

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

November 5, 2021

Jesse Luehring, P.E.
Critical View Engineering
10900 Florence Ave NE
Albuquerque, NM 87122

RE: 4801 Valle Rio Tr NW
Grading and Drainage Plan
Engineer's Stamp Date: 11/01/21
Engineer's Certification Date: 11/04/21
Hydrology File: F12D004

Dear Mr. Luehring:

PO Box 1293

Based upon the information provided in your submittal received 11/05/2021, the Grading and Drainage Plan is approved for Building Permit and Building Pad Certification for 4801 Valle Rio Tr NW. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (G): Engineer's Certification Checklist for Subdivision and Part 6-14 (H): Required Certification Language is required.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: G & D for 4801 Valle Rio **Building Permit #:** _____ **Hydrology File #:** F12D004

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: TR K PLAT OF VALLE PARAISO SUBD AT ANDALUCIA AT LA LUZ

City Address: 4801 Valle Rio Tr NW

Applicant: Critical View Engineering **Contact:** Jesse Luehring

Address: 10900 Florence Ave NE, Albuquerque NM 87122

Phone#: 505-321-5917 **Fax#:** _____ **E-mail:** criticalviewabq@gmail.com

Other Contact: Builder **Contact:** Lukas Gallegos

Address: 1901 Avondale Pl NW, Albuquerque NM 87120

Phone#: 505-340-7544 **Fax#:** _____ **E-mail:** handwconstructionllc@gmail.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- _____ DRAINAGE REPORT
- _____ DRAINAGE MASTER PLAN
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ STREET LIGHT LAYOUT
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- ☒ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

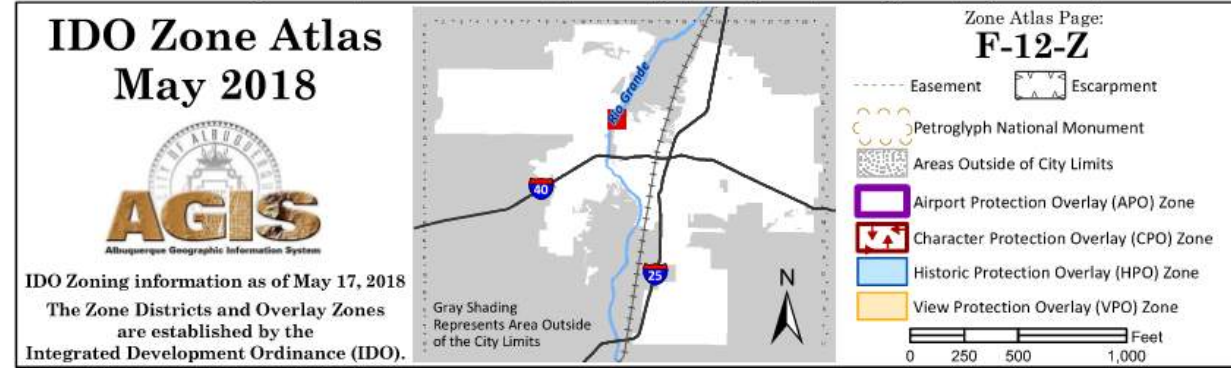
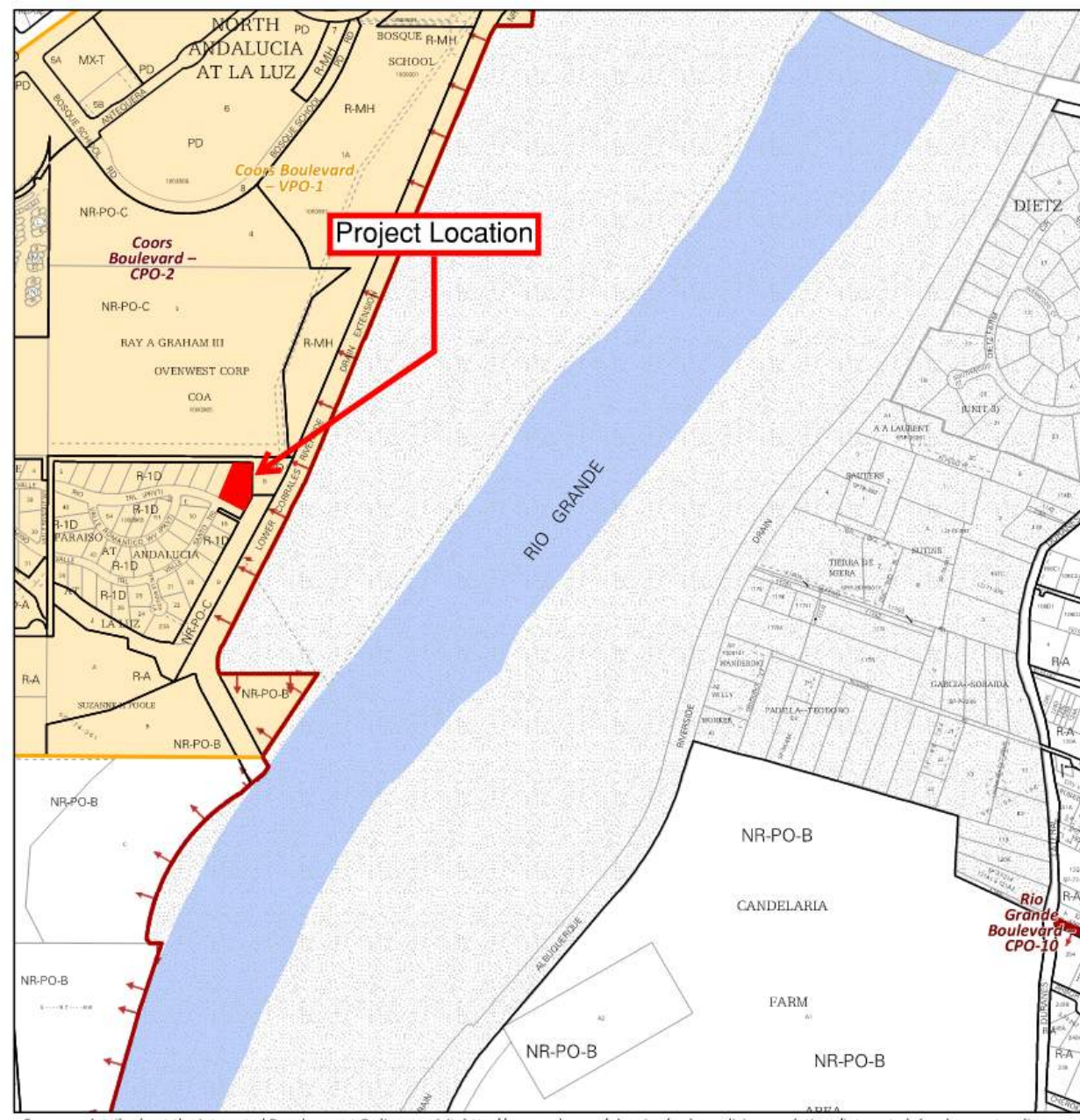
DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

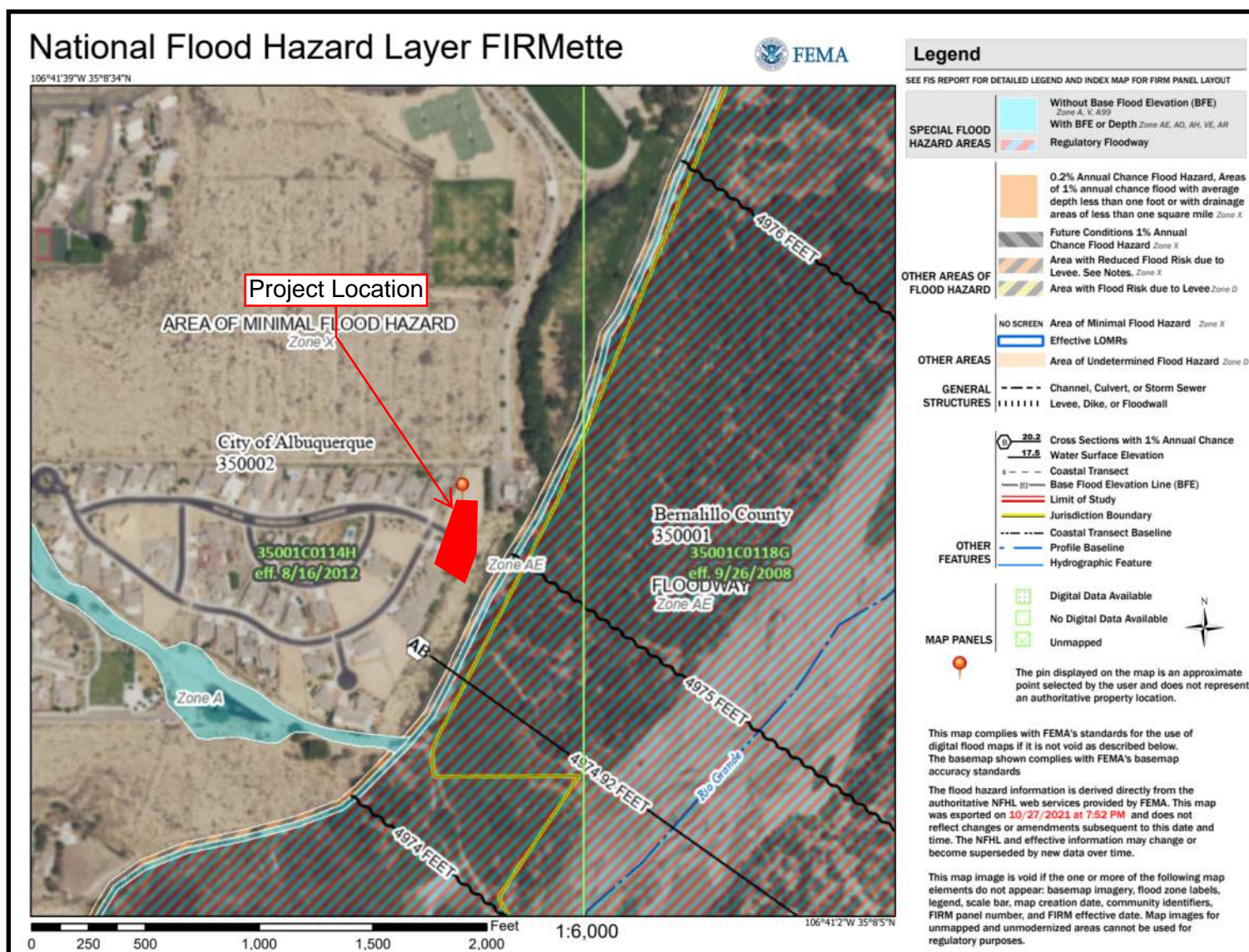
Vicinity/Zone Atlas Map



Pad Certification Photos



FEMA Flood Map



Drainage Calculations

| Lot 15, Valle Paraiso Subdivision at Andalucia at La Luz | | | | | | | | |
|--|---------------|-----------------|--|--------------------------------|---------------------------|---------------------------|------------------------------|-----------------------------|
| Land Type | Area Lot (SF) | Property Area % | Valle Paraiso Subdivision Basin 'D' Developed Conditions | 100-Yr Storm Inch Depth (6 hr) | 100-Yr Excess Precip (In) | Peak Discharge CFS/AC | Peak Rate of Discharge (CFS) | 100-Yr Storm Volume (Ac-Ft) |
| Type D | 7235 | 23% | 28% | 2.17 | 2.24 | 4.12 | 0.68 | 0.031 |
| Type C | 11446 | 37% | 36% | 2.17 | 0.95 | 2.87 | 0.75 | 0.021 |
| Type B | 12555 | 40% | 36% | 2.17 | 0.73 | 2.16 | 0.62 | 0.018 |
| | 31236 | 100% | 100% | | | | 2.06 | 0.069 |
| Total Drainage Basin Area: | | | 31236 SF | | | Peak Discharge: | 2.061 CFS | |
| | | | 0.717 AC | | | Stormwater Quality Volume | 253.2 Cubic Ft | |
| | | | | | | 100-Yr Storm Volume | 3020.4 Cubic Ft | |

General Notes

1. All perimeter walls shall be permitted separately
2. No grading shall be allowed on adjacent properties
3. All disturbed areas shall be stabilized with concrete, gravel, asphalt, or native seed mix
4. It is recommended to contract with a licensed geotechnical engineer for all aspects of earthwork and engineered fill material

Narrative:

This is a grading and drainage plan for the construction of the building pad for the Lot at address 4801 Valle Paraiso Subdivision at Andalucia at La Luz (UPC 101206111029420446)

The purpose of this plan is to establish the first floor elevation, house layout, site concrete layout, wall locations, and general lot drainage of the site. This drainage plan has been prepared in accordance with the 2020 revision to the City of Albuquerque Development Process Manual, and in accordance with the Valle Paraiso Subdivision Drainage Report, Prepared by Bohannon Huston, Inc. and Dated 2/11/2005.

Drainage Intent:

Existing Conditions: This lot is an 0.72 acre vacant land property, and is one of the few undeveloped lots in the Valle Paraiso Subdivision. It has an existing building pad and is bound by masonry walls on the North, West, and East, with street frontage to Valle Rio Tr. to the South. The lot has been previously graded in substantial conformance with the approved Valle Paraiso Subdivision Grading Plan, dated 3/3/2005. The lot is contained in basin D-1 as identified in the accompanying Drainage Report. The lot generally drains to the South, with negligible offsite flows entering the property. All onsite flows exit the site as surface drainage at the Southeast corner discharging into the dedicated retention pond East of the development.

Proposed Conditions: Improvements to the lot include a new residence and concrete driveway that will add approximately 7235 SF of impervious area, or 23% of the property area (Developed conditions of the subdivision allows up to 28%). The lot is designed to drain to the street, in accordance with the drainage concept outlined for the subdivision.

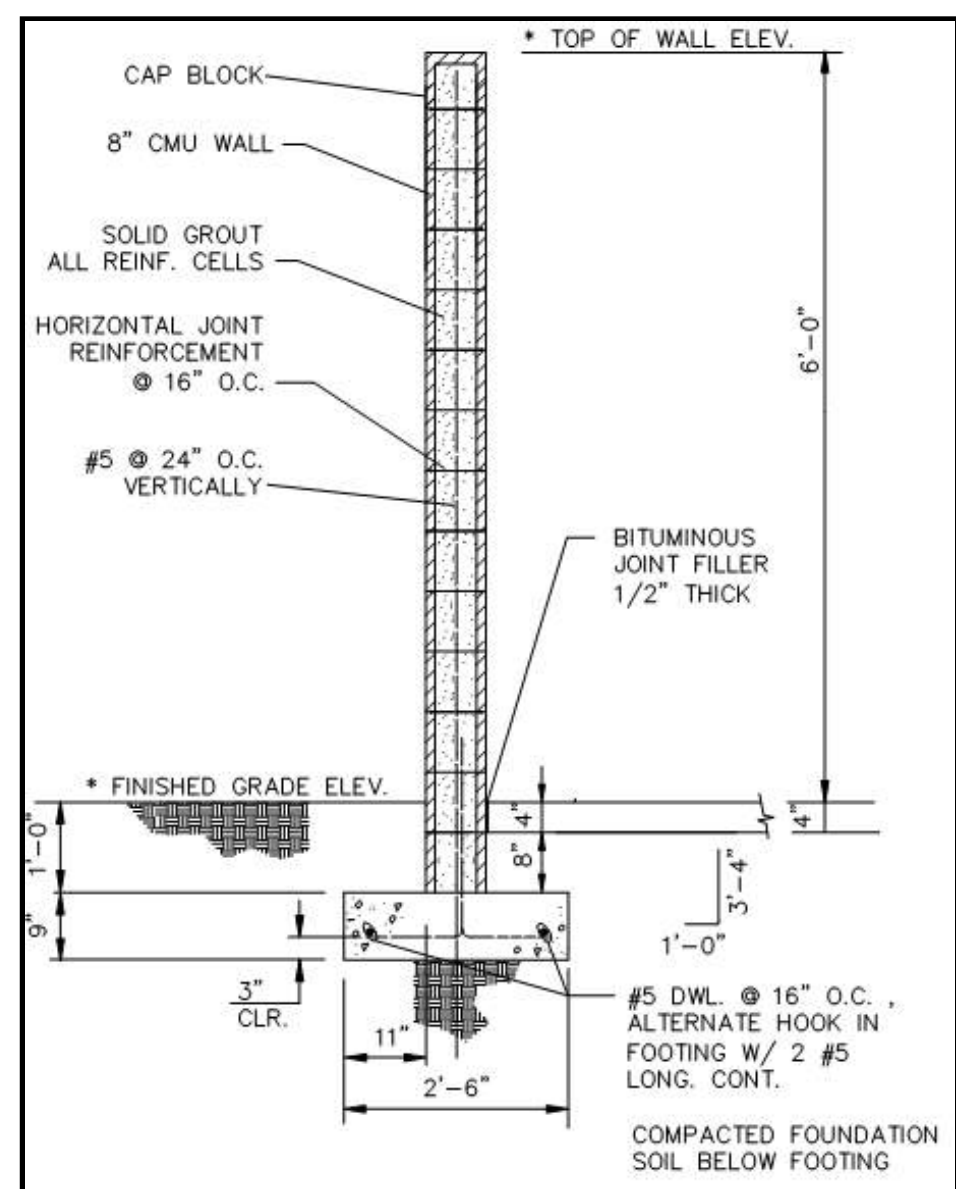
A stormwater quality detention pond BMP will be constructed with a volume of 300 Cu. Ft. This feature is designed to capture and infiltrate the DPM required stormwater quality volume of approximately 254 CF. Storm event flows in excess of this volume will discharge from this water quality detention pond at the SE corner of the property by overflowing the existing sidewalk.

Additional improvements will include the construction of approximately 20 LF of 6 ft tall garden wall and gate on the East side of the residence. Drainage will traverse through the location of the gate on the sideyard, and gates will be a minimum of 6" above grade.

Stormwater Quality Volumes (DPM 6-12):

The required Stormwater Quality Volume to be managed on this lot is for a 0.62" storm (new development). After accounting for initial abstraction, this results in a net of 0.42" rainfall on impervious (Type D) soils, or 254 cubic feet of detention storage for this property. The initial storage on site will be collected and held in the landscape pond near the street as shown on the Plan.

CMU Garden Wall Detail



Drainage Certification:

I, Jesse Luehring, NMPE #21684, of the firm Critical View Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 11/1/21. The record information edited onto the original design document has been obtained by me. I further certify that I have personally visited the project site on 11/4/21 and have determined by the visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for BUILDING PERMIT.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Jesse Luehring, NMPE #21684

11/4/21

Grading and Drainage Plan

4801 Valle Rio Trail NW
Lot #15, Valle Paraiso Subdivision at Andalucia

Critical View Engineering, LLC

10900 Florence Ave NE
Albuquerque NM, 87122
505-321-5917



Drawn: 11/4/21
Rev: A (Pad Cert)

