

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 6, 2026

Ron Hensley, P.E.
The Hensley Engineering Group
300 Branding Iron Rd SE
Rio Rancho, NM 87124

**RE: 4525 Quaker Heights PI NW
Grading and Drainage Plan
Engineer's Stamp Date: 02/26/26
Hydrology File: F11D020B
Case # HYDR-2026-00073**

Dear Mr. Hensley:

Based upon the information provided in your submittal received 02/26/2025, the Grading and Drainage Plan **is not approved** for Grading Permit and Building Permit. The following comments need to be addressed for approval of the above referenced project.

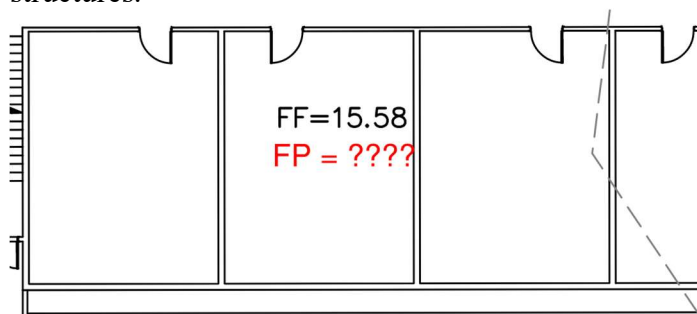
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. Please provide the FIRM Map floodplain note with effective date.
2. Please provide the legal description of the property.
3. Please show Finished Pad Elevations in addition to Finished Floor Elevations for all structures.



4. Payment in Lieu (Amount = $599\text{CF} \times \$8/\text{CF} = \$4,792$, per sheet GD1) of onsite management of the SWQV must be made. Fill out and submit for approval the Application for Payment-In-Lieu to Hydrology. When approved and paid, take three copies of the treasury deposit slip to the Treasury and then include one copy of the paid deposit slip when resubmitting.
5. Please add a note which states, "The Owner has elected to pay the Payment in Lieu for the required Stormwater Quality Volume."

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

PRIOR TO CERTIFICATE OF OCCUPANCY:

Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist for Non-Subdivision is required.

If you have any questions, please contact me at 505-924-3995 or baileythompson@cabq.gov.

Sincerely,

A handwritten signature in black ink, appearing to read 'Bailey Thompson', with a long horizontal flourish extending to the right.

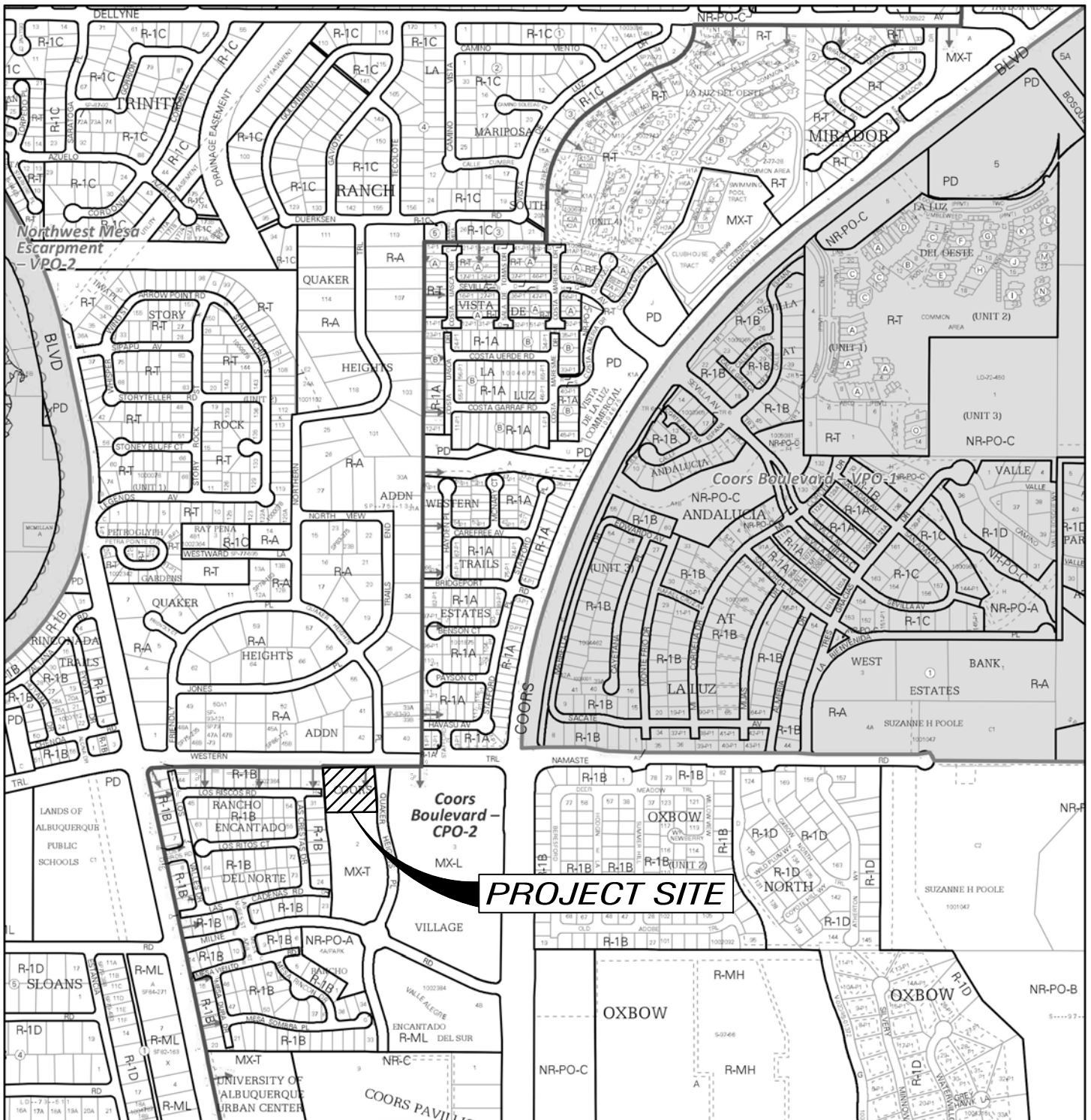
Bailey Thompson, E.I.T.
Engineer Associate, Hydrology
Planning Department, Development Review Services

PO Box 1293

Albuquerque


NM 87103

www.cabq.gov

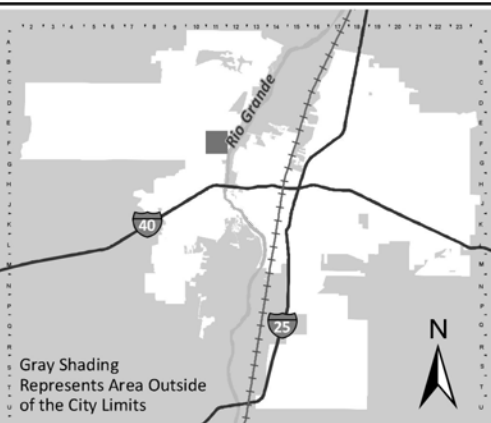


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018











IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
F-11-Z

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

DRAINAGE INFORMATION

LOCATION & DESCRIPTION

THE PROPOSED SITE IS A TRACT OF 3.56 ACRES LOCATED AT QUAKER HEIGHTS AND MILNE. AS SEEN ON THE VICINITY MAP.

FLOODPLAIN STATUS

THE CONSTRUCTION OF THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C012G, DATED SEPTEMBER 26, 2008 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

METHODOLOGY

EQUATIONS:
WEIGHTED E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$

FLOW = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

WHERE FOR 100-YEAR, 6-HOUR STORM(ZONE1)

$E_a = 0.55$ $Q_a = 1.54$
 $E_b = 0.73$ $Q_b = 2.16$
 $E_c = 0.95$ $Q_c = 2.87$
 $E_d = 2.24$ $Q_d = 4.12$

PRECIPITATION

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 1 AS IDENTIFIED IN THE DEVELOPMENT PROCESS MANUAL, SECTION 6-2.

EXISTING DRAINAGE

THIS SITE IS LOCATED WITHIN BASIN 160 OF THE COORS VILLAGE DRAINAGE MASTER PLAN, F11-0007. THE DRAINAGE MASTER PLAN DATED FEBRUARY 2000 INCORPORATES THE DEVELOPED FLOWS FROM THE BASIN AT APPROXIMATELY 19.4 CFS. TO DISCHARGE TO THE STORM DRAIN IN MILNE ROAD.

BASIN	AREA (sf)	TREATMENT A % sf	TREATMENT B % sf	TREATMENT C % sf	TREATMENT D % sf	WEIGHTED E	VOLUME (cu.-ft.)	FLOW (cfs)	ALLOWED FLOW (cfs)	CFS/AC (cfs)	ALLOWED (cfs/ac)
EXISTING	220823	100%	220823	0%	0	0.55	10121	7.81	19.42	1.54	3.83
PROPOSED A1	25490	0%	0	65%	16569	0%	0	35%	8922	1.26	2.673
PROPOSED A2	46141	0%	0	5%	2307	0%	0	95%	43834	2.16	8323
PROPOSED A3	60856	0%	0	5%	3043	0%	0	95%	57813	2.16	10977
PROPOSED A4	20390	0%	0	65%	13254	0%	0	35%	7137	1.26	2138
PROPOSED A	152877	0%	0	23%	35172	0%	0	77%	117705	1.89	24111
PROPOSED B	65537	0%	0	15%	9831	0%	0	85%	55706	2.01	10997
PROP. TOT.	218414	0%	0	21%	45003	0%	0	79%	173411	1.93	35108

DEVELOPED CONDITION

THIS SITE WILL BE DEVELOPED AS TOWNHOMES WITH DEVELOPED RUNOFF ROUTED TO THE STORM DRAIN IN MILNE AS REQUIRED IN THE DRAINAGE MASTER PLAN WITH A DEVELOPED FLOW OF 18.63 CFS FROM THE BASIN.



FIRM MAP NO. 35001C114H

VICINITY MAP F-11-Z

LEGEND

- 5000 — POINT FLOW
- 5000 — PROPOSED CONTOUR
- 5000 — EXISTING CONTOUR
- - - - - BASIN BOUNDARY
- ## BASIN DESIGNATION



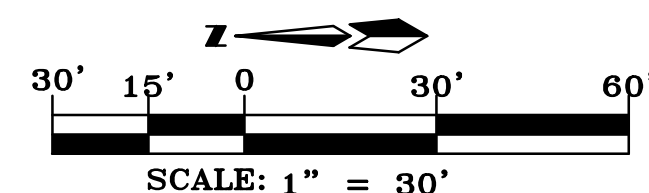
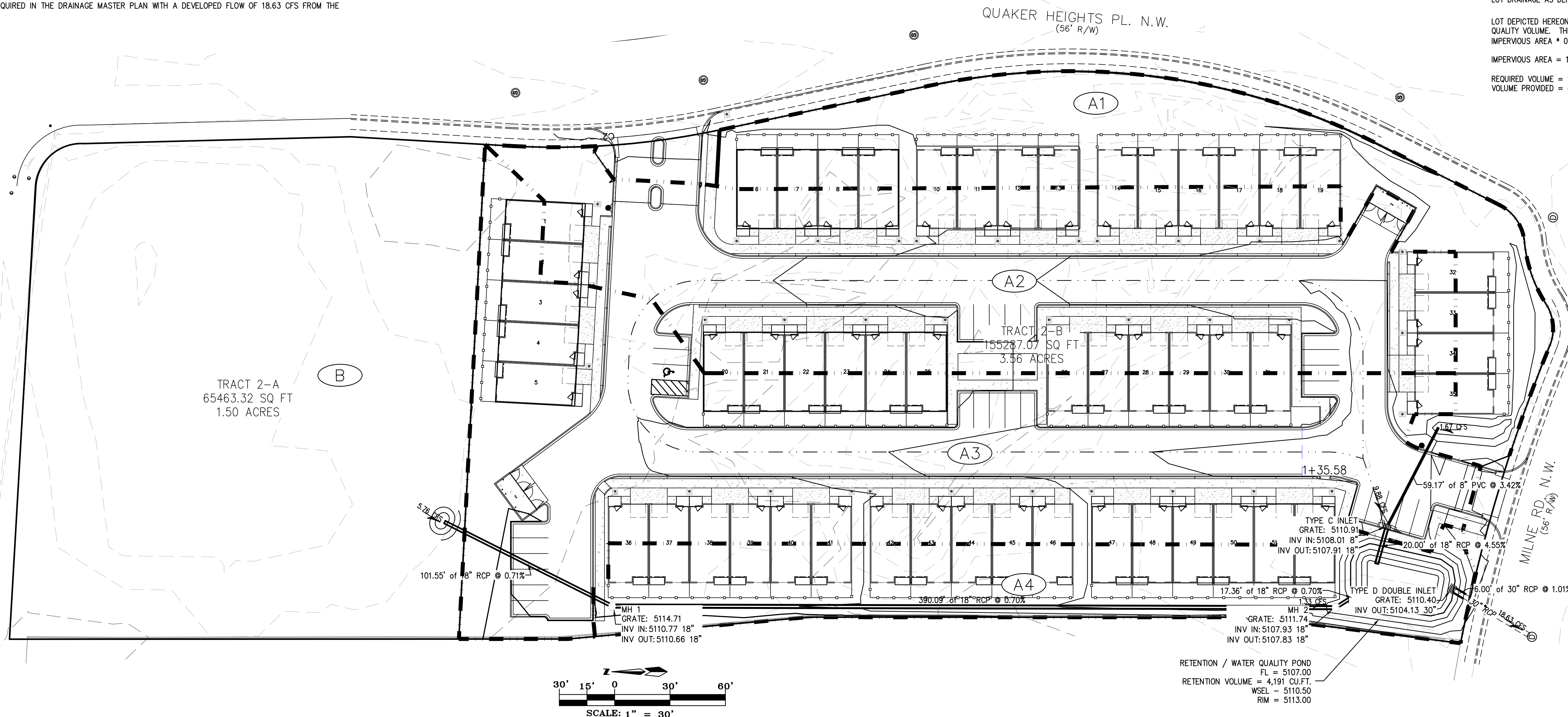
REQUIRED WATER QUALITY VOLUME

LOT DRAINAGE AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED.

LOT DEPICTED HEREON SHALL BE RESPONSIBLE FOR THE WATER QUALITY VOLUME. THE VOLUME SHALL BE EQUAL TO:
IMPERVIOUS AREA * 0.42/12 IN CUBIC FEET.

IMPERVIOUS AREA = 117,705 SQ.FT.

REQUIRED VOLUME = 117,705 * 0.42/12 = 4,120 CU.FT.
VOLUME PROVIDED = 4,191 CU.FT.



RETENTION / WATER QUALITY POND
FL = 5107.00
RETENTION VOLUME = 4,191 CU.FT.
WSEL - 5110.50
RIM = 5113.00

THE group
THE HENSLEY ENGINEERING GROUP
300 BRANCHO IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone:(505) 410-1622

RON E. HENSLEY
NEW MEXICO
21850
11/22/22

1. THIS SET OF DRAWINGS CONTAINS A WHOLE OF THE SOLE CONTRACTOR INVOLVED IN THE DRAWINGS AS SUCH. EACH SHEET CONTAINS ALL INFORMATION TO BE USED TO CONSTRUCT THE PROJECT.
2. DUE TO POTENTIAL INCONSISTENCIES BETWEEN PLAN INCORPORATIONS DURING PLAN DEVELOPMENT, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS WITH THE ORIGINAL DRAWINGS TO VERIFY OR OBTAIN DIMENSIONS AS NOTED OR RECOMMENDED.

PROJECT ADDRESS: 99999 QUAKER HEIGHTS PL. N.W. ALBUQUERQUE, NM
CLIENT'S NAME:

PROJECT NAME: QUAKER HEIGHTS TOWNHOMES

PROJECT NUMBER:
PROJECT PHASE: DRAINAGE PLAN SITE PLAN
DRAWN BY: REH
CHECKED BY: REH / REH
DATE: NOV. 22, 2022
SCALE: AS NOTED
SHEET:

GD2