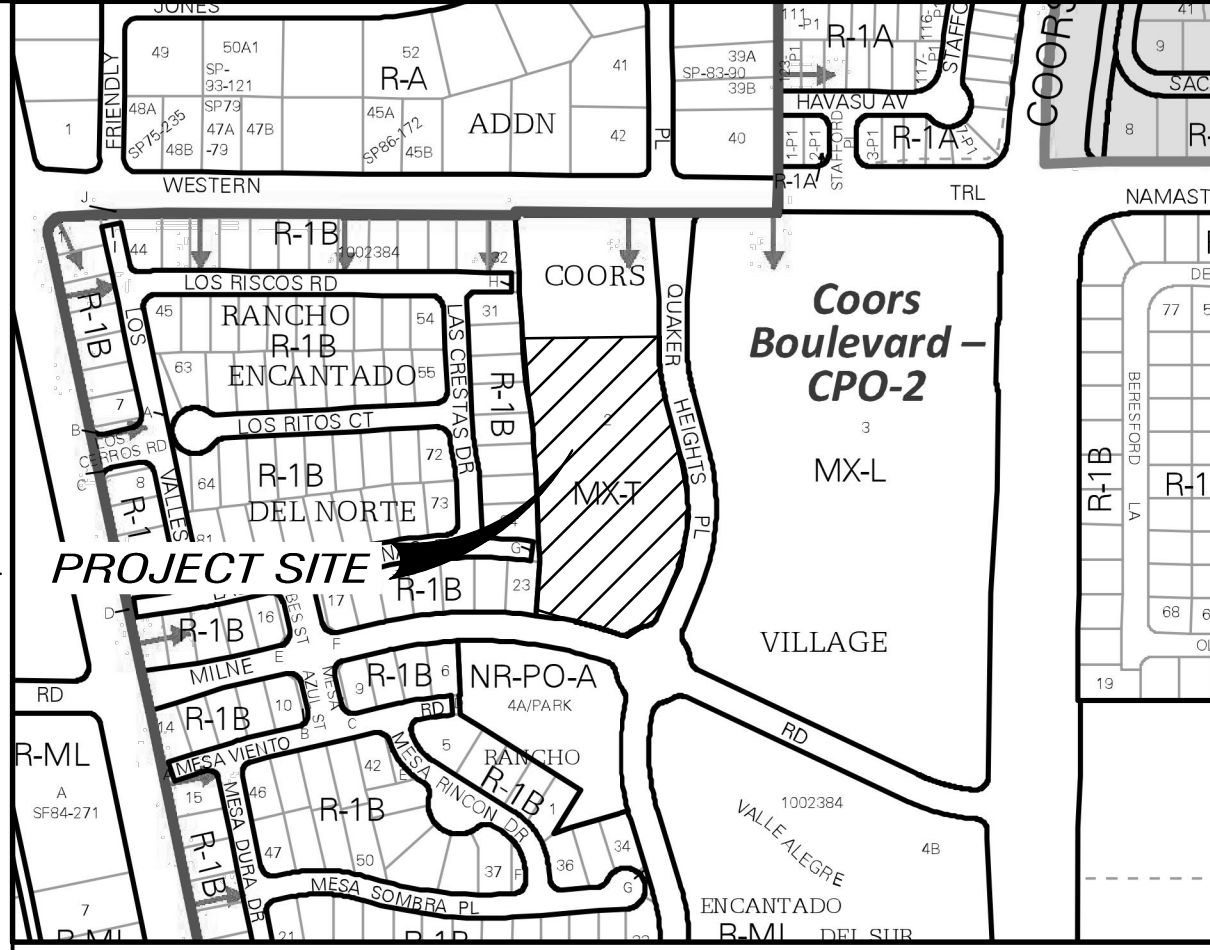
1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
4. Location of nearby multi-use trails, if applicable ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.

SITE DATA	
LOCATION	QUAKER HEIGHTS PL. N.W. ALBUQUERQUE, NM
LEGAL DESCRIPTION	TR 2-B FINAL PLAT TRACTS 2-A AND 2-B COORS VILLAGE
CURRENT ZONING	MX-T
LAND USE	LOW-DENSITY RESIDENTIAL
ZONE ATLAS PAGE	F-11
BUILDING CONSTRUCTION	2B
APPLICABLE CODE	2015 IBC / IFC
TOTAL LOT AREA	(3.45 AC) 150,099 SF
MAX. BUILDING HEIGHT ALLOWED	30 FEET
MAX. BUILDING HEIGHT	30 FEET
BUILDING FOOTPRINT AREA	47,844 SF
NET LOT AREA (LOT AREA - BUILDING AREA)	102,255 SF
NUMBER OF UNITS	52 SEMI-ATTACHED
LANDSCAPE AREA	38,933 SF
LANDSCAPE W/O TREES AND SHRUBS	6,733 SF
TOTAL LANDSCAPE % OF TOTAL LOT AREA	26%

PAVED, DRIVE AND PEDESTRIAN AREA	45,473 SF
REQUIRED PARKING	42*1 + 10*2=62 SPACES 1 SPACE / 2 BDR UNIT 2 SPACES / 3 BDR UNIT
PARKING PROVIDED	81 SPACES 52 GARAGE SPACES 29 PARKING SPACES
REQUIRED ADA PARKING	1 SPACES (1 VAN)
PROVIDED ADA PARKING	1 GARAGE SPACE/UNIT + 1 VAN SPACE



QUAKER HEIGHTS PL. N.W.
(56' R/W)



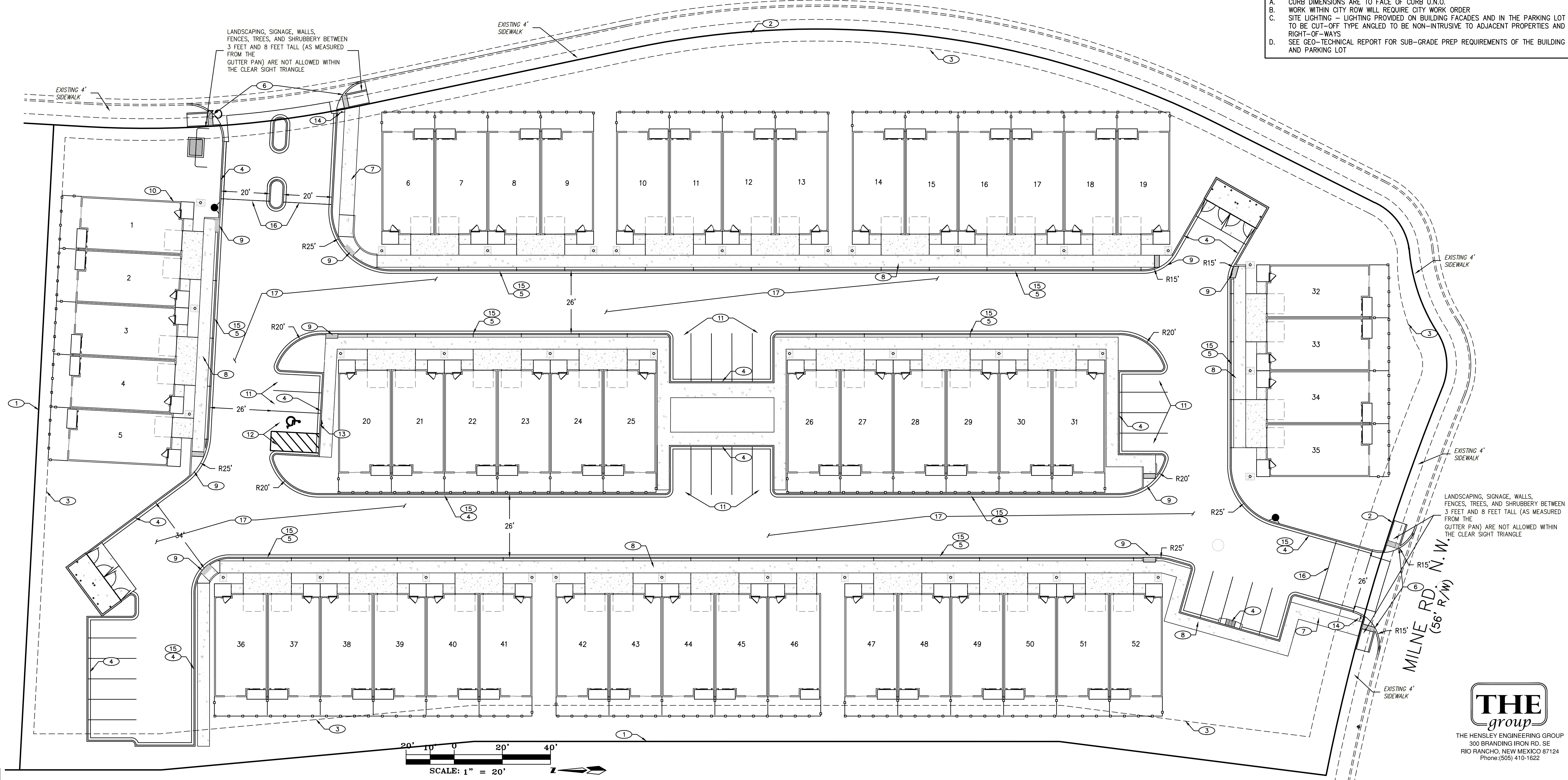
GENERAL NOTES

A. CURB DIMENSIONS ARE TO FACE OF CURB U.N.O.

B. WORK WITHIN CITY ROW WILL REQUIRE CITY WORK ORDER

C. SITE LIGHTING - LIGHTING PROVIDED ON BUILDING FACADES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGLED TO BE NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS

D. SEE GEO-TECHNICAL REPORT FOR SUB-GRADE PREP REQUIREMENTS OF THE BUILDING AND PARKING LOT



PROJECT ADDRESS: 9999 QUAKER HEIGHTS PL. N.W. ALBUQUERQUE, NM

PROJECT NAME: QUAKER HEIGHTS TOWNHOMES

PROJECT NUMBER: 21850

PROJECT PROGRESS: SITE PLAN

DRAWN BY: REH

CHECKED BY: REH / REH

DATE: NOV. 4, 2022

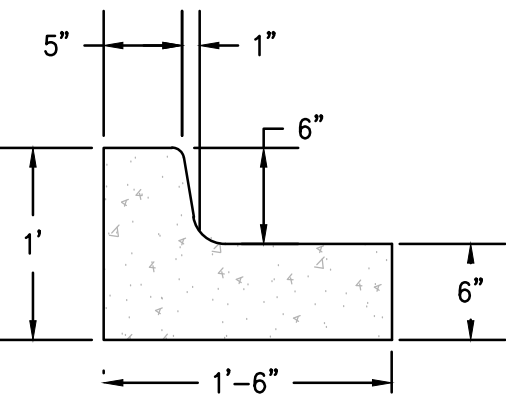
SCALE: AS NOTED

SHEET: 1

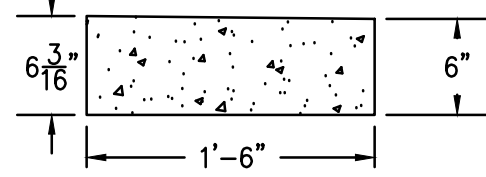
THE group

THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone:(505) 410-1622

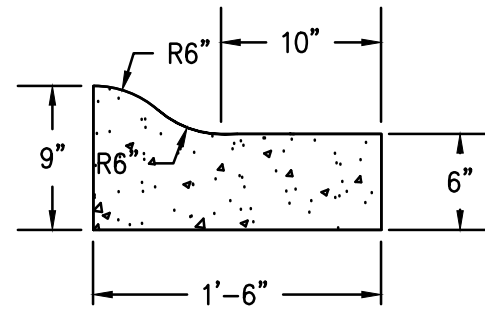
TCL



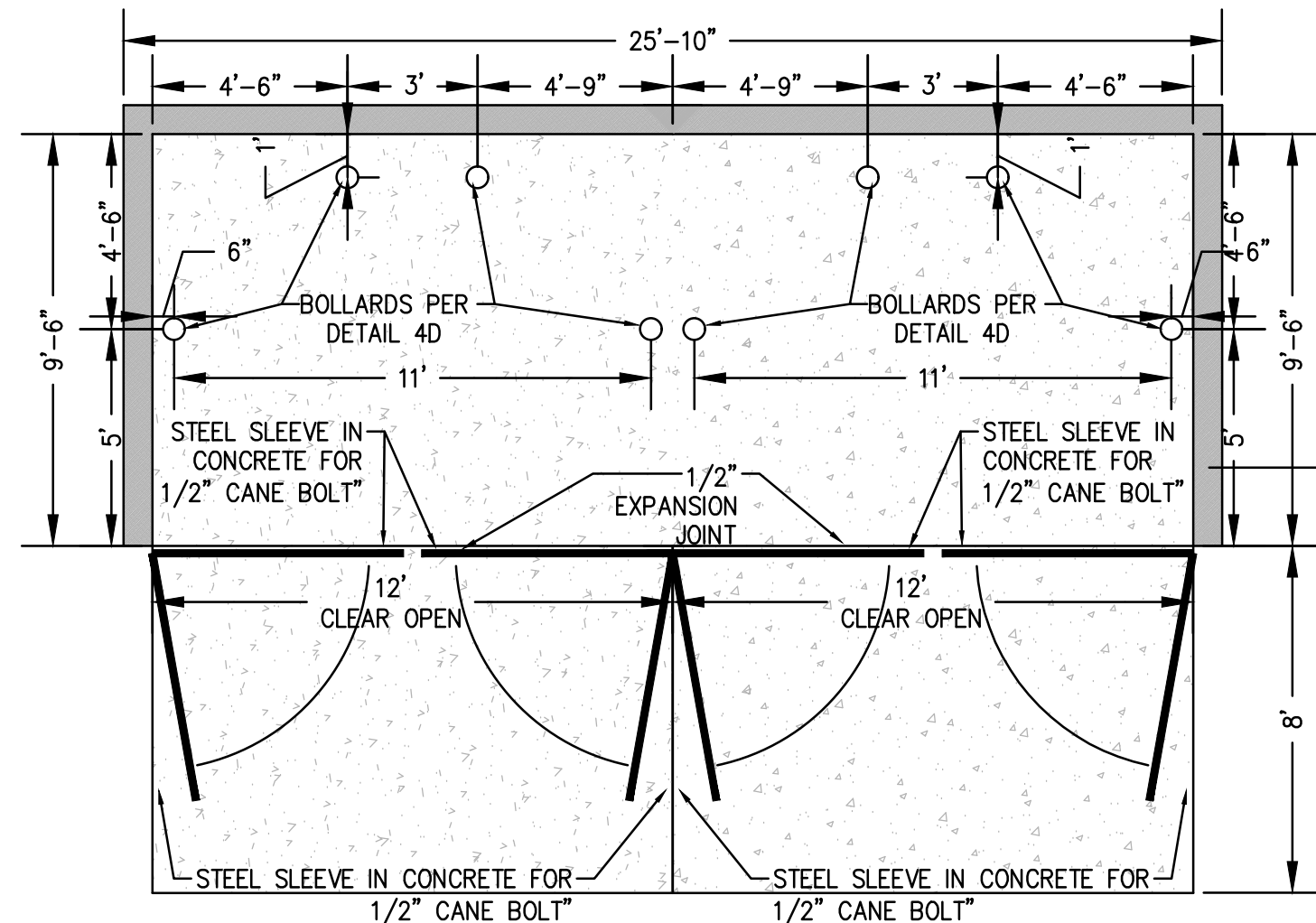
1 STANDARD CURB DETAIL
Scale: 1"=1'



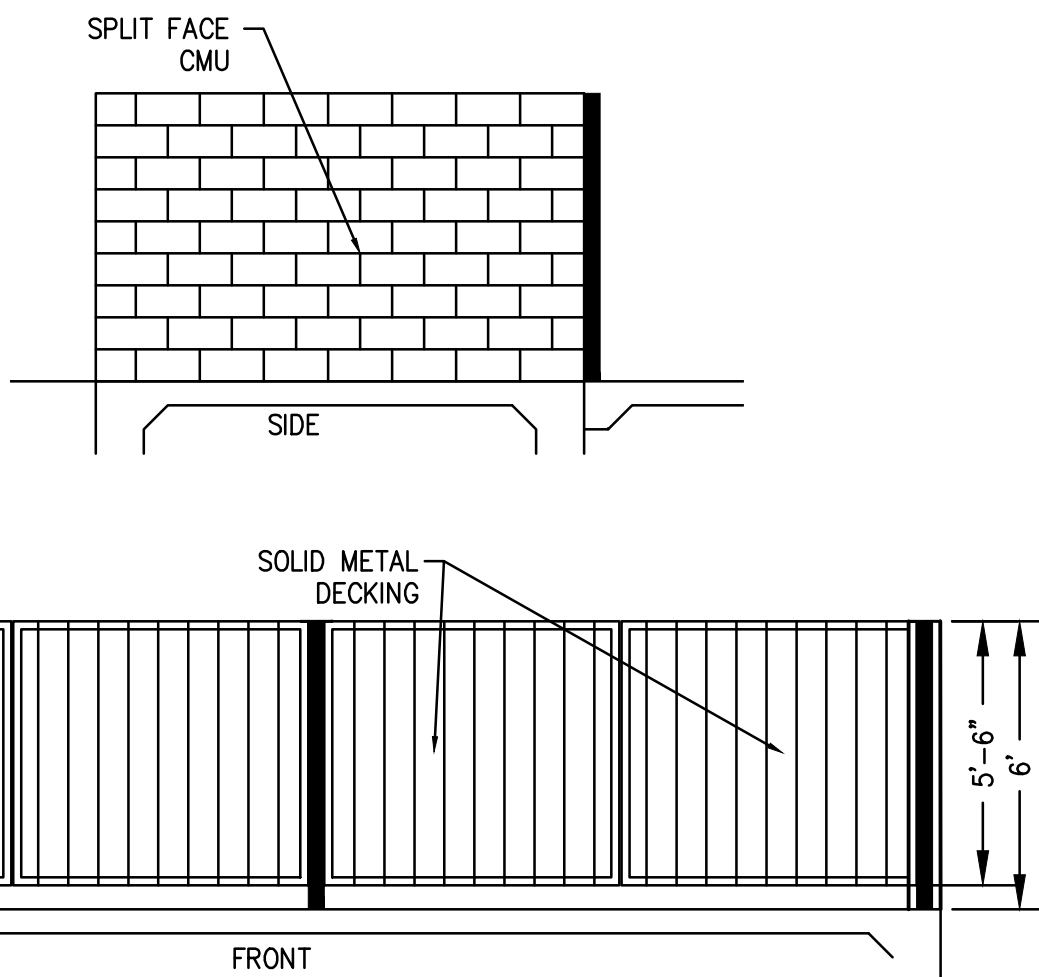
2 ESTATE CURB DETAIL
Scale: 1"=1'



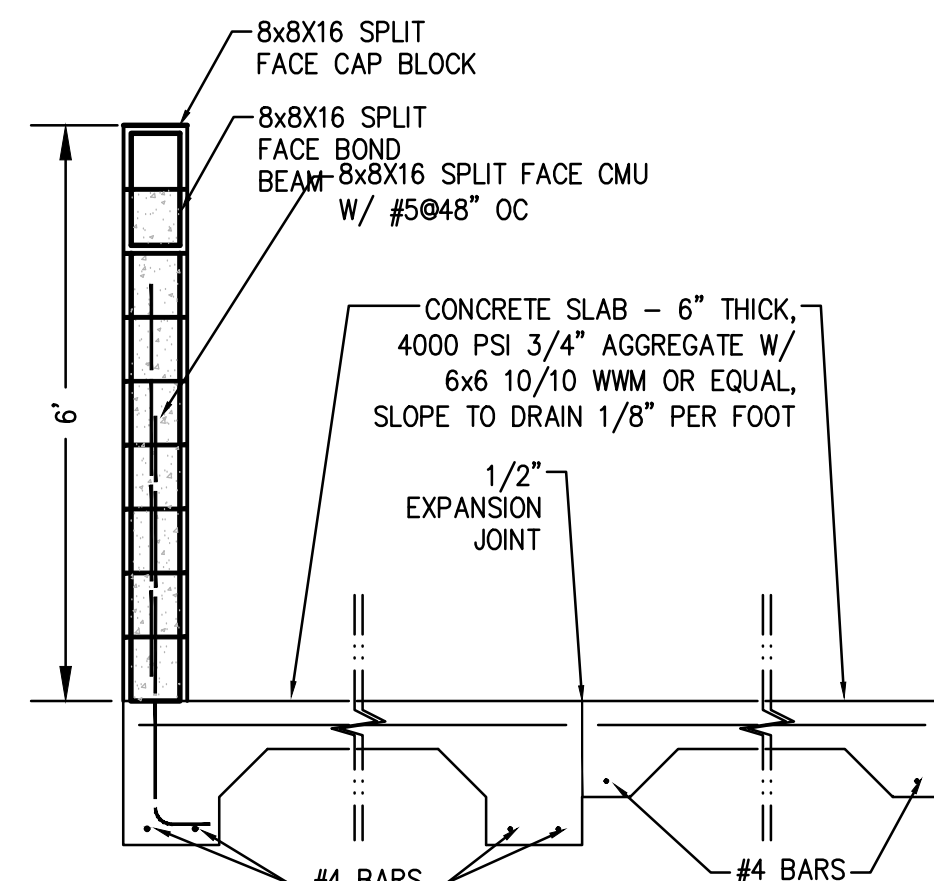
3 MONTABLE CURB DETAIL
Scale: 1"=1'



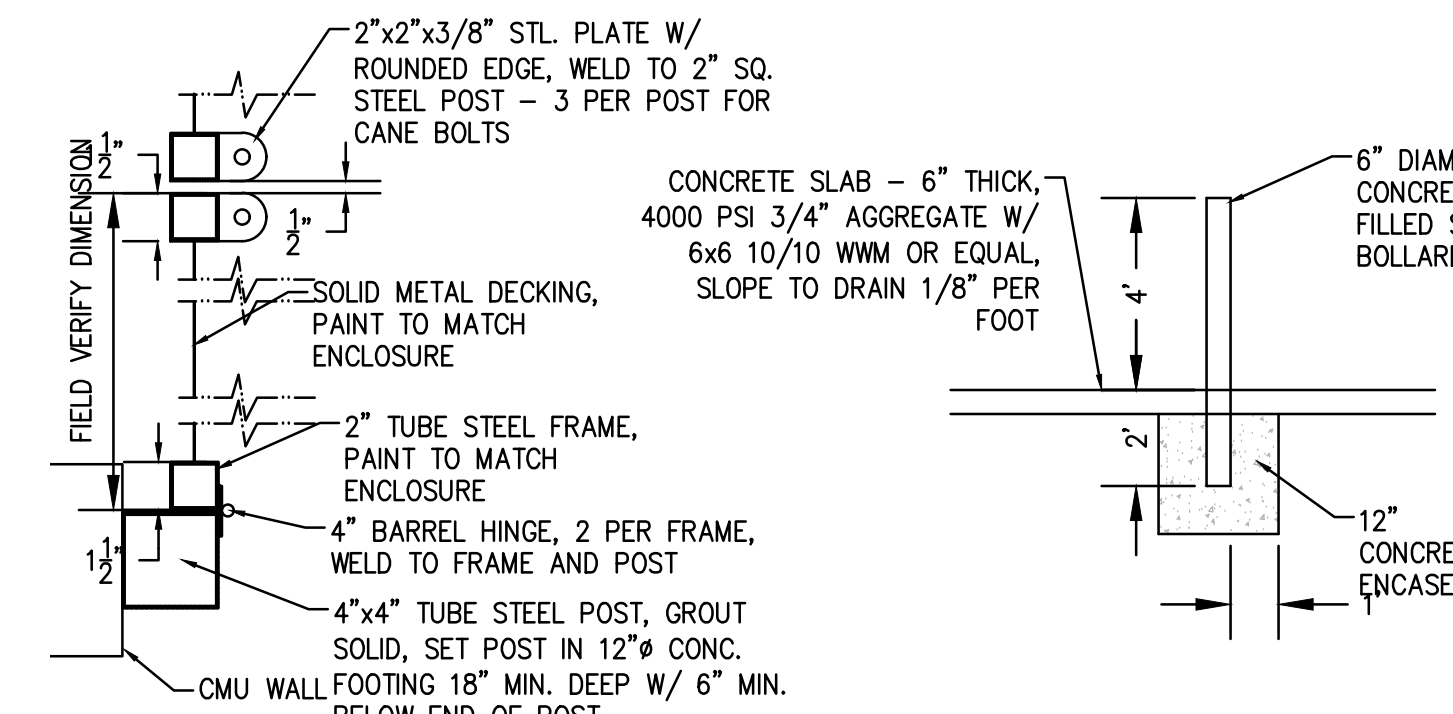
4 REFUSE ENCLOSURE
Scale: 1/4"=1'



4A ENCLOSURE ELEVATIONS
Scale: 1"=5'

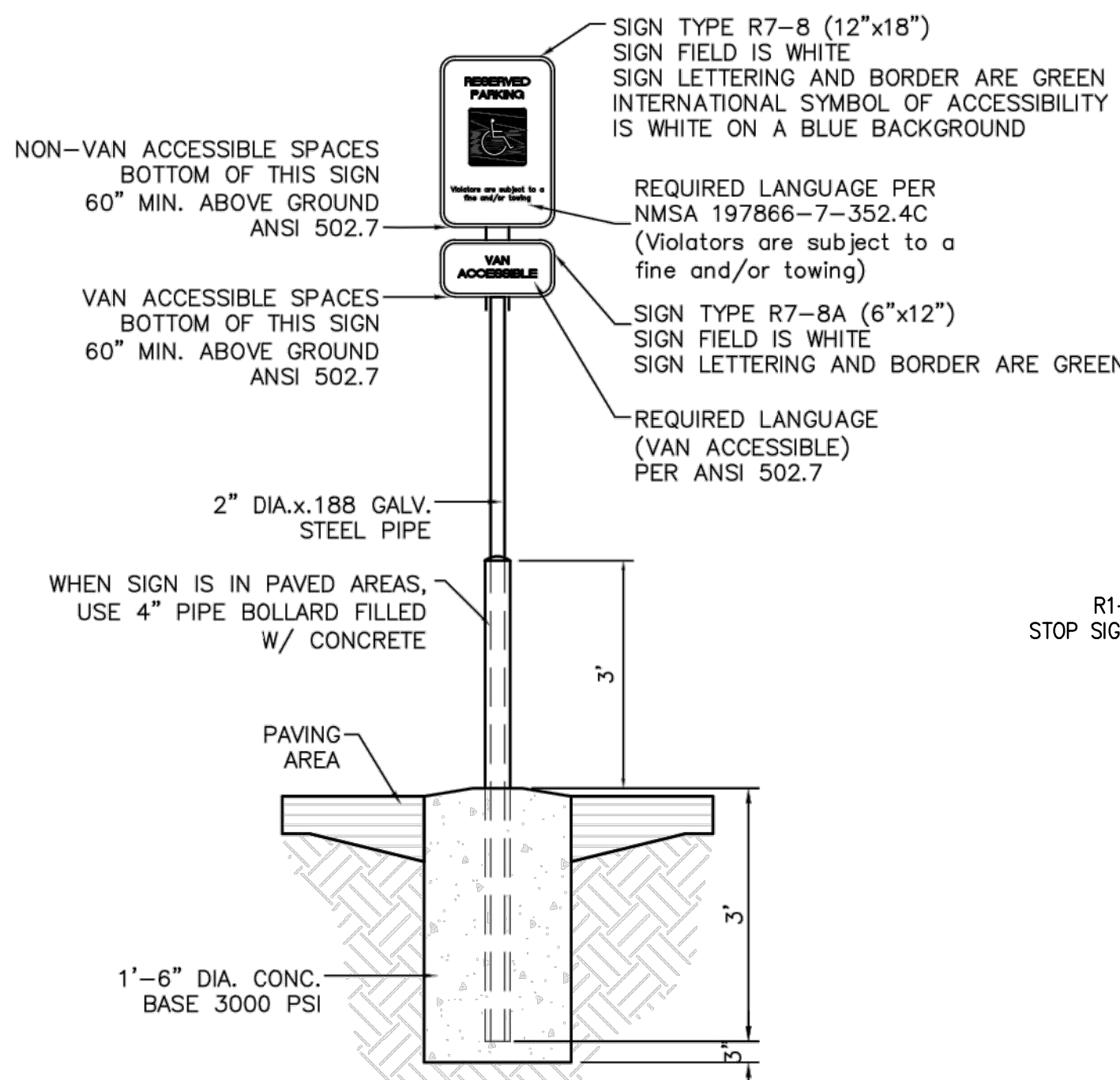


4B ENCLOSURE SLAB
Scale: 1/2"=1'

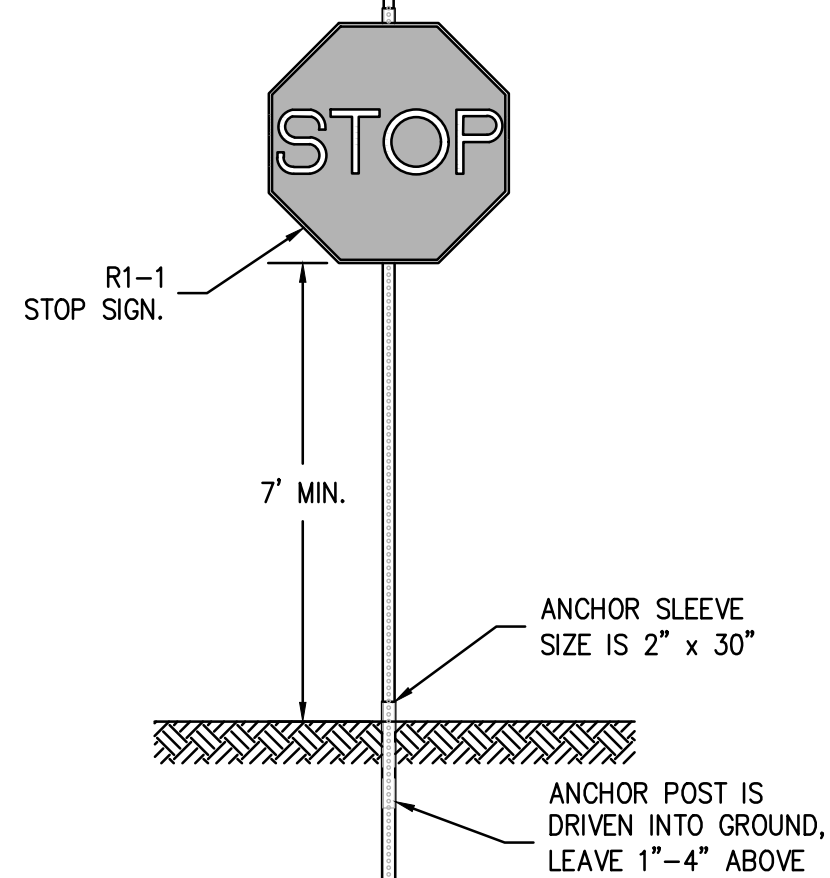


4C ENCLOSURE GATE
Scale: 1-1/2"=1'

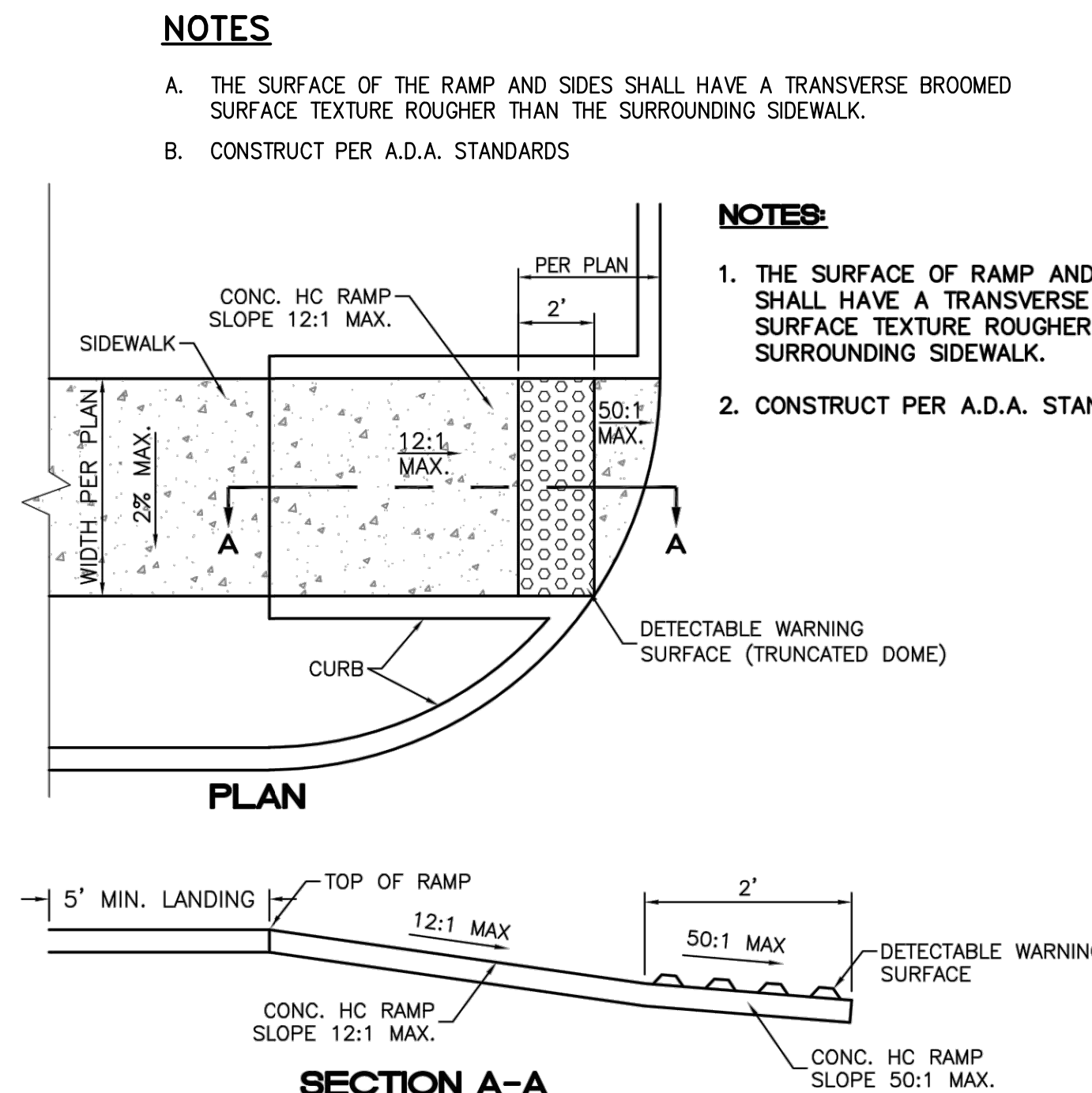
4D BOLLARD
Scale: 1/4"=1'



5 ADA SIGNAGE DETAIL
Scale: NTS



6 REGULATORY SIGN DETAIL
Scale: NTS



7 ADA RAMP DETAIL
Scale: 1"=1'

GENERAL NOTES

- CURB, GUTTER AND SIDEWALK WILL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
- SUBGRADE UNDER CURB, SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED TO A DRY DENSITY GREATER THAN 95 PER CENT OF MAXIMUM DRY DENSITY IN A MOISTURE RANGE OF OPTIMUM MOISTURE $\pm 2\%$ AS DETERMINED IN ACCORDANCE WITH ASTM D1557, UNLESS THE MATERIAL CONTAINS 35% OR MORE MATERIAL FINER THAN THE NO. 200 SIEVE. IF THE SUBGRADE MATERIAL HAS 35% OR MORE MATERIAL FINER THAN THE NO. 200 SIEVE, THE SUBGRADE SHALL BE COMPACTED TO A DRY DENSITY GREATER THAN 95 PERCENT OF MAXIMUM DRY DENSITY IN A MOISTURE CONTENT RANGE OF AT LEAST OPTIMUM MOISTURE TO OPTIMUM MOISTURE $\pm 4\%$ AS DETERMINED IN ACCORDANCE WITH ASTM D69.
- 1/4" EXPANSION JOINTS WHERE SIDEWALK ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS. SPACING 12' MIN. 22' MAX.
- FOR CURB ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX. SPACING, CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS.
- 1/4" EXPANSION JOINTS WHERE SIDEWALK ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS. SPACING 12' MIN. 22' MAX.
- 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.
- ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
- ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2%.

NOTES

- THE SURFACE OF THE RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- CONSTRUCT PER A.D.A. STANDARDS

NOTES:

- THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- CONSTRUCT PER A.D.A. STANDARDS.

FINISH SURFACE OF SUBGRADE SHALL BE MOISTURE CONTROLLED AT COMPACTION MOISTURE RANGE, AND/OR PRIME COAT APPLIED AS REQUIRED BY THE ENGINEER. COMPLETED SUBGRADE PREPARATION SHALL BE PERFORMED AFTER ALL SUBSURFACE R/W UTILITIES CONSTRUCTION IS COMPLETED. TACK COAT AS REQUIRED BY ENGINEER.

AC PAVEMENT COURSE
3" TYPE B,
(SECTION 116,336)

12" SUBGRADE PREP, CONTRACTOR TO TEST FOR R-VALUE ≥ 50 95% MIN COMPACTION, PLACED IN 2 - 6" COMPACTED LIFTS. SEE COA SPECIFICATION SECTION 301 FOR SUBGRADE REQUIREMENTS. ALL SUBGRADE MATERIAL SHALL HAVE A MIN R-VALUE ≥ 50 . THOSE SUBGRADE MATERIALS ENCOUNTERED DURING CONSTRUCTION HAVE AN R-VALUE ≤ 50 , THOSE SUBGRADE MATERIALS SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN TWO (2) FEET BELOW THE FINISHED SUBGRADE ELEVATION AND TO THE HORIZONTAL LIMITS AUTHORIZED BY THE ENGINEER, AND REPLACED WITH SUBGRADE MATERIAL HAVING AN R-VALUE ≥ 50 .

8 ASPHALT SECTION
Scale: 1"=1'



THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone:(505) 410-1622



PROJECT ADDRESS 9999 QUAKER HEIGHTS PL. N.W. ALBUQUERQUE, NM	
PROJECT NAME QUAKER HEIGHTS TOWNHOMES	
PROJECT NUMBER	
PROJECT PROGRESS SITE PLAN	
DRAWN BY REH	
CHECKED BY REH / REH	
DATE NOV. 4, 2022	
SCALE AS NOTED	
SHEET SP 2	



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____
UPC #101106116509431246

Applicant: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ By: _____ *Rod. Sandoval*

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Rod. Sandoval

KEYED NOTES

1. ASPHALT PAVING WITH 75,000 LB CAPACITY
2. CONCRETE CURB, PAINT RED, WHITE PAINT STENCIL "NO PARKING" "FIRE LANE" AT 20' O.C.
3. PREMISES STREET ADDRESS 4" HIGH MIN. W/MINIMUM STROKE WIDTH OF 0.5 IN. VISIBLE FROM STREET PER IFC 2015, SEC. 505
4. 2-HOUR FIRE SEPARATION
5. NEW FIRE HYDRANT
6. GATED ENTRY WITH KNOX BOX

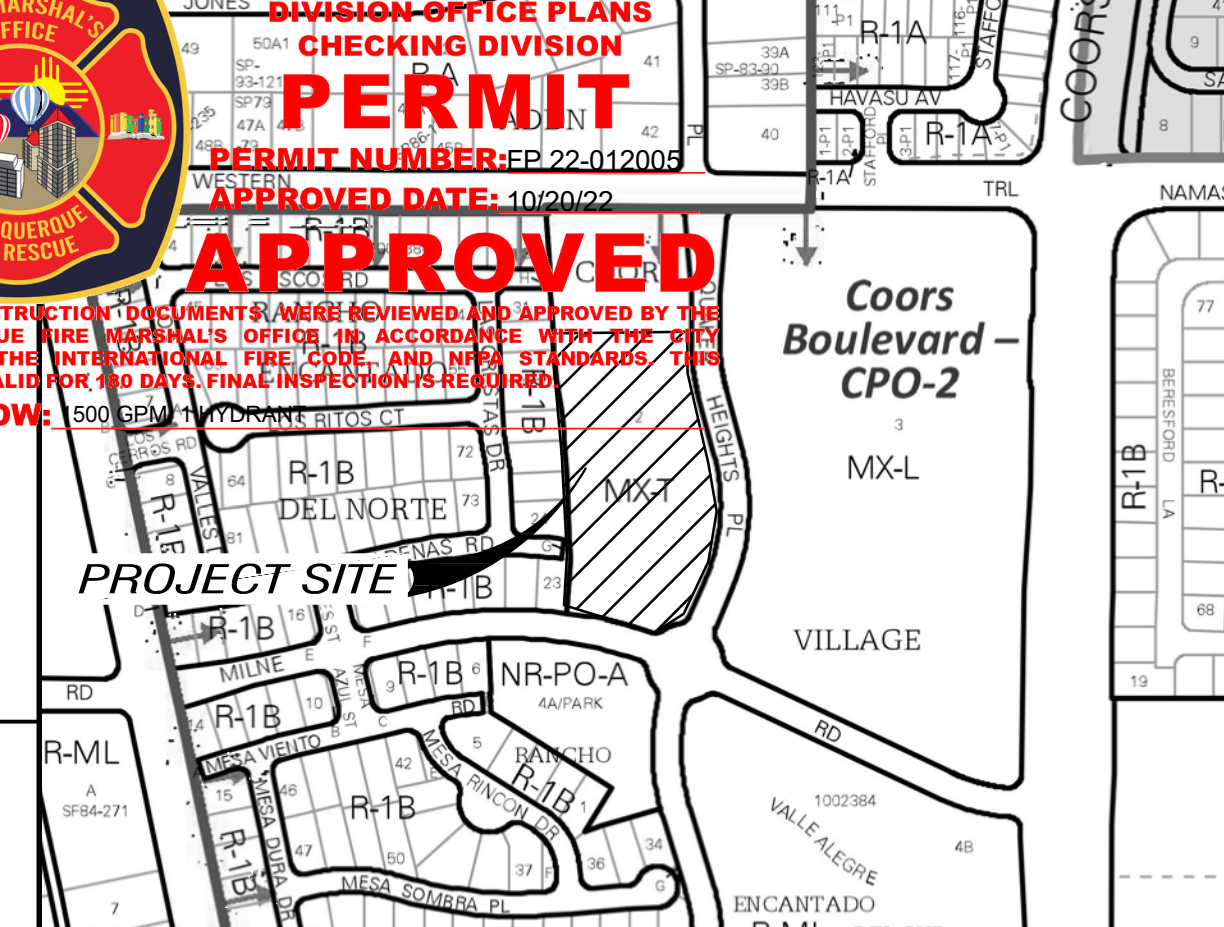
GENERAL NOTES

1. FIRE FLOW REQUIREMENTS:
 - 1.A. OCCUPANCY GROUP:
 - 1.B. CONSTRUCTION TYPE:
 - 1.C. FIRE AREA SQUARE FOOTAGE:
 - 1.D. FIRE FLOW PER TABLE B.105.1:
 - 1.E. NUMBER OF HYDRANTS REQUIRED:
 - 1.H. BUILDING HEIGHT:
 - 1.I. FIRE LANE
2. ALL FIRE APPARATUS ACCESS ROUTE SURFACES SHALL BE CAPABLE OF SUPPORTING 75,000 POUNDS
3. FIRE ACCESS ROUTES SHALL NOT EXCEED 10 PERCENT IN GRADE.
4. REFERENCE 2015 INTERNATIONAL FIRE CODE APPENDIX B, C AND D FOR CODE CRITERIA

R - 52 TOWNHOME
2B
1,892
1,500 gpm @ 2HR DUE
2
26'
THROUGH LANE



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: EP-22-012005
APPROVED DATE: 10/20/22
APPROVED
THESE CONSTRUCTION DOCUMENTS HAVE BEEN REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE FIRE ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 90 DAYS. FINAL INSPECTION IS REQUIRED.



1. THIS SET OF DRAWINGS EXIST AS A WHOLE. IF THE SOLE CONTRACTOR INVOLVED IN THE CONSTRUCTION OF THE PROJECT, ANY CHANGES TO THE DRAWINGS AS SUCH, EACH SHEET MUST BE REVISIONED TO REFLECT SUCH CHANGES TO THE PROJECT. 2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN INCORPORATION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS TO VERIFY OR SET PLAN DIMENSIONS TO MATCH RECOMMENDED.

PROJECT ADDRESS:
**99999 QUAKER HEIGHTS PL. N.W.
ALBUQUERQUE, NM**
CLIENT'S NAME:

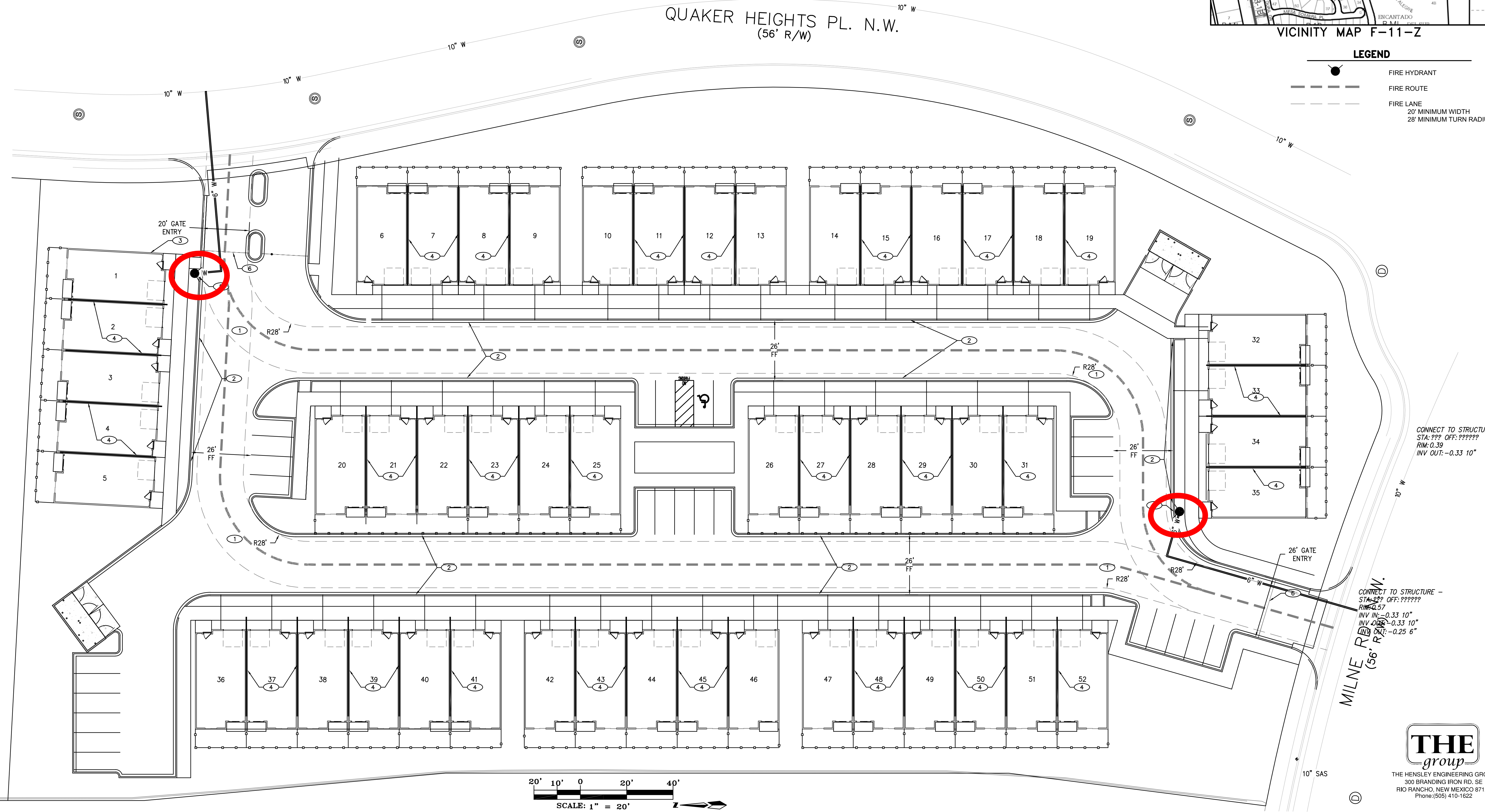
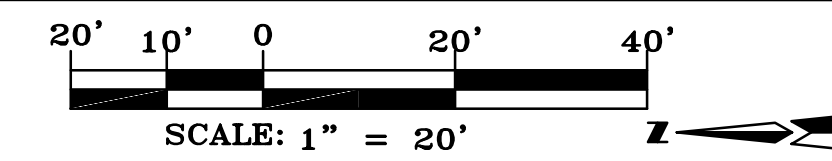
DRAWING NAME:
FIRE 1-SITE PLAN
PROJECT NAME:
QUAKER HEIGHTS TOWNHOMES

PROJECT NUMBER:
PROJECT PROGRESS:
SITE PLAN
DRAWN BY:
REH
CHECKED BY:
REH / REH
DATE:
OCT. 20, 2022
SCALE:
AS NOTED
SHEET:

FIRE 1



THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 410-1622



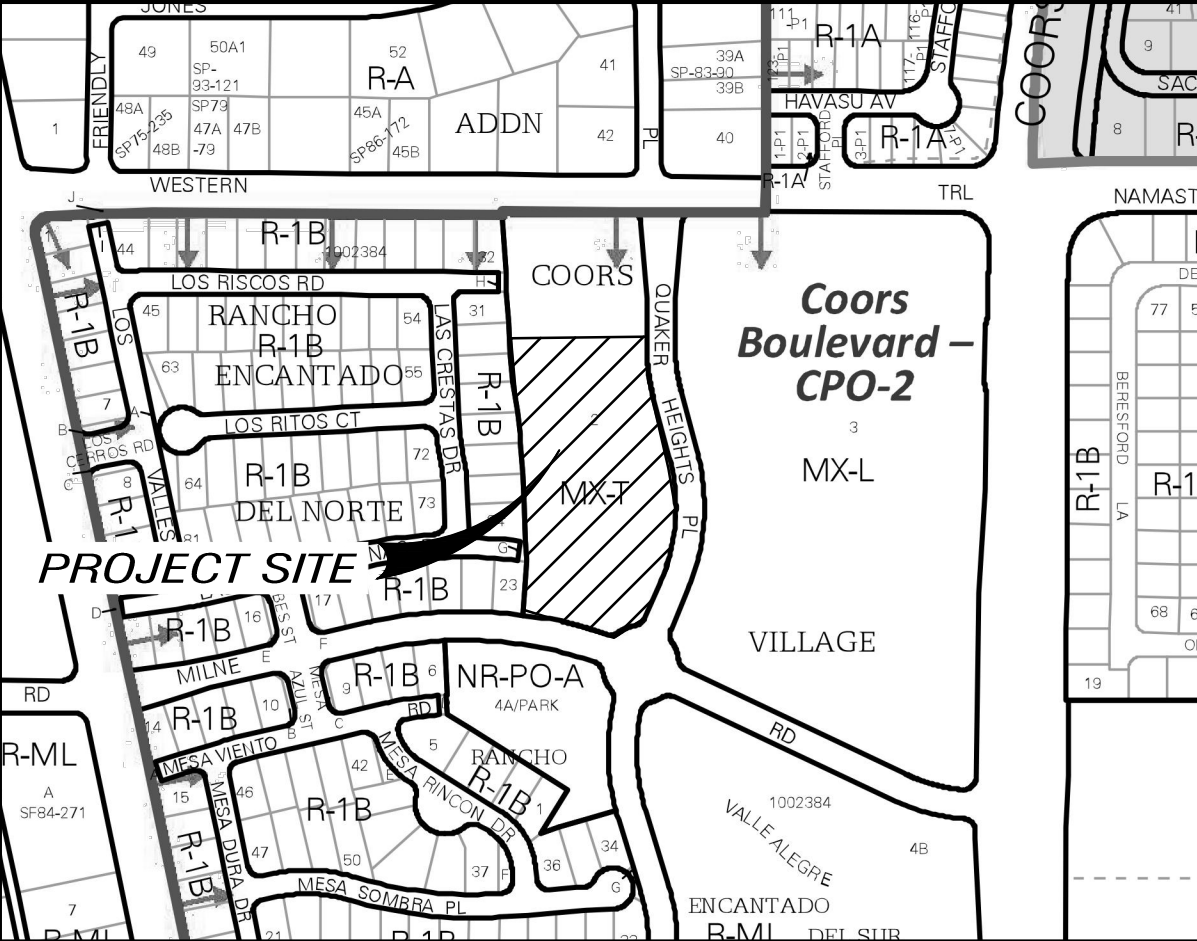
SITE DATA	
LOCATION	QUAKER HEIGHTS PL. N.W. ALBUQUERQUE, NM
LEGAL DESCRIPTION	TR 2-B FINAL PLAT TRACTS 2-A AND 2-B COORS VILLAGE
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LAND USE	LOW-DENSITY RESIDENTIAL
ZONE ATLAS PAGE	F-11
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	1.5 SPACES/UNIT
PARKING PROVIDED	81 SPACES
	52 GARAGE SPACES
	29 PARKING SPACES
REQUIRED ADA PARKING	1 SPACES (1 VAN)
PROVIDED ADA PARKING	1 GARAGE SPACE/UNIT + 1 VAN SPACE

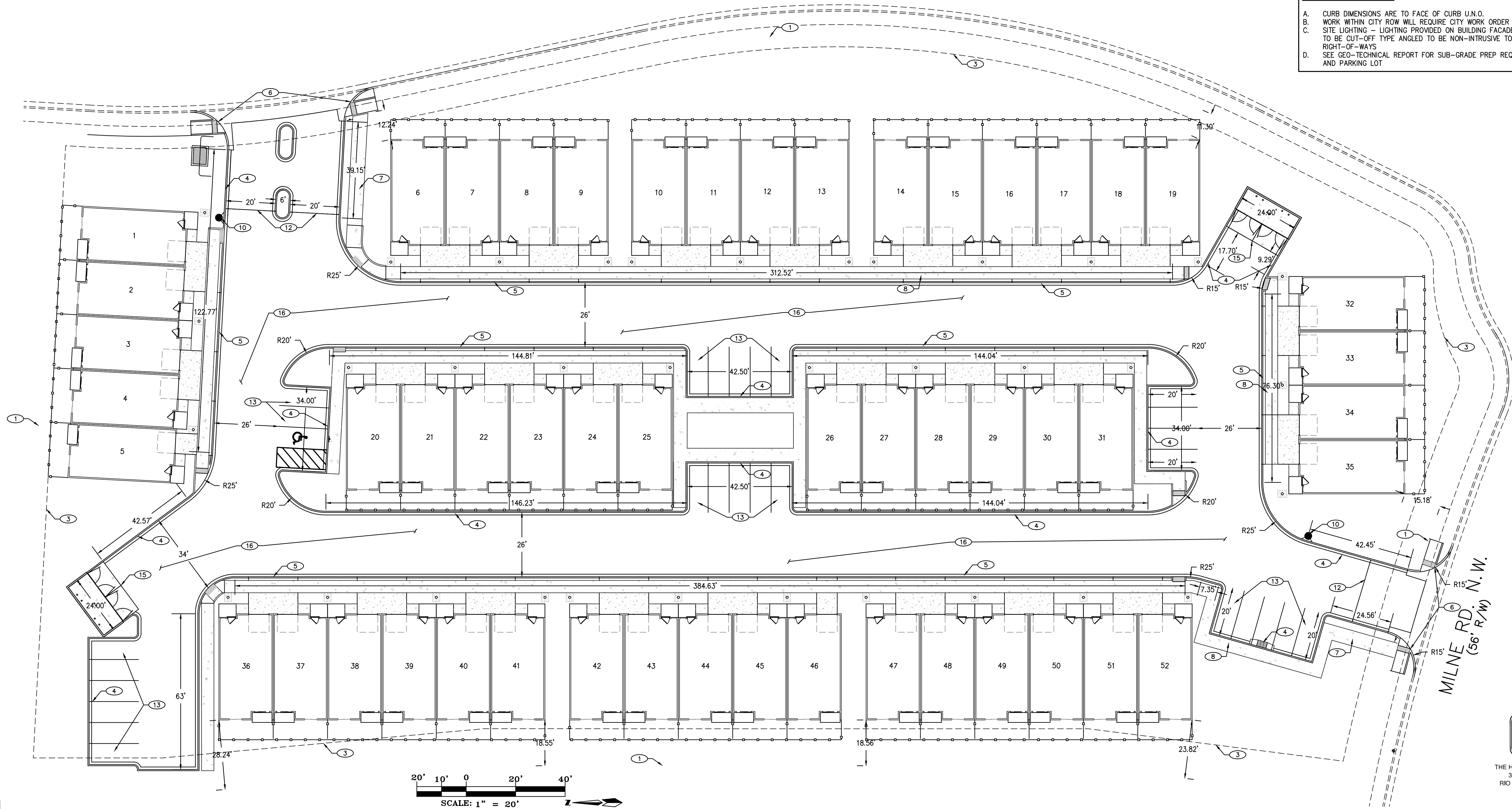
Approved for access by the Solid Waste Department
for 2 double trash enclosures. Access code will be given to refuse
drivers. Total of 52 units. All dumpsters must be made accessible
from 7AM to 8PM. 05-18-23 Herman Gallegos

QUAKER HEIGHTS PL. N.W.
(56' R/W)

- KEYED NOTES**
1. PROPERTY LINE
 2. RIGHT OF WAY
 3. SETBACK
 4. NEW STANDARD CURB PER SP 2-SITE DETAILS
 5. NEW MOUNTABLE CURB PER SP 2-SITE DETAILS
 6. NEW CURB RETURN DRIVEWAY ENTRANCE PER CABQ SPECIFICATIONS AND STD DWG 2420
 7. 6' CONC. SIDEWALK WITH 1.5% (2% MAX) CROSS SLOPE PER SP2-SITE DETAILS
 8. 5' CONC. SIDEWALK WITH 1.5% (2% MAX) CROSS SLOPE PER SP2-SITE DETAILS
 9. HANDICAP RAMP W/TRUNCATED DOME SURFACE PER SP2-SITE DETAILS
 10. NEW FIRE HYDRANT PER CABQ FIRE DEPT.
 11. PREMISES STREET ADDRESS 4" HIGH MIN. W/MINIMUM STROKE WIDTH OF 0.5 IN. VISIBLE FROM STREET PER IFC 2015, SEC. 505
 12. MONUMENT SIGN PER SP 2-SITE DETAILS
 13. STANDARD PARKING SPACE (TYP.) PER TCL 1-TRAFFIC CIRCULATION LAYOUT
 14. AUTOMATIC GATE WITH 20' OPENING
 15. REFUSE CONTAINER PER SP 2-SITE DETAILS
 16. ASPHALT PAVING PER SP 2-SITE DETAILS



- GENERAL NOTES**
- A. CURB DIMENSIONS ARE TO FACE OF CURB U.N.O.
 - B. WORK WITHIN CITY ROW WILL REQUIRE CITY WORK ORDER
 - C. SITE LIGHTING - LIGHTING PROVIDED ON BUILDING FACADES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGLED TO BE NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS
 - D. SEE GEO-TECHNICAL REPORT FOR SUB-GRADE PREP REQUIREMENTS OF THE BUILDING AND PARKING LOT



PROJECT ADDRESS

99999 QUAKER HEIGHTS PL. N.W.

PROJECT NAME

ALBUQUERQUE, NM

PROJECT NUMBER

PROJECT PROGRESS

SITE PLAN

DRAWN BY

REH

CHECKED BY

REH / REH

DATE

NOV. 4, 2022

SCALE

AS NOTED

SHEET

PROJECT NAME

QUAKER HEIGHTS TOWNHOMES

THE group

THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone:(505) 410-1622

SP1