

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 24, 2026

Tafazzul Hussain, RA
AFRA Construction & Design
2501 Yale SE Suite 102
ALBUQUERQUE, NM 87106

thussain@afradesign.com

Re: Coors Apartments
4525 Quaker Heights PL NW 87120
Traffic Circulation Layout
Engineer's Stamp 2-10-26 (F11D020B) TRANS-2026-00082

Dear Mr Hussain,

The TCL submittal received 3-19-2026 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL to the [ABQ-PLAN](#) for log in and evaluation by Transportation.

Albuquerque

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

COORS APARTMENTS

4525 QUAKER HEIGHTS PL NW, COORS VILLAGE, ALBUQUERQUE, NM-87120

TABLE OF CONTENTS

SHEET TITLE	NUMBER
COVER SHEET	CS
TRAFFIC CIRCULATION LAYOUT	TCL 1
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PROJECT DATA

LEGAL DESCRIPTION
4525 QUAKER HEIGHTS PL NW, COORS VILLAGE, ALBUQUERQUE, NM-87120
(TR 2-A FINAL PLAT TRACTS 2-A AND 2-B COORS VILLAGE, (BEING AREPLAT OF TRACT2, COORS VILLAGE) CONT 1.4891 AC)

2021 I.B.C. DESIGN DATA

CHAPTER 3 OCCUPANCY AND USE CLASSIFICATION:	SECTION 310.4 RESIDENTIAL GROUP R-2 (APARTMENTS)
TABLE 504.4 ALLOWABLE NUMBER OF STORIES ABOVE GRADE:	BUILDING A 3 STORIES & BUILDING B 2 STORIES WITH (S) SPRINKLER SYSTEM.
TABLE 506.2 ALLOWABLE AREA FACTOR:	GROUP R-2, V-A = (SM) 36,000 S.F. WITH FIRE PROTECTION PER 903.3.1.1
BUILDING AREAS	
BUILDING A	APARTMENT HEATED AREA: 27,199 SF FIRE RISER ROOM AREA: 30 SF COMM ROOM AREA: 112 SF TOTAL BUILDING HEATED AREA: 27,341 SF
BUILDING B	APARTMENT HEATED AREA: 18,152 SF FIRE RISER ROOM AREA: 30 SF COMM ROOM AREA: 112 SF TOTAL BUILDING HEATED AREA: 18,294 SF
TOTAL GROSS BUILDING AREA:	BUILDING A- 27,341 SF, BUILDING B- 18,294 SF, V-A CONSTRUCTION TYPE, ALLOWABLE AREA = 36,000 S.F.
FIRE FLOW REQUIREMENTS	BUILDING A- 27,341 SF, BUILDING B- 18,294 SF, TYPE V-A 30,100 - 35,200 SF = 3,250 G.P.M. = 3 HOURS FLOW DURATIONS 3,250 G.P.M. = 3 FIRE HYDRANTS = 450 FEET SPACE = 225 FEET MAX. 50% REDUCTION, DUE TO FIRE SPRINKLER (TABLE B105.1(1)) = 2 FIRE HYDRANTS REQUIRED
SECTION 903 AUTOMATIC SPRINKLER SYSTEM:	PER SECTION 903.2.8 AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R FIRE AREA. SECTION 903.3.1.2 NFPA 13R SPRINKLER SYSTEM, WHERE THE PROVISIONS OF THIS CODE REQUIRE THAT A BUILDING OR PORTION THEREOF BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH THIS SECTION.
SECTION 907 FIRE ALARM AND DETECTION SYSTEMS:	907.2.9 GROUP R-2 FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE INSTALLED GROUP R-2 OCCUPANCIES AS REQUIRED IN SECTION 907.2.9.1 AND 907.2.9.2
TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS):	EXTERIOR BEARING WALLS: TYPE V-A CONSTRUCTION = 1 HOUR FIRE-RESISTANCE RATING REQUIRED. INTERIOR BEARING WALLS: TYPE V-A CONSTRUCTION = 1 HOUR FIRE-RESISTANCE RATING REQUIRED.
SECTION 420 GROUPS 1-1, R-1, R-2 AND R-3:	420.2 SEPARATION WALLS, WALLS SEPARATING DWELLING UNITS AND WALLS SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708
SECTION 711.2.4.4 OTHER SEPARATIONS:	420.3 HORIZONTAL SEPARATION, FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDINGS, FLOOR ASSEMBLIES SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711. WHERE A HORIZONTAL ASSEMBLY IS REQUIRED BY OTHER SECTIONS OF THIS CODE, THE ASSEMBLY SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN THAT REQUIRED BY THAT SECTION.
SECTION 708 FIRE PARTITIONS:	708.1 GENERAL, THE FOLLOWING WALL ASSEMBLIES SHALL COMPLY WITH THIS SECTION. 1. WALLS SEPARATING SLEEPING UNITS IN THE SAME BUILDING AS REQUIRED BY SECTION 420.2 2. CORRIDOR WALLS AS REQUIRED BY SECTION 1028.1. 708.3 FIRE RESISTANCE RATING, FIRE PARTITION SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR. 708.4 CONTINUITY, FIRE PARTITIONS SHALL EXTEND FROM THE TOP OF THE FOUNDATION OR FLOOR/CEILING ASSEMBLY CEILING OR ROOF/CEILING ASSEMBLY BELOW TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE OR TO THE FIRE-RESISTIVE RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY ABOVE, AND SHALL BE SECURELY ATTACHED THERE TO.
SECTION 718 CONCEALED SPACE:	718.3 DRAFTSTOPPING IN FLOORS, IN COMBUSTIBLE CONSTRUCTION DRAFTSTOPPING SHALL BE INSTALLED TO SUBDIVIDE FLOOR/CEILING ASSEMBLIES IN THE LOCATIONS PRESCRIBED IN SECTIONS 718.3.2 THROUGH 718.3.3. 718.4.2 GROUPS R-1 AND R-2, DRAFTSTOPPING SHALL BE PROVIDED IN ATTICS, MANSARDS, OVERHANGS OR OTHER CONCEALED ROOF SPACES OF GROUP R-2 BUILDING WITH THREE OR MORE DWELLING UNITS. DRAFTSTOPPING SHALL BE INSTALLED ABOVE, AND IN LINE WITH SLEEPING UNIT AND DWELLING UNIT SEPARATION WALLS THAT DO NOT EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING ABOVE. 3. IN OCCUPANCIES IN GROUP R-2 THAT DO NOT EXCEED FOUR STORIES ABOVE GRADE PLAN, THE ATTIC SPACE SHALL BE SUBDIVIDED BY DRAFTSTOPS IN AREAS NOT EXCEEDING 3,000 S.F. OR ABOVE EVERY TWO DWELLING UNITS, WHICHEVER IS SMALLER.
SECTION 907 FIRE ALARM AND DETECTION SYSTEMS:	907.2.9 GROUP R-2 FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE INSTALLED GROUP R-2 OCCUPANCIES AS REQUIRED IN SECTION 907.2.9.1 AND 907.2.9.2
BUILDING "A" OCCUPANT LOAD PER TABLE 1004.1.2 FOR GROUP R	BUILDING "B" OCCUPANT LOAD PER TABLE 1004.1.2 FOR GROUP R
1ST FLOOR (S) 1 BEDROOM APARTMENTS (S) 178 S.F. EA.): 517.8 S.F./200 = 3 OCC. x 5 = 15 OCC.	1ST FLOOR (S) 1 BEDROOM APARTMENTS (S) 178 S.F. EA.): 517.8 S.F./200 = 3 OCC. x 5 = 15 OCC.
1ST FLOOR (S) 2 BEDROOM APARTMENTS (S) 375 S.F. EA.): 751.5/200 = 4 OCC. x 4 = 16 OCC.	1ST FLOOR (S) 2 BEDROOM APARTMENTS (S) 375 S.F. EA.): 751.5/200 = 4 OCC. x 4 = 16 OCC.
TOTAL 1ST FLOOR APARTMENTS: 11	TOTAL 1ST FLOOR APARTMENTS: 11
TOTAL 1ST FLOOR OCC. LOAD = 31 OCC.	TOTAL 1ST FLOOR OCC. LOAD = 31 OCC.
2ND FLOOR (S) 1 BEDROOM APARTMENTS (S) 178 S.F. EA.): 517.8 S.F./200 = 3 OCC. x 5 = 15 OCC.	2ND FLOOR (S) 1 BEDROOM APARTMENTS (S) 178 S.F. EA.): 517.8 S.F./200 = 3 OCC. x 5 = 15 OCC.
2ND FLOOR (S) 2 BEDROOM APARTMENTS (S) 375 S.F. EA.): 751.5/200 = 4 OCC. x 4 = 16 OCC.	2ND FLOOR (S) 2 BEDROOM APARTMENTS (S) 375 S.F. EA.): 751.5/200 = 4 OCC. x 4 = 16 OCC.
TOTAL 2ND FLOOR APARTMENTS: 11	TOTAL 2ND FLOOR APARTMENTS: 11
TOTAL 2ND FLOOR OCC. LOAD = 31 OCC.	TOTAL 2ND FLOOR OCC. LOAD = 31 OCC.
3RD FLOOR (S) 1 BEDROOM APARTMENTS (S) 178 S.F. EA.): 517.8 S.F./200 = 3 OCC. x 5 = 15 OCC.	3RD FLOOR (S) 1 BEDROOM APARTMENTS (S) 178 S.F. EA.): 517.8 S.F./200 = 3 OCC. x 5 = 15 OCC.
3RD FLOOR (S) 2 BEDROOM APARTMENTS (S) 375 S.F. EA.): 751.5/200 = 4 OCC. x 4 = 16 OCC.	3RD FLOOR (S) 2 BEDROOM APARTMENTS (S) 375 S.F. EA.): 751.5/200 = 4 OCC. x 4 = 16 OCC.
TOTAL 3RD FLOOR APARTMENTS: 11	TOTAL 3RD FLOOR OCC. LOAD = 31 OCC.
BUILDING-A TOTAL HEATED AREA 27,341 SF.	BUILDING-B TOTAL HEATED AREA 18,294 SF.
BUILDING-A TOTAL FLOOR OCC. LOAD..... 117 OCC.	BUILDING-B TOTAL FLOOR OCC. LOAD..... 78 OCC.
BUILDING-A TOTAL UNITS 33	BUILDING-B TOTAL UNITS 22
1005.3.1 BUILDING A STAIRWAY CAPACITY SIZING:	3RD FLOOR: 39 OCC. x 3 = 117' STAIRWAY WIDTH REQUIRED, 2- 54" WIDE STAIRWAYS PROVIDED. 2ND FLOOR: 39+39=78 OCC. x 3 = 234' STAIRWAY WIDTH REQUIRED, 2- 54" WIDE STAIRWAYS PROVIDED.
1005.3.2 BUILDING A OTHER EGRESS COMPONENT CAPACITY SIZING:	1ST FLOOR: 39+39+39 = 117 OCC. x 2 = 234' COMPONENT WIDTH REQUIRED, 72" WIDTH PROVIDED.
1005.3.1 BUILDING B STAIRWAY CAPACITY SIZING:	3RD FLOOR: 39 OCC. x 3 = 117' STAIRWAY WIDTH REQUIRED, 2- 54" WIDE STAIRWAYS PROVIDED. 2ND FLOOR: 39+39=78 OCC. x 3 = 234' STAIRWAY WIDTH REQUIRED, 2- 54" WIDE STAIRWAYS PROVIDED.
1005.3.2 BUILDING B OTHER EGRESS COMPONENT CAPACITY SIZING:	1ST FLOOR: 39+39+39 = 117 OCC. x 2 = 234' COMPONENT WIDTH REQUIRED, 72" WIDTH PROVIDED.
TABLE 1006.3.1 MIN. NUMBER OF EXITS OR ACCESS TO EXITS PER STORY FOR BUILDING "A" & "B":	OCCUPANT LOAD PER STORY = 500 = (2) EXITS REQUIRED FOR EACH STORY (2) EXITS PROVIDED AT EACH STORY (REF: BUILDING FIRE-2 EXIT PLANS)
EVES PROVIDED:	OCCUPANCY: GROUP R, WITH SPRINKLER SYSTEM: 250 FEET MAX.
TABLE 1017.2 EXIT TRAVEL DISTANCE:	
I.B.C. SECTION 1107 DWELLING UNITS AND SLEEPING UNITS	
1107.6.2.2 APARTMENT HOUSES, MONASTERIES AND CONVENTS, TYPE A UNITS AND TYPE B UNIT SHALL BE PROVIDED IN APARTMENT HOUSES, MONASTERIES, AND CONVENTS IN ACCORDANCE WITH SECTIONS 1107.6.2.2.1 AND 1107.6.2.2.2.	
1107.6.2.2.1 TYPE A UNITS, IN GROUP R-2 OCCUPANCIES CONTAINING MORE THAN 20 DWELLING UNITS OR SLEEPING UNITS, AT LEAST 2 PERCENT BUT NOT LESS THAN ONE UNIT SHALL BE A TYPE A UNIT. ALL GROUP R-2 UNITS ON A SITE SHALL BE CONSIDERED TO DETERMINE THE TOTAL NUMBER OF UNITS AND THE REQUIRED NUMBER OF TYPE A UNITS. TYPE A UNITS SHALL BE DISPERSED AMONG THE VARIOUS CLASSES OF UNITS.	
33 TOTAL APARTMENT UNITS x 2% = 2 TYPE A UNITS REQUIRED, 2 TOTAL PROVIDED, REF: ARCH PLANS FOR LOCATION.	
1107.6.2.2.2 TYPE B UNITS, WHERE THERE ARE FOUR OR MORE DWELLING UNITS OR SLEEPING UNITS INTENDED TO BE OCCUPIED AS A RESIDENCE IN A SINGLE STRUCTURE, EVERY DWELLING UNIT AND SLEEPING UNIT INTENDED TO BE OCCUPIED AS RESIDENCE SHALL BE A TYPE B UNIT.	
1107.7 GENERAL EXCEPTION, WHERE SPECIFICALLY PERMITTED BY SECTION 1107.5 OR 1107.4, THE REQUIRED NUMBER OF TYPE A UNITS OR TYPE B UNITS IS PERMITTED TO BE REDUCED IN ACCORDANCE WITH SECTIONS 1107.7.1 THROUGH 1107.7.5.	
1107.7.1 STRUCTURES WITHOUT ELEVATOR SERVICE, WHERE NO ELEVATOR SERVICE IS PROVIDED IN A STRUCTURE, ONLY THE DWELLING UNITS AND SLEEPING UNITS THAT ARE LOCATED ON STORIES INDICATED IN SECTIONS 1107.7.1.1 AND 1107.7.1.2 ARE REQUIRED TO BE TYPE A UNITS AND TYPE B UNITS. THE NUMBER OF TYPE A UNITS SHALL BE DETERMINED IN ACCORDANCE WITH SECTION 1107.7.2.2.1.	
1107.7.1.1 ONE STORY WITH TYPE B UNITS REQUIRED, AT LEAST ONE STORY CONTAINING DWELLING UNITS OR SLEEPING UNIT INTENDED TO BE OCCUPIED AS A RESIDENCE SHALL BE PROVIDED WITH AN ACCESSIBLE ENTRANCE FROM THE EXTERIOR OF THE STRUCTURE AND ALL UNITS INTENDED TO BE OCCUPIED AS RESIDENCE ON THAT STORY SHALL BE TYPE B UNITS.	
NOTE: ALL 1ST FLOOR APARTMENT UNITS TO BE TYPE A OR B DWELLINGS, THE 2ND AND 3RD FLOOR APARTMENTS ARE NOT REQUIRED TO BE TYPE A OR B DWELLINGS	

CODE INFORMATION:

INTERNATIONAL BUILDING CODE (IBC) 2021
ELECTRICAL CODE 2020
MECHANICAL CODE 2021
PLUMBING CODE 2021
ENERGY CODE 2018
FIRE CODE 2021

OCCUPANCY GROUP: R-2
TYPE OF CONSTRUCTION: VA - 1 HR. (ONE HOUR FIRE RATED, FULLY AUTO SPRINKLED)
SITE CLASS D
SEISMIC ZONE: MX-T
ZONE: F-11-Z
ZONE ATLAS: F-11-Z

UNIT TABULATION

		1 BED UNIT	2 BED UNIT	TOTAL	TOTAL
BUILDING A	1ST FLOOR	5	6	11	33
	2ND FLOOR	5	6	11	
	3RD FLOOR	5	6	11	
BUILDING B	1ST FLOOR	5	6	11	22
	2ND FLOOR	5	6	11	
SUB TOTAL		25	30	55	55

OCCUPANT LOAD

BUILDING A
1ST FLOOR 9,820 SF @ 200SF/PERSON = 50
2ND FLOOR 9,820 SF @ 200SF/PERSON = 50
3RD FLOOR 9,820 SF @ 200SF/PERSON = 50

BUILDING B
1ST FLOOR 9,820 SF @ 200SF/PERSON = 50
2ND FLOOR 9,820 SF @ 200SF/PERSON = 50

TOTAL OCCUPANT LOAD = 250

TOTAL GROSS AREA

BUILDING A
1ST FLOOR = 9,820 SF
2ND FLOOR = 9,820 SF
3RD FLOOR = 9,820 SF

BUILDING B
1ST FLOOR = 9,820 SF
2ND FLOOR = 9,820 SF

TOTAL = 49,100 SF

HEATED AREA

BUILDING A
1ST FLOOR = 9,247 SF
2ND FLOOR = 9,047 SF
3RD FLOOR = 9,047 SF

BUILDING B
1ST FLOOR = 9,247 SF
2ND FLOOR = 9,047 SF

TOTAL = 45,635 SF

PLUMBING ANALYSIS

N/A

TRAFFIC CIRCULATION LAYOUT APPROVED
Sertil A. Kanbar 3/24/2026
Signed Date

PARKING ANALYSIS

25 ONE BEDROOM UNITS + 30 TWO BEDROOM UNITS = 55 TOTAL UNITS
TOTAL PARKING SPACES REQUIRED = 55 SPACES
TOTAL PARKING SPACES PROVIDED = 62 SPACES
PROVIDED PARKING INCLUDES:
ACCESSIBLE VAN PARKING = 1 SPACE
ACCESSIBLE CAR PARKING = 3 SPACES
EV CHARGING = 4 SPACES

BIKE RACK

2 RACKS FOR 4 BIKES EACH

MOTORCYCLE

4 SPACES PROVIDED

PROJECT TEAM

ARCHITECT & STRUCTURAL: TAFAZZUL HUSSAIN
AFRA CONSTRUCTION & DESIGN
2501 YALE BLVD. SE, SUITE 102
ALBUQUERQUE, NEW MEXICO 87106
PH: (505) 242-1745
FAX: (505) 242-1737
CONTACT: TAFAZZUL HUSSAIN
EMAIL: thussain@afradesign.com

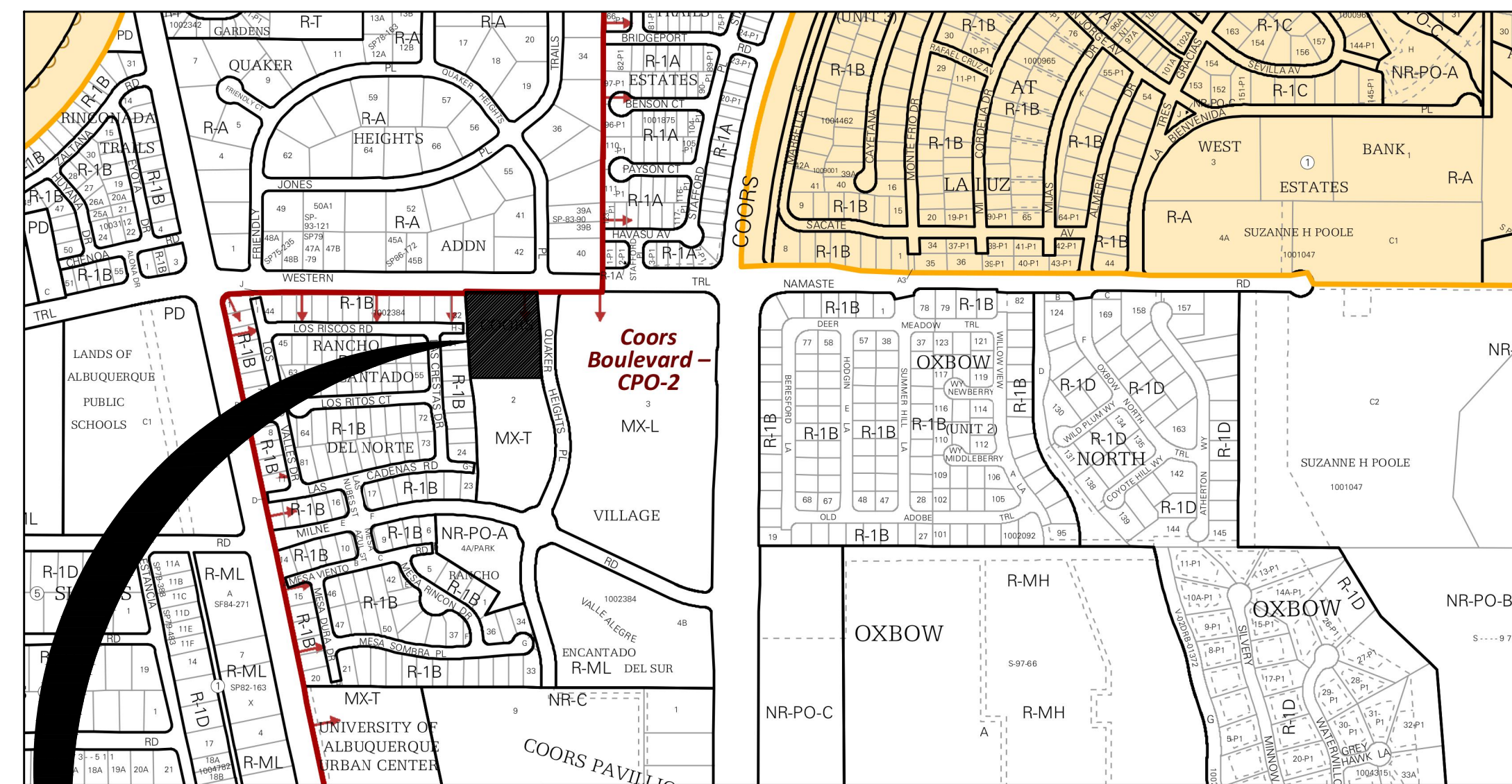
CIVIL: THE HENSLEY ENGINEERING GROUP
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P.O. Box 1241
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2612 W. Heiman St, Unit 52
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http://zenithmep.carrd.co/
P: 505 702 5805

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Nashville, TN 37208
http://zenithmep.carrd.co/
P: 505 702 5805

ELECTRICAL: ZENITH Engineering LLC
2612 W. Heiman St, Unit 52
Nashville, TN 37208
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P: 505 702 5805



SITE LOCATION

VICINITY MAP
NOT IN SCALE

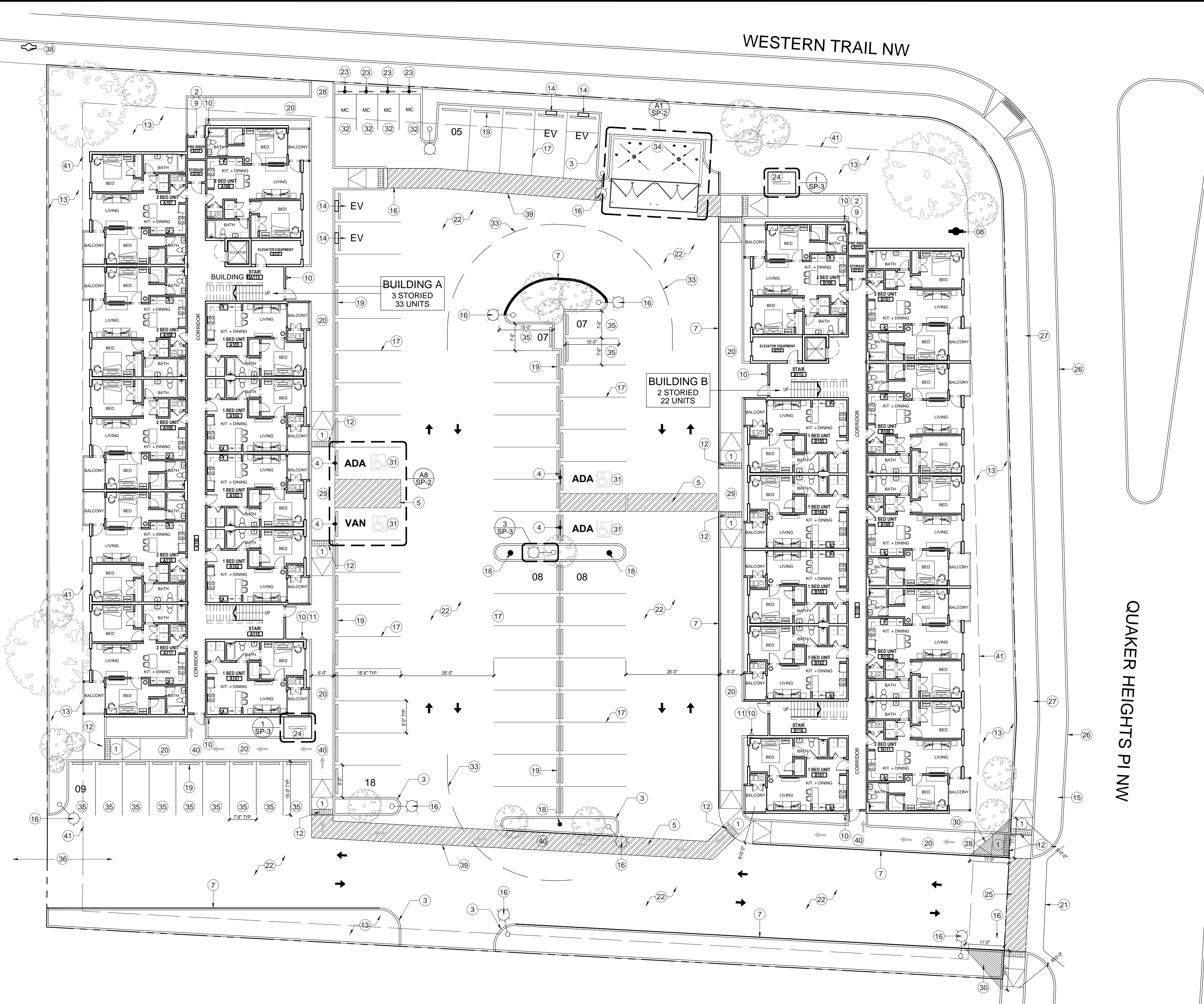
AFRA CONSTRUCTION & DESIGN

2501 Yale Blvd. SE, Suite 102 - Albuquerque, NM 87106 - Tel: 505-242-1745, Fax: 505-242-1737

CS
MARCH 19, 2026

WESTERN TRAIL NW

QUAKER HEIGHTS PL NW



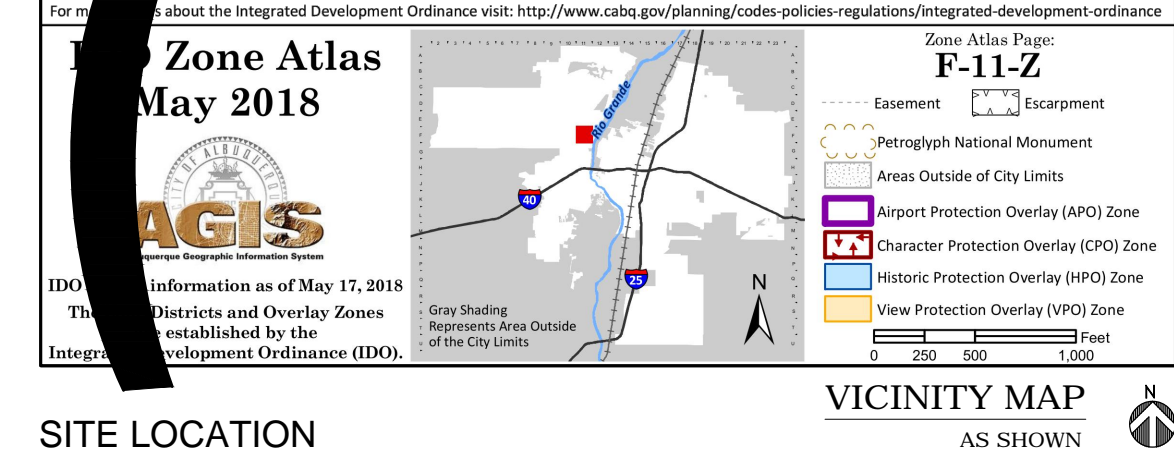
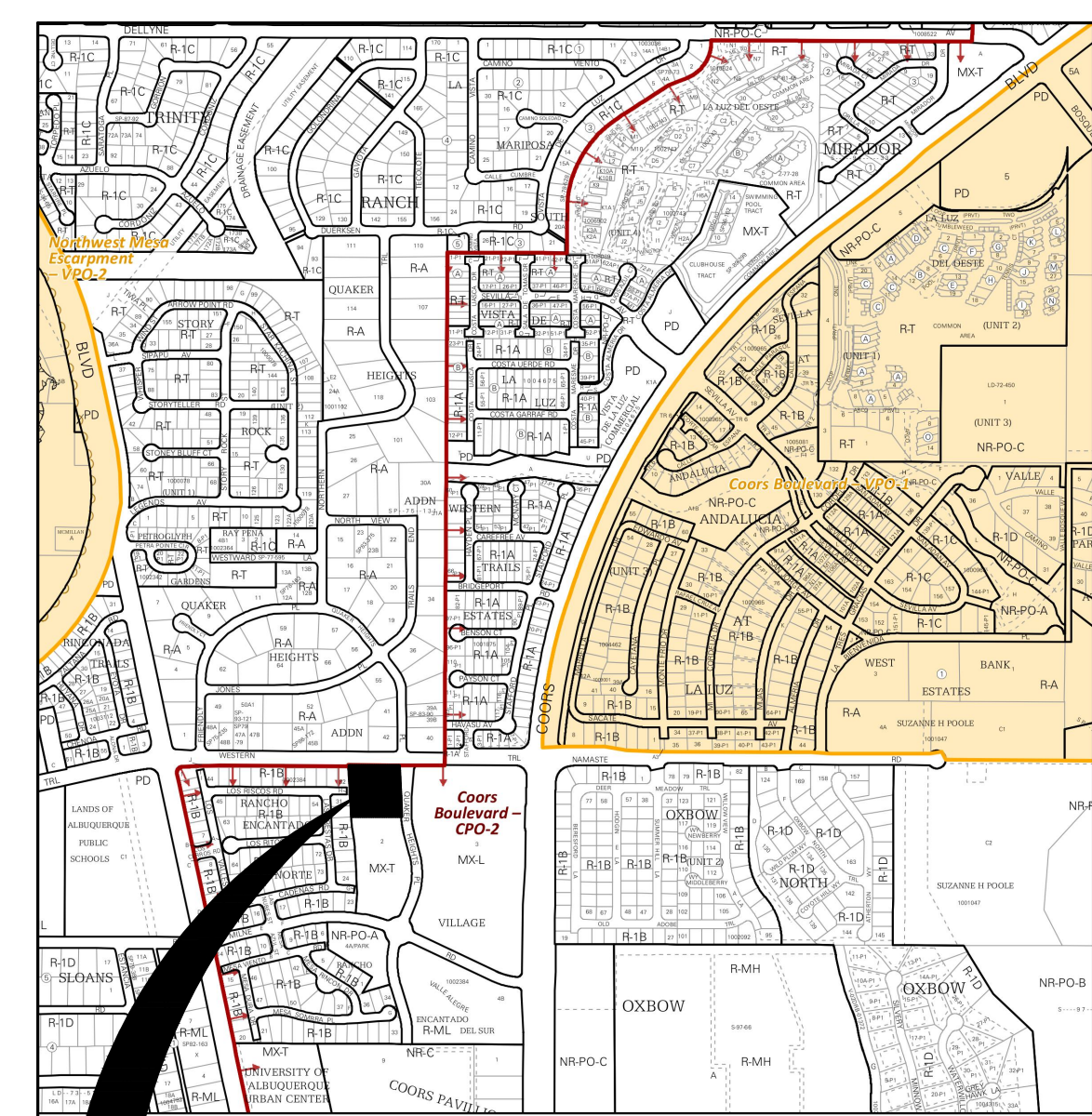
1 SITE PLAN
SP-1 SCALE: 1" = 15'-0"

KEYED NOTES

- 6' x 6' LANDING WITH ACCESSIBLE CURB RAMP, REF: DETAIL A10/SP-2
- FIRE RISER ROOM WITH FIRE RISER, G.C. TO SUBMIT FIRE SPRINKLER PLANS TO THE FIRE MARSHALL'S OFFICE FOR REVIEW AND APPROVAL
- 6' RAISED CONCRETE CURB, TYP. PER C.O.A. STD. DWG 2443
- ACCESSIBLE PARKING SIGNAGE PER C.O.A. STANDARDS, REF: DETAIL A8/SP-2
- PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN (56-14.1 B NMSA 1978), REF: DETAIL A8/SP-2
- DUMPSTER ENCLOSURE, NOTE: DUMPSTER ENCLOSURE WALLS TO BE 8'-0" HIGH, REF: DETAIL A10/SP-2
- FIRE LANE, PAINT CONC. CURB RED AND ADD SIGNAGE TO CURBS 5" HIGH WHITE LETTER "NO PARKING, FIRE LANE", TYP. EVERY 15' OVER 6" WIDE RED STRIPE, REF: FIRE ORD. 503.3
- NEW FIRE HYDRANT LOCATION
- G.C. TO PROVIDE AND INSTALL ROOM SIGNAGE AT FIRE RISER ROOM DOOR STATING "FIRE RISER ROOM"
- G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS INTO FIRE RISER ROOM, MOUNT BOX 5'-0" HIGH A.F.F., TYP.
- FIRE DEPARTMENT CONNECTION (FDC) LOCATION, NOTE: FDC LOCATION TO BE WITH 100 FEET OF FIRE HYDRANT
- LANDSCAPING AREA, REF: LANDSCAPING PLAN
- 24" TRUNCATED DOMES, TYP. REFERENCE DETAIL A10/SP-2
- LANDSCAPING AREA, REF: LANDSCAPING PLAN
- ELECTRICAL VEHICLES CHARGING STATIONS
- BUILD 5'-0" WIDE LANDSCAPE BUFFER TO C.O.A. STANDARDS (SEE INFRASTRUCTURE LIST FOR FINANCIAL GUARANTEE)
- PARKING LOT LIGHTING WITH LED FIXTURES, REF TO DETAIL 3/SP-3
- 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS, REF: DETAIL A8/SP-2
- P.V. LOCATION
- CONCRETE WHEEL STOP, TYP. REFERENCE DETAIL A5/SP-2
- 4" THICK CONCRETE SIDEWALK, TYP. REFERENCE DETAIL A5/SP-2
- CONSTRUCT NEW CONCRETE DRIVEWAY PER C.O.A. STANDARD DWG 2426 (WITH PARALLEL RAMP) WITH 6" VALLEY GUTTER PER C.O.A. STANDARD DWG 2420, REF: GRADING AND DRAINAGE PLAN
- ASPHALT PAVEMENT - ACCESS ROADS FOR APPROVED FIRE APPARATUS CAPABLE OF SUPPORTING 75,000 PSF. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE
- MOTORCYCLE PARKING SIGNAGE, PER C.O.A. STANDARDS, REF: DETAIL C5/SP-2
- BIKE RACK FOR (5) BICYCLES, REF: DETAIL 1/SP-3
A. 30" TALL X 18" WIDE
B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED
C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION SEE THE IDO FOR ADDITIONAL INFORMATION
D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED
E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK
F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE
G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD
- 6" WIDE ACCESSIBLE PEDESTRIAN PATH, TYP. REF: DETAIL A5/SP-2
- CONSTRUCT NEW RAISED 6" STD CONCRETE CURB AND GUTTER PER C.O.A. STANDARD DRAWING 2415A
- CONSTRUCT NEW 7'-6" WIDE CONCRETE SIDEWALK PER C.O.A. STANDARD (SEE INFRASTRUCTURE LIST FOR FINANCIAL GUARANTEE) (5:1 TAPER PROVIDED AT END OF SIDEWALK, IF NECESSARY)
- START OF 6" CONCRETE SIDEWALK, PER C.O.A. STANDARD DWG. 2430 (5:1 TAPER PROVIDE IF NECESSARY)
- 6 FT WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY (HATCHED AREA ONLY ON PLANS), REFERENCE DETAIL A10/SP-2
- 11' x 11' CLEAR SITE TRIANGLE PER DPM, NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENT. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AT MEASURED FROM THE GUTTER WILL NOT BE ACCEPTABLE IN THIS AREA. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
- HANDICAP SYMBOL PER C.O.A. STANDARDS, TYPICAL PLACES, REF: C2/SP-2 FOR DETAILS
- "MC" PARKING ON ASPHALT PAVING IN CAPITAL LETTERS, 12" HIGH x 2" WIDE
- 40' RADIUS
- TRASH ENCLOSURE FOR DOUBLE CONTAINER, A1/SP-2
- PAINTED "COMPACT" - WHITE ON PAVEMENT PER CABQ STANDARDS, WHERE IS SHOWN ON PLANS
- SECONDARY ACCESS ROAD
- PROPOSED TRANSFORMER LOCATION
- EXISTING FIRE HYDRANT LOCATION
- ADA 5'-0" WIDE CROSSWALK
- 6'-0" WIDE ADA ACCESSIBLE PATHWAY
- PUBLIC UTILITY EASEMENT (PUE)

TRAFFIC CIRCULATION LAYOUT APPROVED
Sertil A. Kanbar 3/24/2026
Signed Date

STATE OF NEW MEXICO
TAFAZZUL HUSSAIN
NO. 3071
REGISTERED ARCHITECT
2/10/2026



PARKING ANALYSIS

BUILDING A	= 33
BUILDING B	= 22
TOTAL UNITS	= 55
REQUIRED PARKING SPACES	= 55
PROVIDED PARKING SPACES	= 62
ADA ACCESSIBLE CAR PARKING	= 4
VAN ACCESSIBLE PARKING	= 1
EV CHARGING	= 4
TOTAL PARKING	= 62

TRAFFIC CIRCULATION LAYOUT

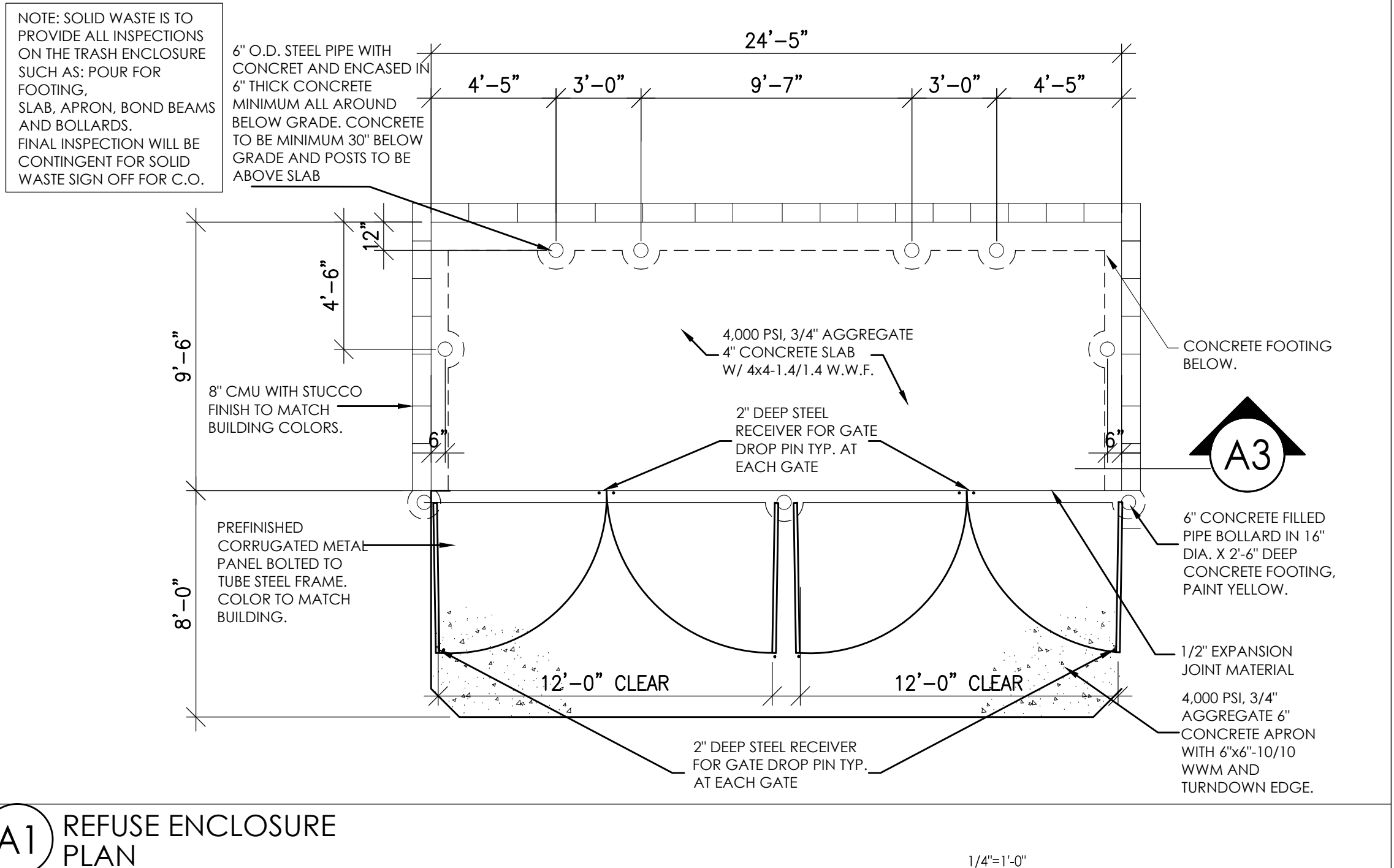
Afra Construction & Design
2501 Yale Blvd SE, Suite 102
Albuquerque, New Mexico 87106
Tel 505.242.1745
Fax 505.242.1737

COORS APARTMENTS

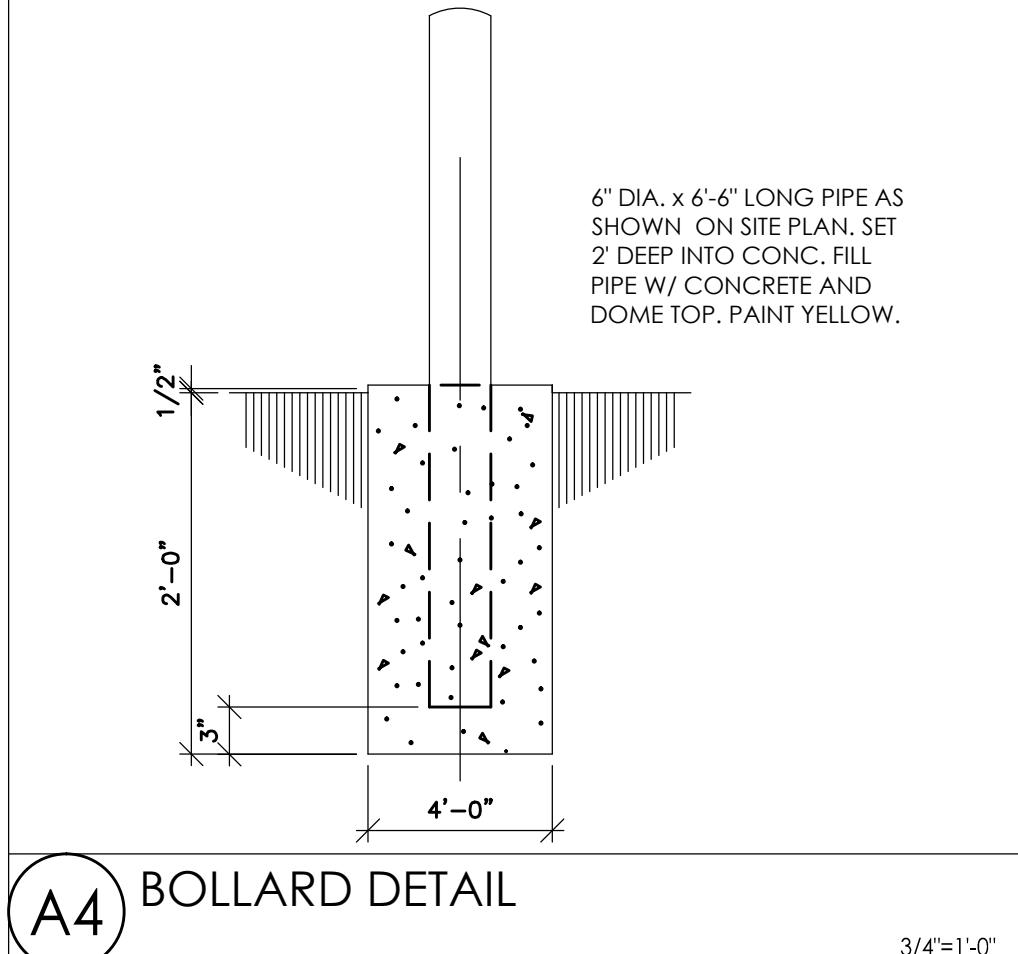
4525 QUAKER HEIGHTS PL NW, COORS VILLAGE, ALBUQUERQUE, NM 87120

REV	DATE	DESCRIPTION	AP/VD

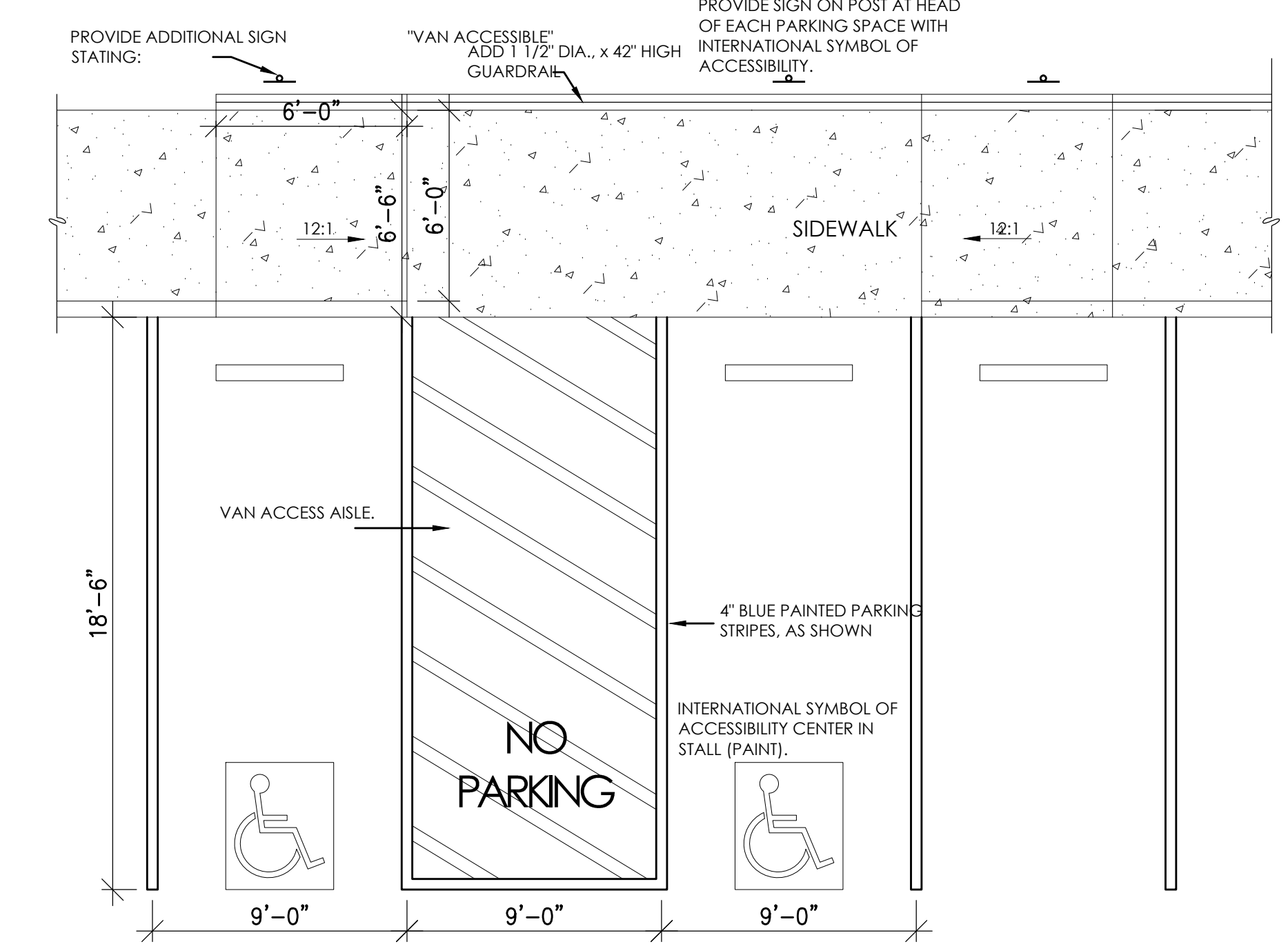
TCL-1
19/03/2026



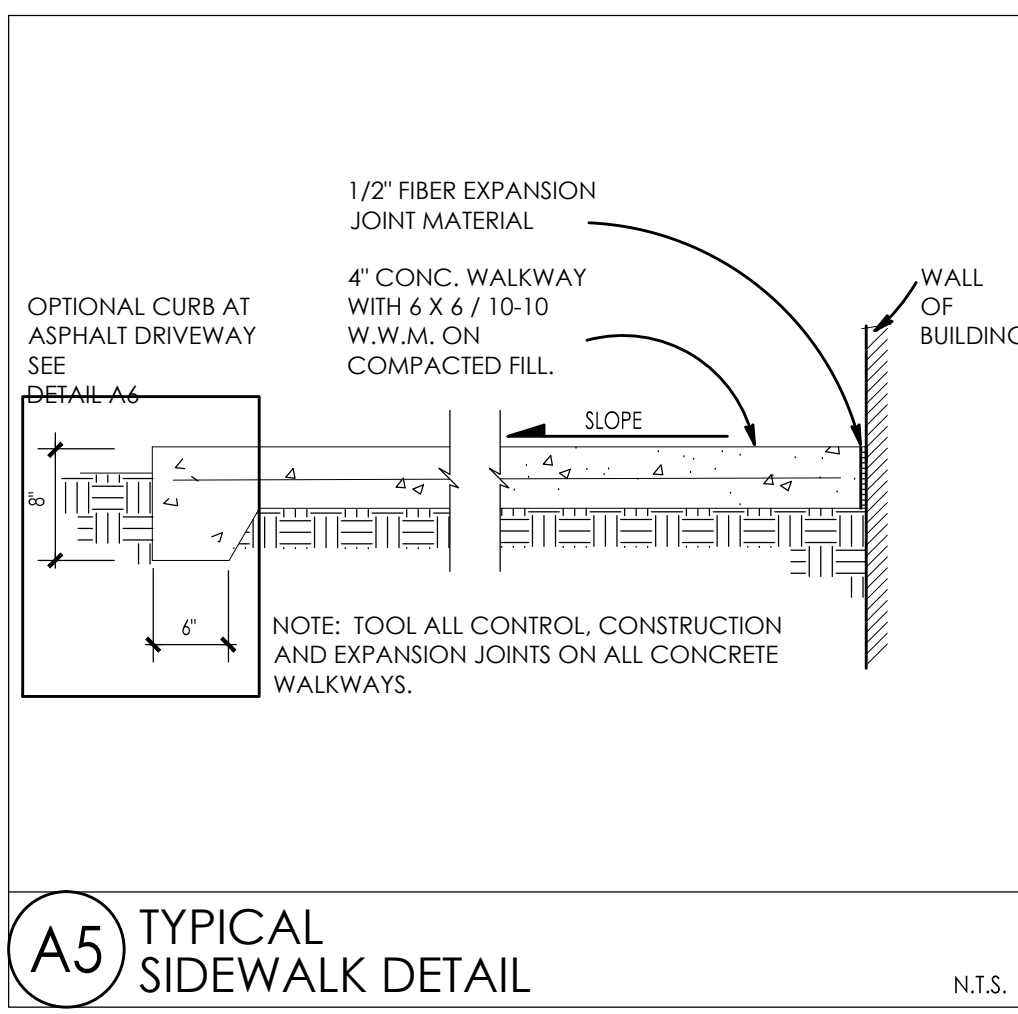
A1 REFUSE ENCLOSURE PLAN
1/4"=1'-0"



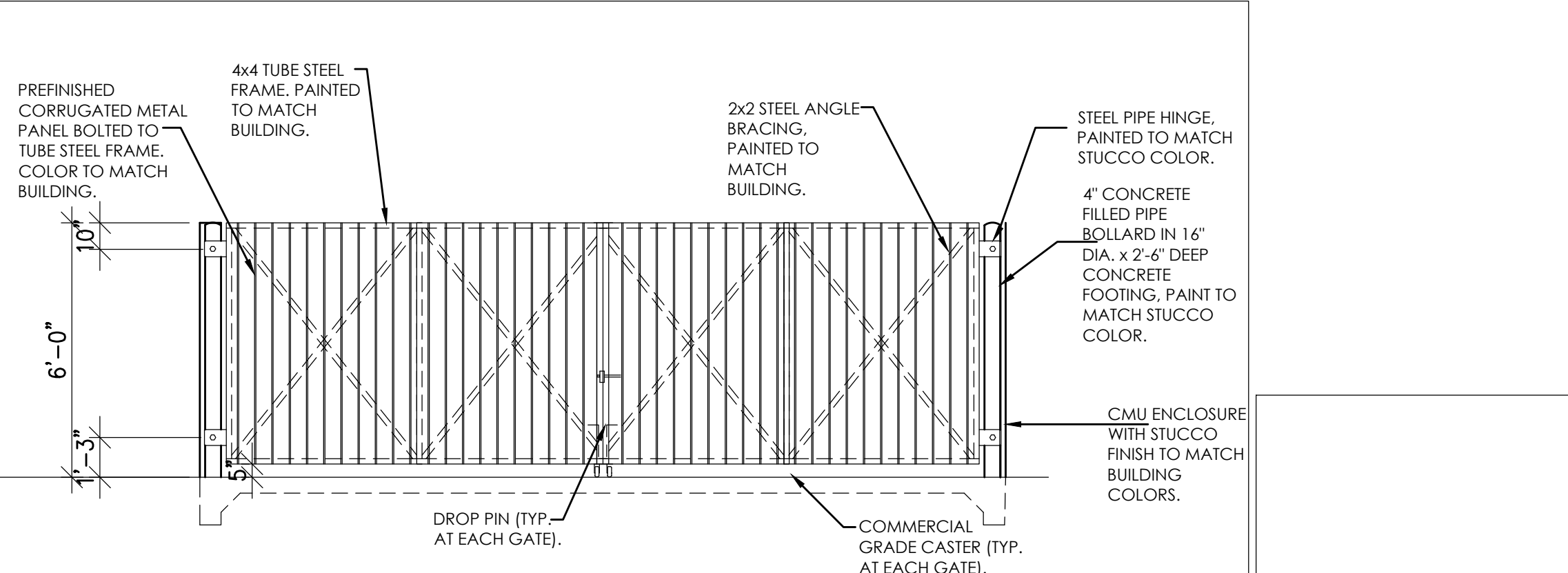
A4 BOLLARD DETAIL
3/4"=1'-0"



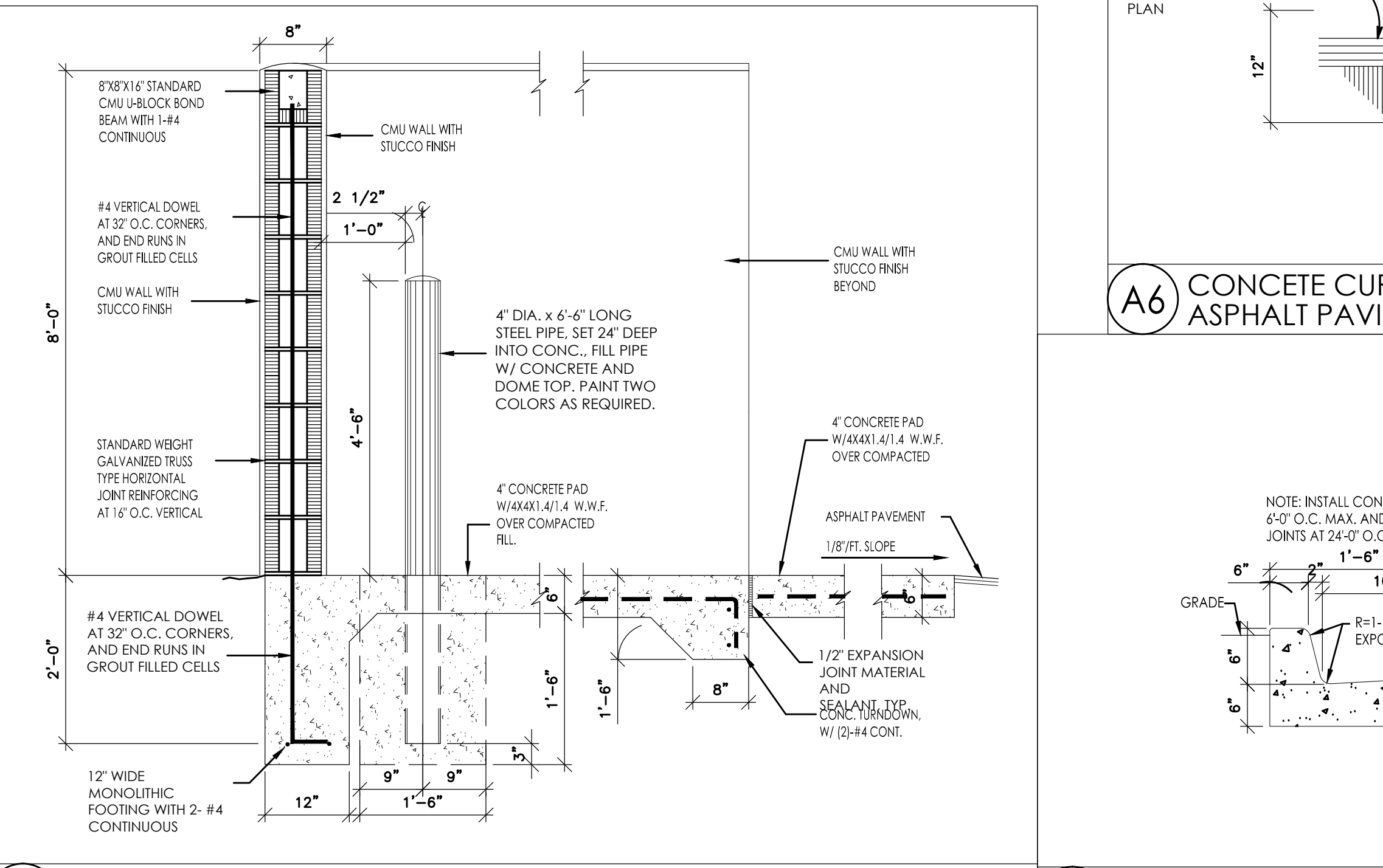
A8 HC PARKING STRIPING PLAN
1/4"=1'-0"



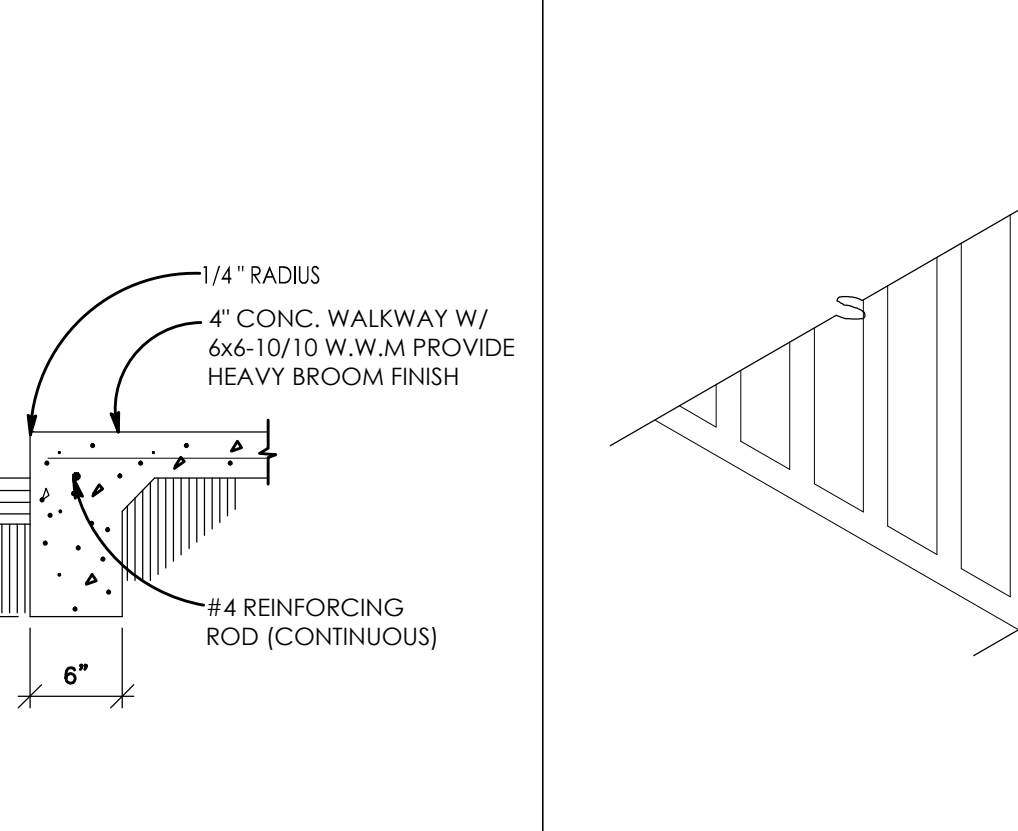
A5 TYPICAL SIDEWALK DETAIL
N.T.S.



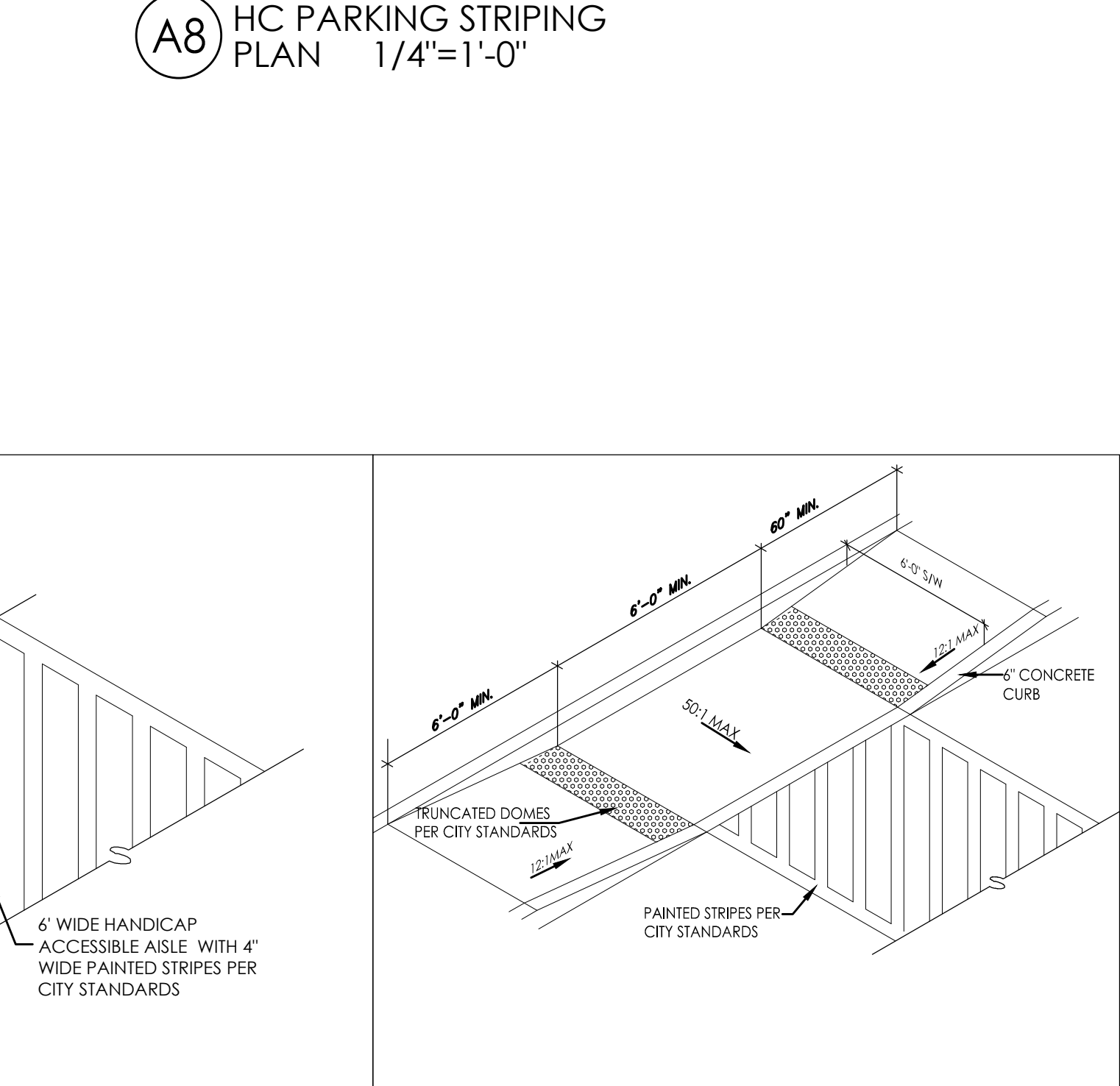
A2 REFUSE ENCLOSURE ELEVATION
1/4"=1'-0"



A3 ENCLOSURE CMU WALL DETAIL
3/4"=1'-0"

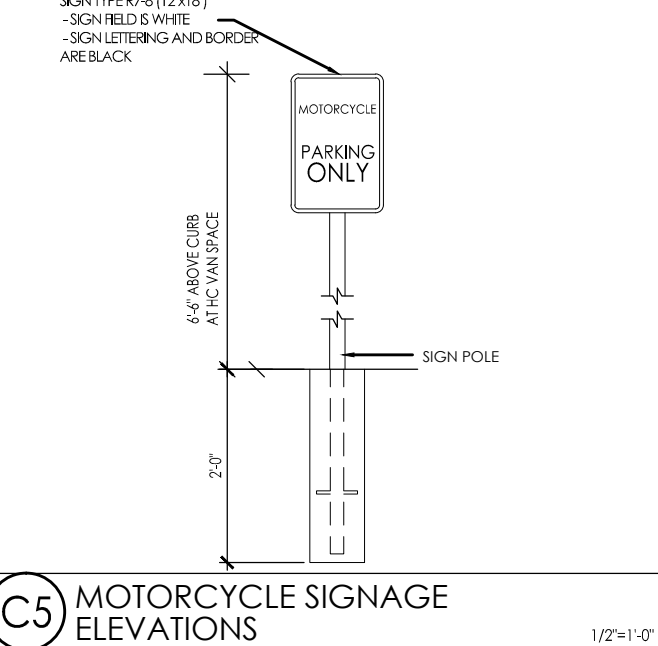


A6 CONCRETE CURB/SIDEWALK TO ASPHALT PAVING DETAIL
N.T.S.

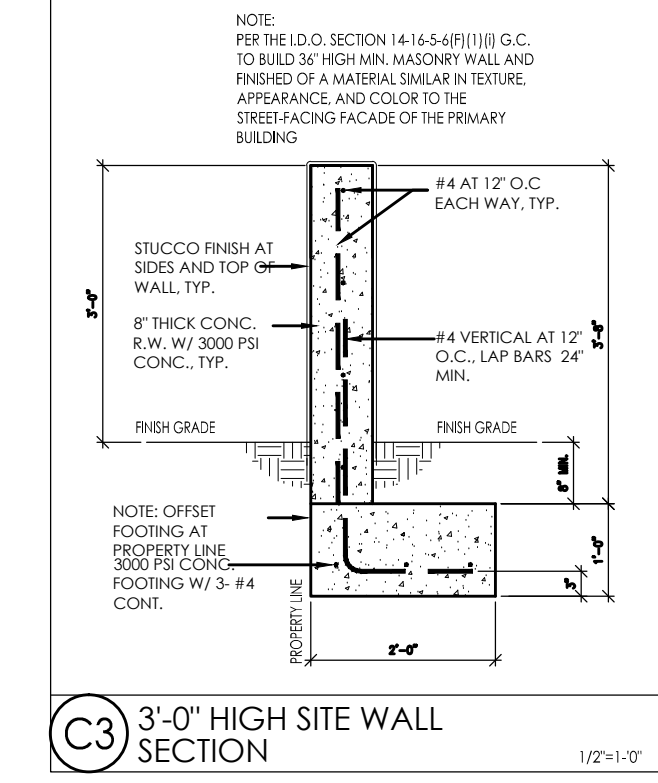


A9 ACCESSIBLE AISLE
N.T.S.

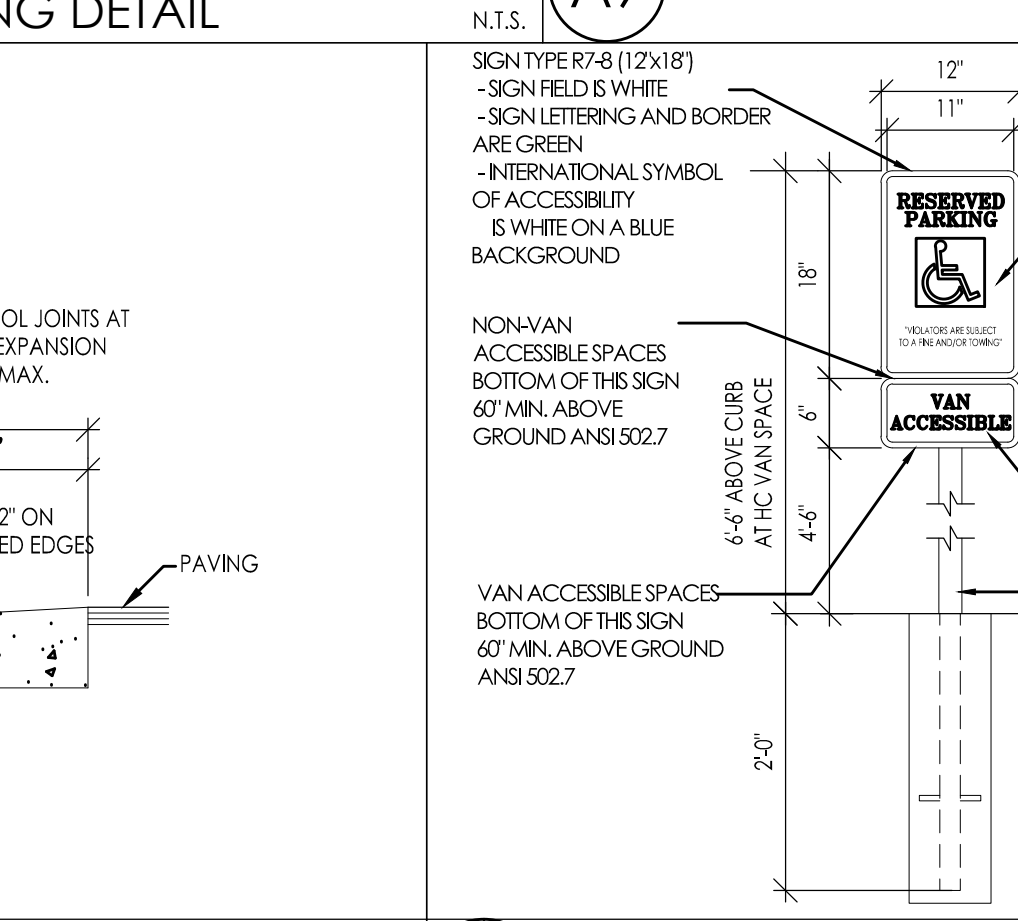
A10 ACCESSIBLE RAMP
NOT TO SCALE



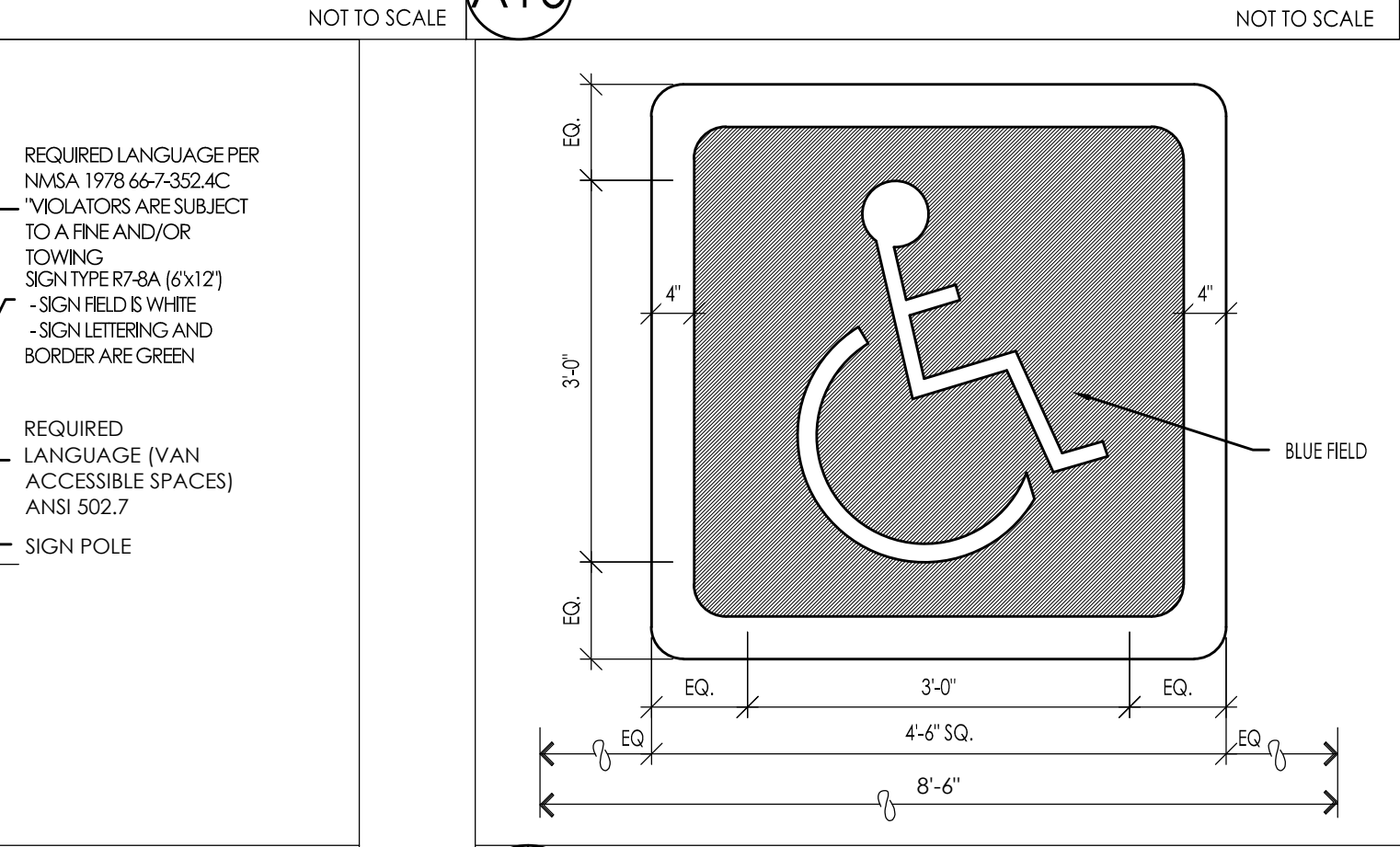
C5 MOTORCYCLE SIGNAGE ELEVATIONS
1/2"=1'-0"



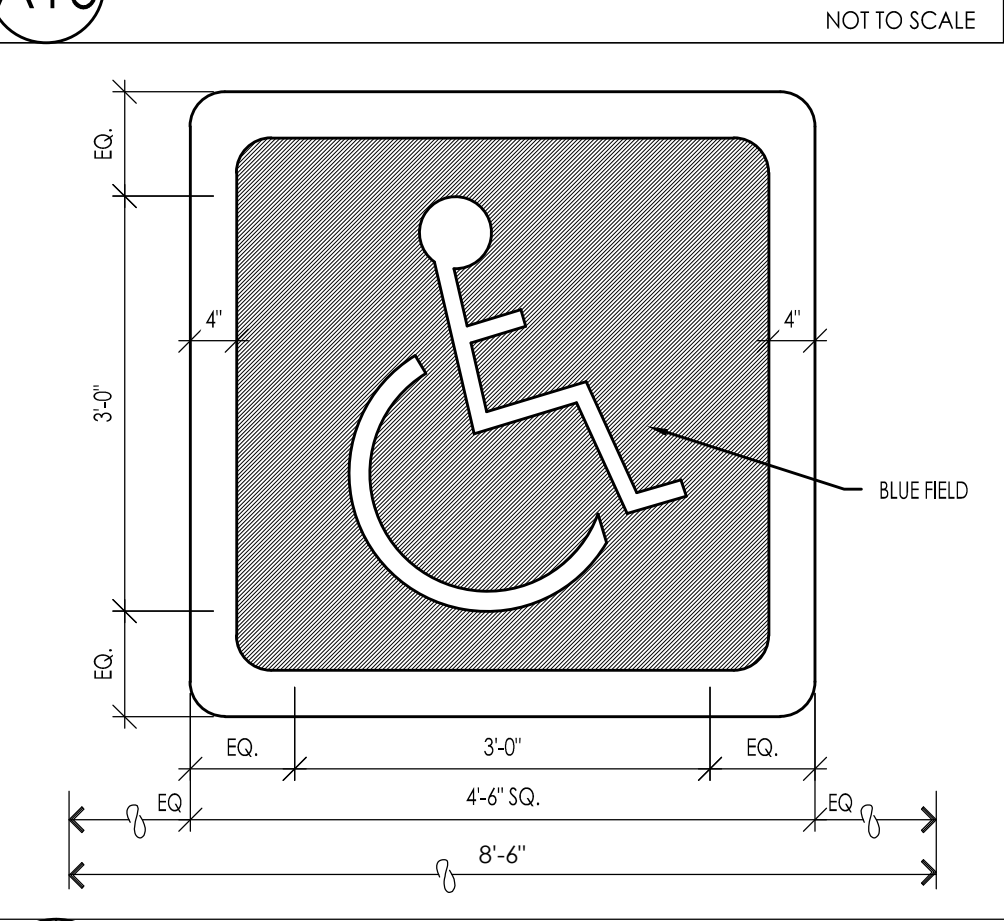
C3 3'-0" HIGH SITE WALL SECTION
1/2"=1'-0"



A7 CONCRETE CURB & GUTTER DETAIL
N.T.S.



C1 HC PARKING SIGNAGE ELEVATIONS
3/4"=1'-0"



C2 HC PARKING MARKING PLAN
3/4"=1'-0"

TRAFFIC CIRCULATION LAYOUT APPROVED
Sertil A. Kanbar 3/24/2024
Signed Date

STATE OF NEW MEXICO
TAFAZZUL HUSSAIN
NO. 3071
REGISTERED ARCHITECT
2/10/2026

SITE PLAN DETAILS

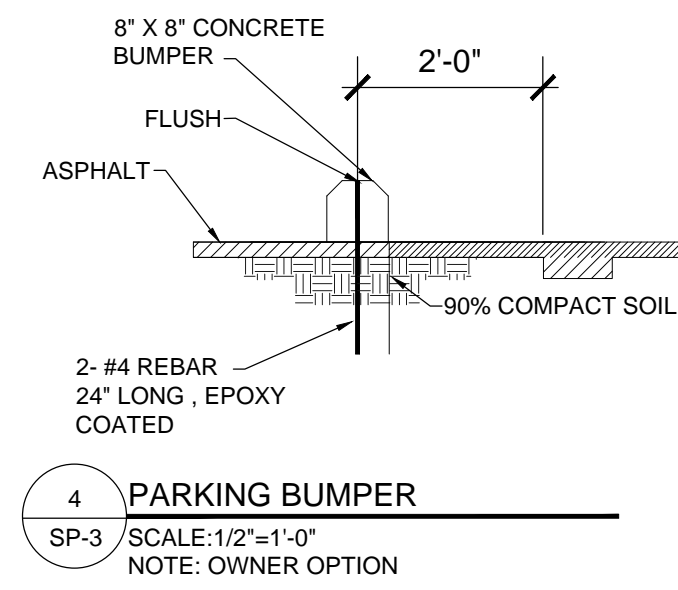
Afra Construction & Design
2501 Yale Blvd SE, Suite 102
Albuquerque, New Mexico 87106
Tel 505.242.1745
Fax 505.242.1737

COORS APARTMENTS
4525 QUAKER HEIGHTS PL NW, COORS VILLAGE, ALBUQUERQUE, NM 87120

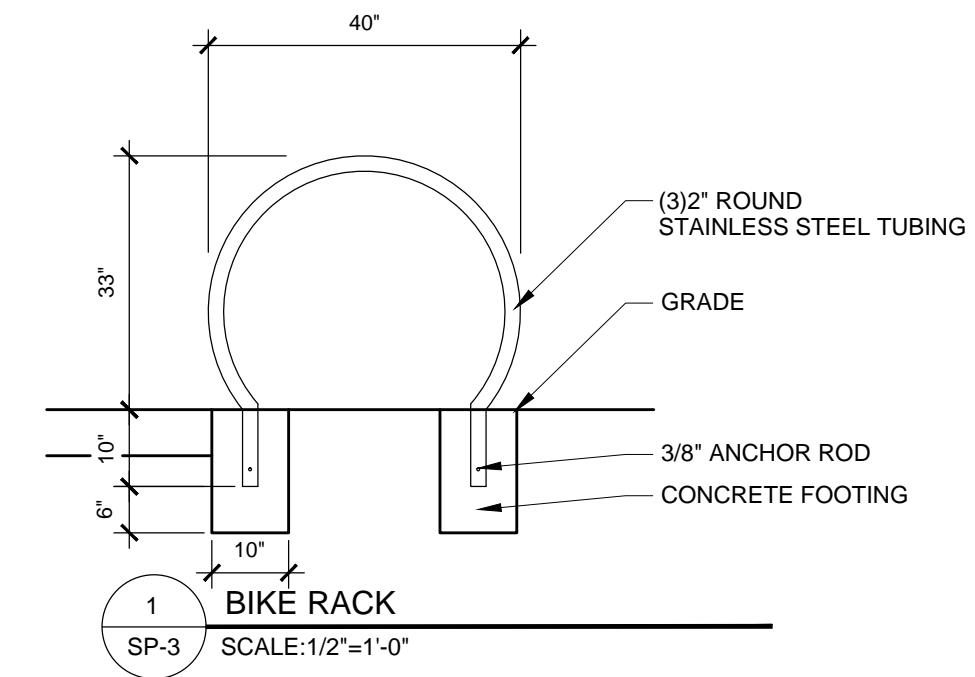
REV	DATE	DESCRIPTION	APVD

TCL2
19/03/2026

KEYED NOTES



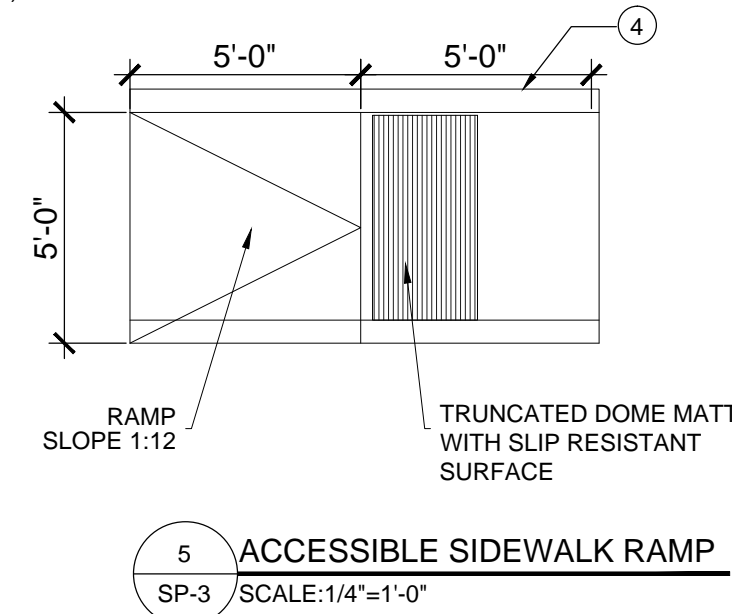
4 PARKING BUMPER
SP-3 SCALE: 1/2"=1'-0"
NOTE: OWNER OPTION



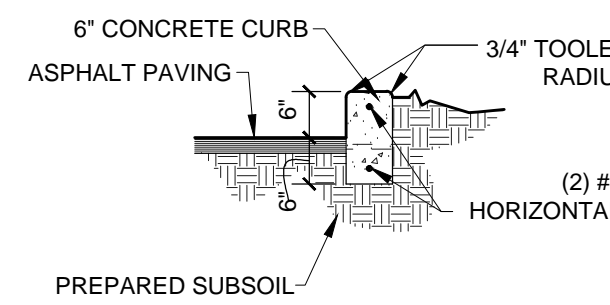
1 BIKE RACK
SP-3 SCALE: 1/2"=1'-0"

**TRAFFIC CIRCULATION
LAYOUT APPROVED**

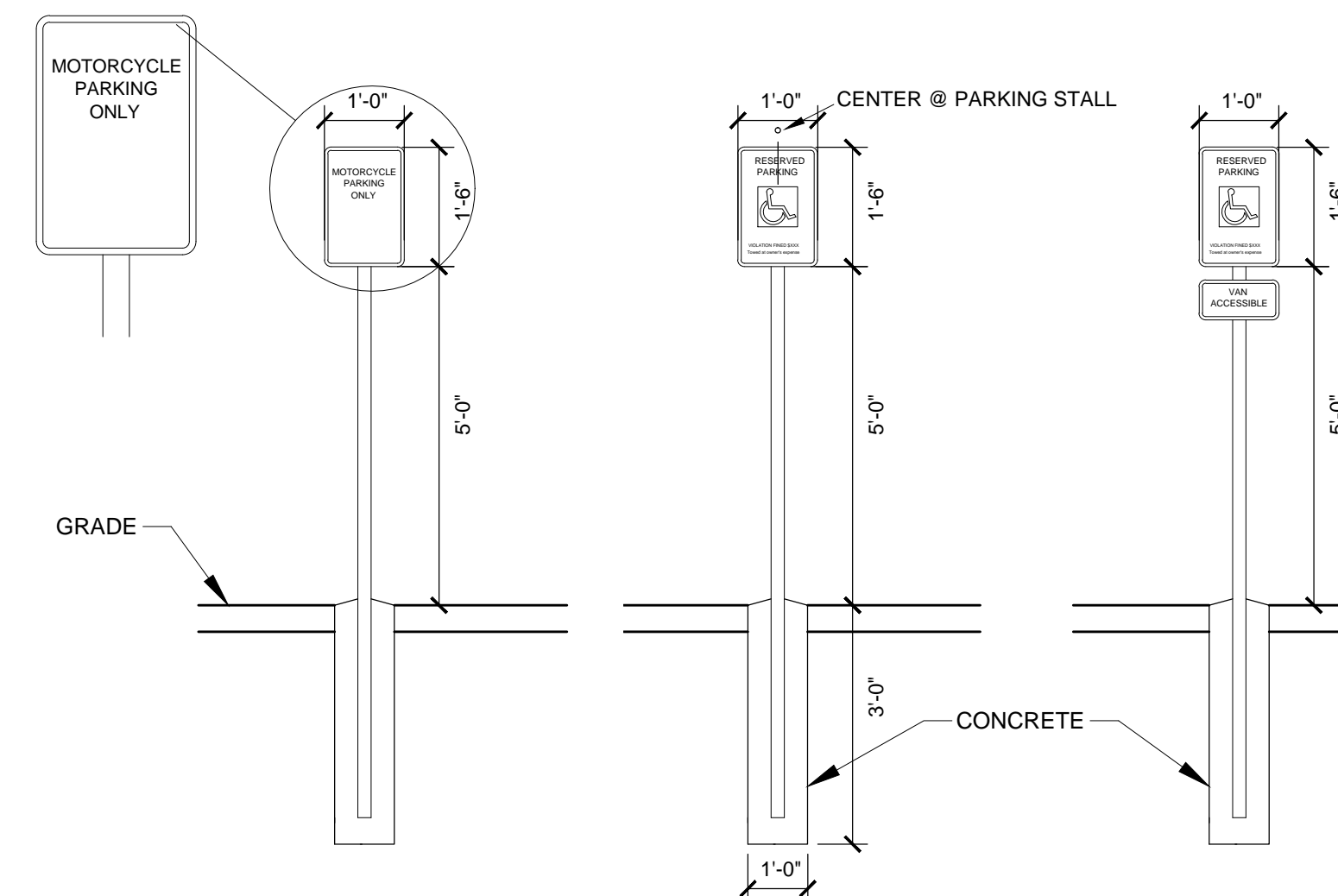
Sertil A. Kanbar 3/24/2026
Signed Date



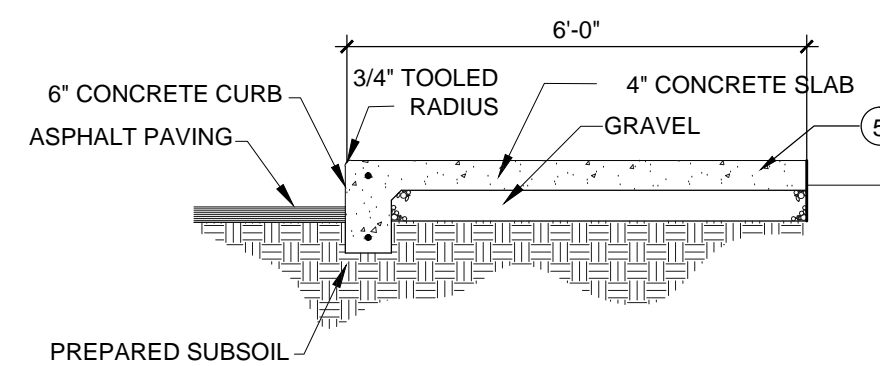
5 ACCESSIBLE SIDEWALK RAMP
SP-3 SCALE: 1/4"=1'-0"



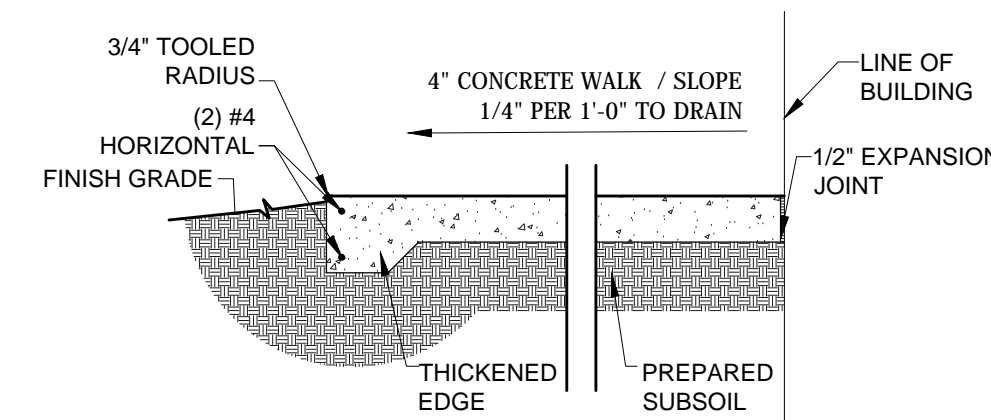
6 LANDSCAPE DETAIL
SP-3 SCALE: 1/2"=1'-0"



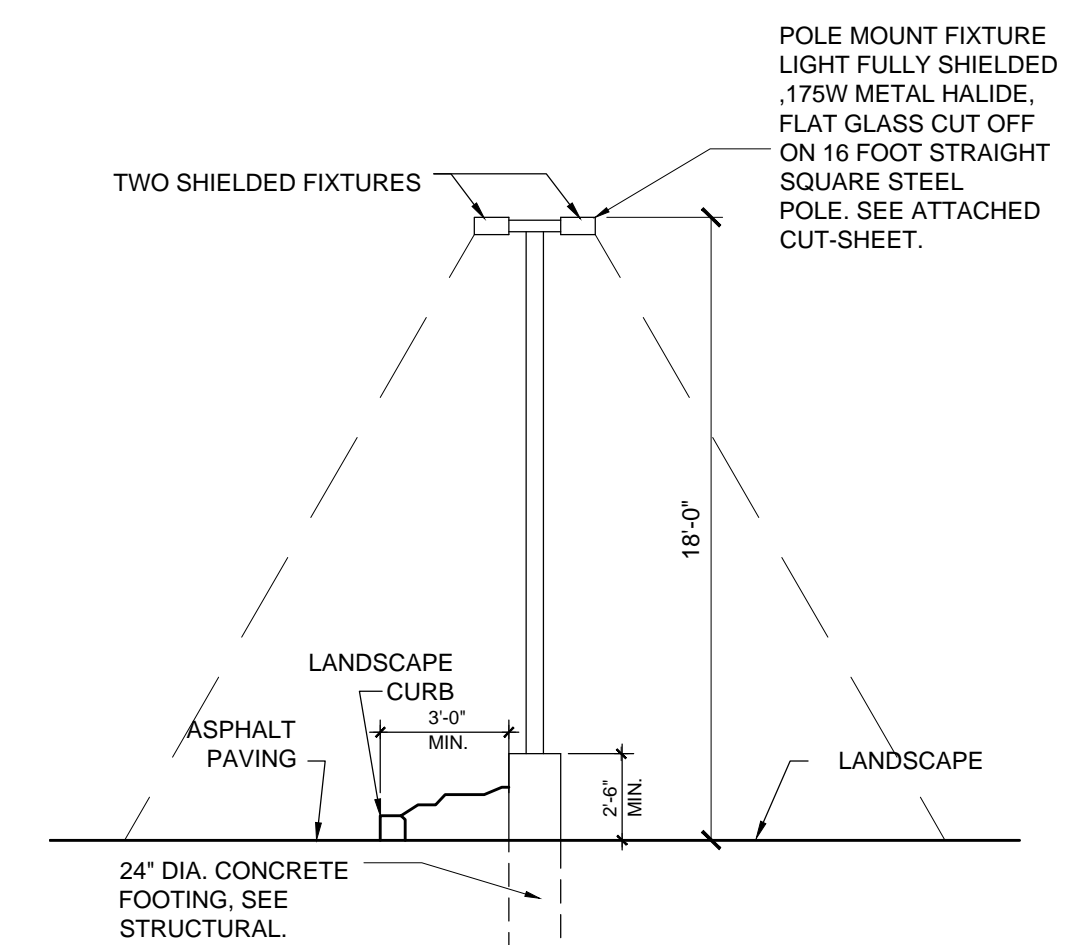
2 ACCESSIBLE PARKING SIGN & MOTORCYCLE PARKING SIGN
SP-3 SCALE: 1/2"=1'-0"



7 CONCRETE SIDE WALK CURB
SP-6 SCALE: 1/2"=1'-0"



8 FLUSH SIDEWALK
SP-3 SCALE: 1/2"=1'-0"



3 SHIELDED LIGHT POLE
SP-3 SCALE: 3/16"=1'-0"

STATE OF NEW MEXICO
TAFAZZUL HUSSAIN
NO. 3071
REGISTERED ARCHITECT
2/10/2026

SITE PLAN DETAILS

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Albuquerque, New Mexico 87106
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Fax 505.242.1737

COORS APARTMENTS
4525 QUAKER HEIGHTS PL. NW. COORS VILLAGE, ALBUQUERQUE, NM 87120

REV	DATE	DESCRIPTION	APVD

TCL3
19/03/2026



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 05/2024)

Project Title: _____

Zone Atlas Page: _____ DFT/DHO #: _____ BP #: _____

Development Street Address: _____

(If no City Address include a Vicinity Map with site highlighted and legible street names)

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ E-mail: _____

Development Information

Build out/Implementation Year: _____

Existing Use: _____

Describe Proposed Development and Uses:

Days and Hours of Operation (if known): _____

Facility

Building Size (sq. ft.): _____

Number of Residential Units: _____

Number of Commercial Units: _____

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* _____

Expected Number of Employees (if known):* _____

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour and ITE # (if known):* _____

Driveway(s) Located on: Street Name _____

Adjacent Roadway(s) Posted Speed: Street Name _____ Speed _____

Street Name _____ Speed _____

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation (e.g. Main Street, Major Transit, N/A): _____
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Comprehensive Plan Center Designation (e.g. urban center, Downtown, N/A): _____
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Street Functional Classification (e.g. Principal Arterial, Collector) : _____
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Jurisdiction of roadway (NMDOT, City, County): _____

Adjacent Roadway(s):

Name: _____ Traffic Volume: _____ Volume-to-Capacity Ratio (v/c): _____

Name: _____ Traffic Volume: _____ Volume-to-Capacity Ratio (v/c): _____

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/623/Traffic-Flow-Maps-and-Busiest-Intersecti> and <https://mrcog-nm.gov/574/Transportation-Analysis-and-Querying-App>

Adjacent Transit Service(s) : _____ Nearest Transit Stop(s): _____
<https://www.cabq.gov/gis/advanced-map-viewer>

Is site within 660 feet of Premium Transit?: _____
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Current/Proposed Bicycle Infrastructure : _____

Bikeways: <https://mrcog-nm.gov/544/Long-Range-System-maps>

Current/Proposed Sidewalk and buffer Infrastructure: _____

Sidewalk and buffer width : DPM Table 7.2.2

For City Personnel Use: _____

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No [x]

Thresholds Met? Yes [] No [x]

Mitigating Reasons for Not Requiring TIS and/or Notes:

Ernest Armijo
TRAFFIC ENGINEER

DATE