

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 6, 2022

Jesse Luehring, P.E.
Critical View Engineering, LLC
11501 Modesto Ave NE
Albuquerque, New Mexico 87122

**Re: 4801 Valle Rio Trail
Request for Permanent C.O. – Approved
Engineer's Stamp dated: 11/1/21 (F12D004)
Certification dated: 6/2/22**

Dear Mr. Luehring,

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

Based on the Certification received on 6/3/2022, the site is approved for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3986 or earmijo@cabq.gov.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: G & D for 4801 Valle Rio **Building Permit #:** **Hydrology File #:** F12D004

DRB#: **EPC#:** **Work Order#:**

Legal Description: TR K PLAT OF VALLE PARAISO SUBD AT ANDALUCIA AT LA LUZ

City Address: 4801 Valle Rio Tr NW

Applicant: Critical View Engineering **Contact:** Jesse Luehring

Address: 10900 Florence Ave NE, Albuquerque NM 87122

Phone#: 505-321-5917 **Fax#:** **E-mail:** criticalviewabq@gmail.com

Other Contact: Builder **Contact:** Lukas Gallegos

Address: 1901 Avondale Pl NW, Albuquerque NM 87120

Phone#: 505-340-7544 **Fax#:** **E-mail:** handwconstructionllc@gmail.com

TYPE OF DEVELOPMENT: PLAT (# of lots) X RESIDENCE DRB SITE ADMIN SITE

IS THIS A RESUBMITTAL? Yes X No

DEPARTMENT TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- X ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY)
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- X CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY)

DATE SUBMITTED: **By:**

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED:

FEE PAID:

Critical View Engineering

PO Box 90073

Albuquerque, NM 87199

505-321-5917

June 2, 2022

Renee Christina Brissette, PE CFM
City of Albuquerque, Planning Department
Senior Engineer, Hydrology

RE: COO Certification by Engineer of Record (F12D004)

Property Desc: Tr K Plat of Valle Paraiso Subdivision at Andalucia at La Luz

I, Jesse J. Luehring, NM Professional Engineer #21684, working on behalf of Critical View Engineering, LLC, hereby certify that the overall grading of the subject property is in substantial conformance to the approved plans dated 11/1/21, and will drain in accordance with the design intent. All 'as-built' elevations are shown on the attached plan.

The record information edited onto the original design document has been obtained under my supervision, and is true and correct to the best of my knowledge and belief. This certification is for the pad elevation, finished floor elevation and site grading, and is submitted to support the Certificate of Occupancy per DPM Part 6-14(G) for this residence.

Note that the record information presented herewith is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of the property. Those relying on this record document are advised to obtain independent verification of its accuracy.

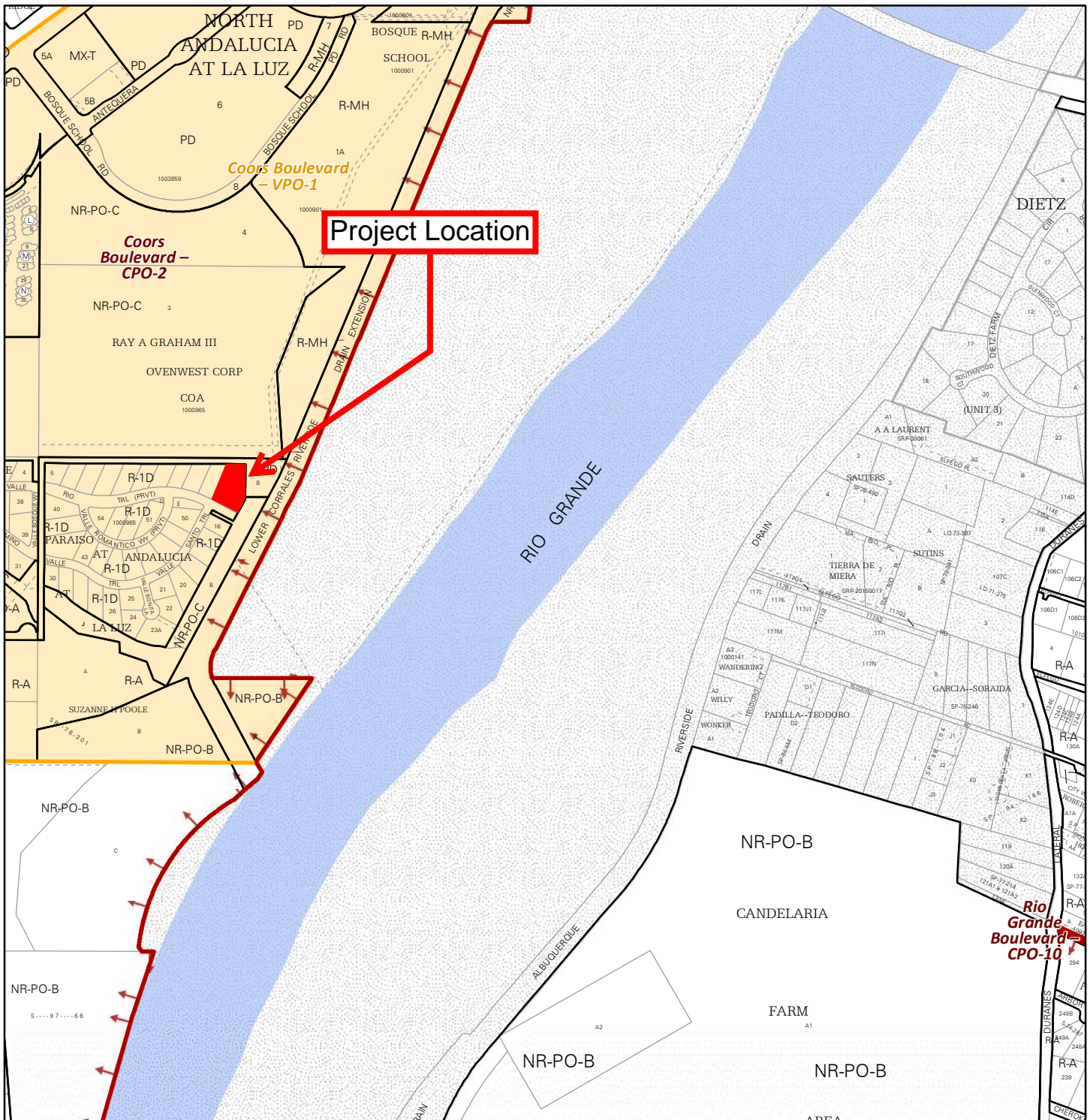
Very Respectfully,

Jesse Luehring, PE

Attached: Revised Plan reflecting actual site conditions

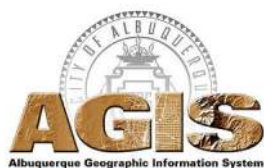


6/2/22

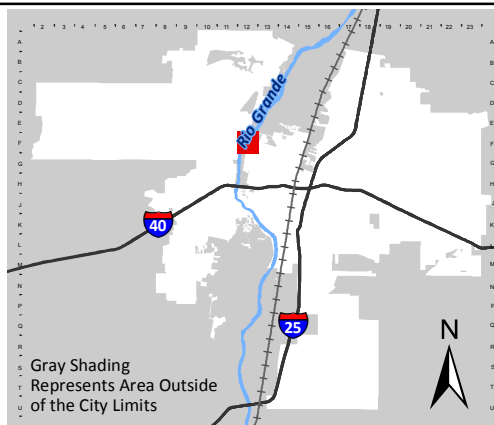


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

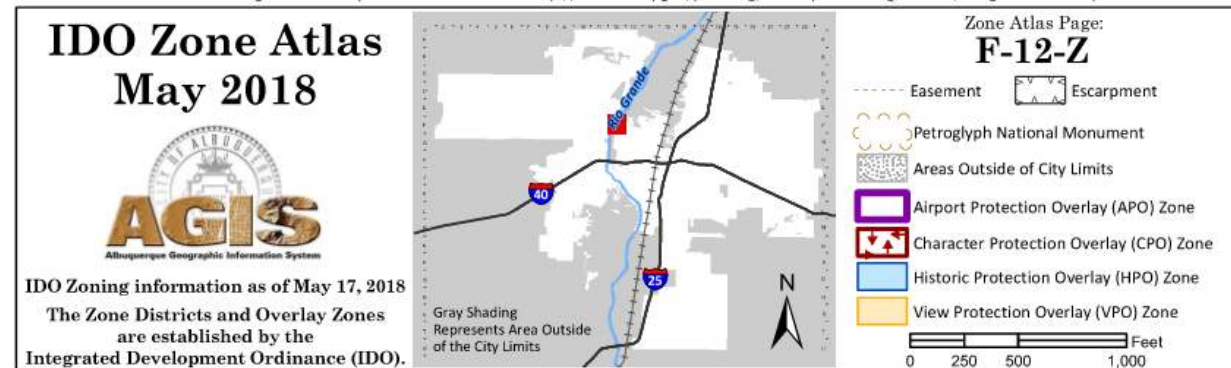
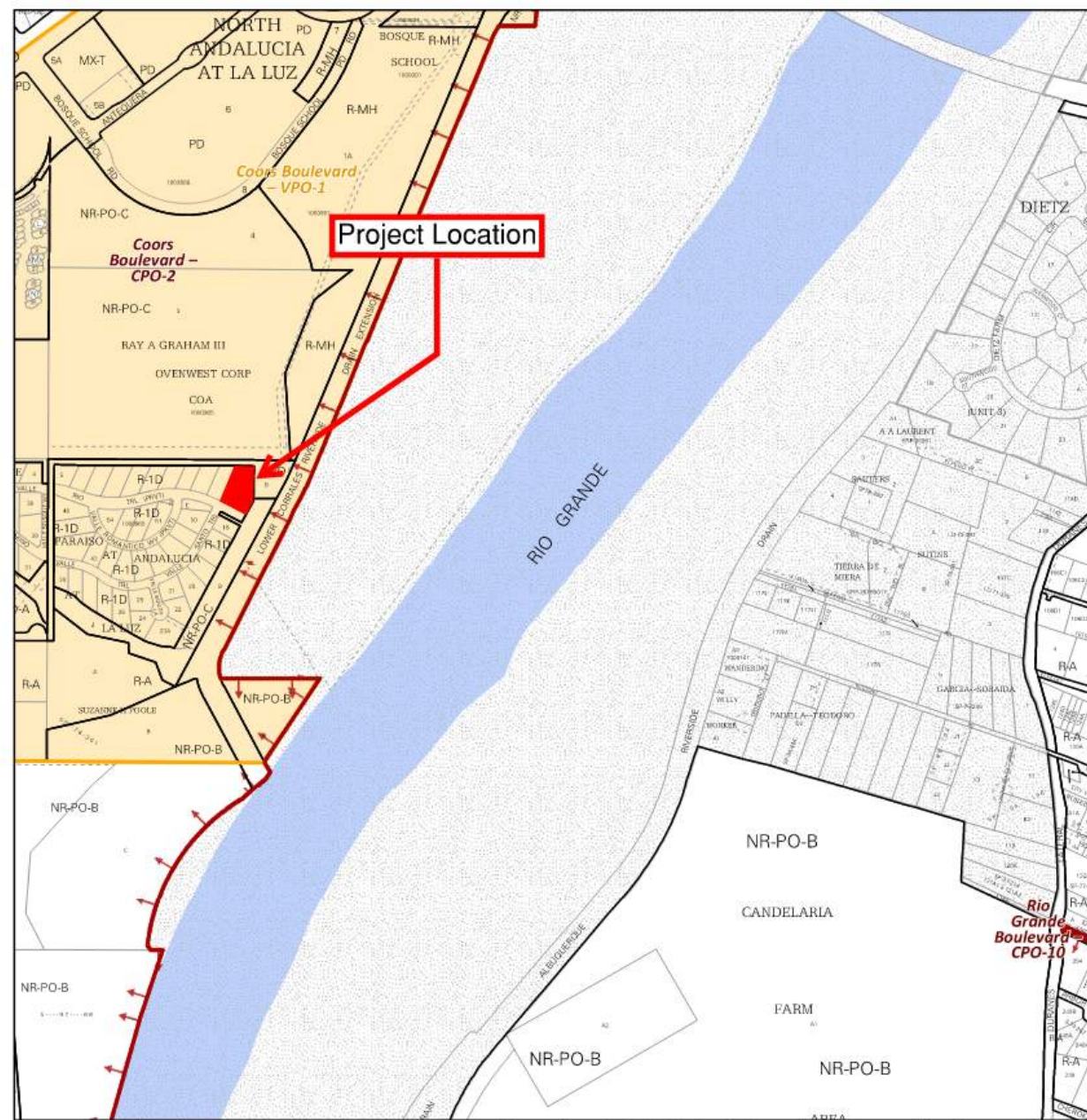


Zone Atlas Page: F-12-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

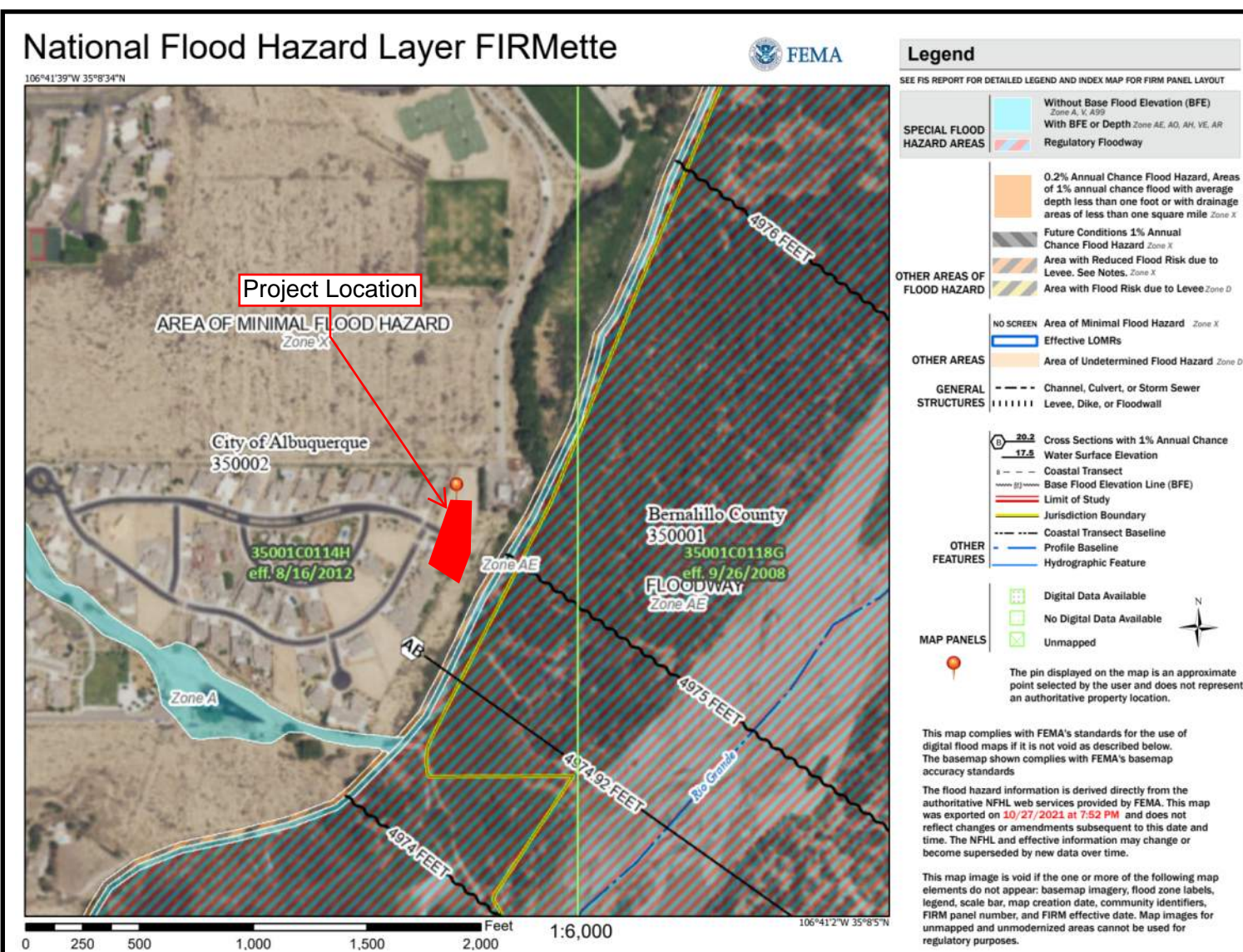
Vicinity/Zone Atlas Map



Engineer COO Certification Photos



FEMA Flood Map



Drainage Calculations

Lot 15, Valle Paraiso Subdivision at Andalucia at La Luz									
Land Type	Area Lot (SF)	Property Area %	Valle Paraiso Subdivision Basin 'D' Developed Conditions	100-Yr Storm Inch Depth (6 hr)	100-Yr Excess Precip (In)	Peak Discharge CFS/AC	Peak Rate of Discharge (CFS)	100-Yr Storm Volume (Ac-Ft)	Req. SWQV Volume (Ac-Ft)
Type D	7235	23%	28%	2.17	2.24	4.12	0.68	0.031	0.005813
Type C	11446	37%	36%	2.17	0.95	2.87	0.75	0.021	-
Type B	12555	40%	36%	2.17	0.73	2.16	0.62	0.018	-
	31236	100%	100%				2.06	0.069	0.005813
Total Drainage Basin Area:			31236 SF			Peak Discharge:	2.061 CFS		
			0.717 AC			Stormwater Quality Volume	253.2 Cubic Ft		
						100-Yr Storm Volume	3020.4 Cubic Ft		

General Notes

1. All perimeter walls shall be permitted separately
2. No grading shall be allowed on adjacent properties
3. All disturbed areas shall be stabilized with concrete, gravel, asphalt, or native seed mix
4. It is recommended to contract with a licensed geotechnical engineer for all aspects of earthwork and engineered fill material

Narrative:

This is a grading and drainage plan for the construction of the building pad for the Lot at address 4801 Valle Paraiso Subdivision at Andalucia at La Luz (UPC 101206111029420446)

The purpose of this plan is to establish the first floor elevation, house layout, site concrete layout, wall locations, and general lot drainage of the site. This drainage plan has been prepared in accordance with the 2020 revision to the City of Albuquerque Development Process Manual, and in accordance with the Valle Paraiso Subdivision Drainage Report, Prepared by Bohannon Huston, Inc. and Dated 2/11/2005.

Drainage Intent:

Existing Conditions: This lot is an 0.72 acre vacant land property, and is one of the few undeveloped lots in the Valle Paraiso Subdivision. It has an existing building pad and is bound by masonry walls on the North, West, and East, with street frontage to Valle Rio Tr. to the South. The lot has been previously graded in substantial conformance with the approved Valle Paraiso Subdivision Grading Plan, dated 3/3/2005. The lot is contained in basin D-1 as identified in the accompanying Drainage Report. The lot generally drains to the South, with negligible offsite flows entering the property. All onsite flows exit the site as surface drainage at the Southeast corner discharging into the dedicated retention pond East of the development.

Proposed Conditions: Improvements to the lot include a new residence and concrete driveway that will add approximately 7235 SF of impervious area, or 23% of the property area (Developed conditions of the subdivision allows up to 28%). The lot is designed to drain to the street, in accordance with the drainage concept outlined for the subdivision.

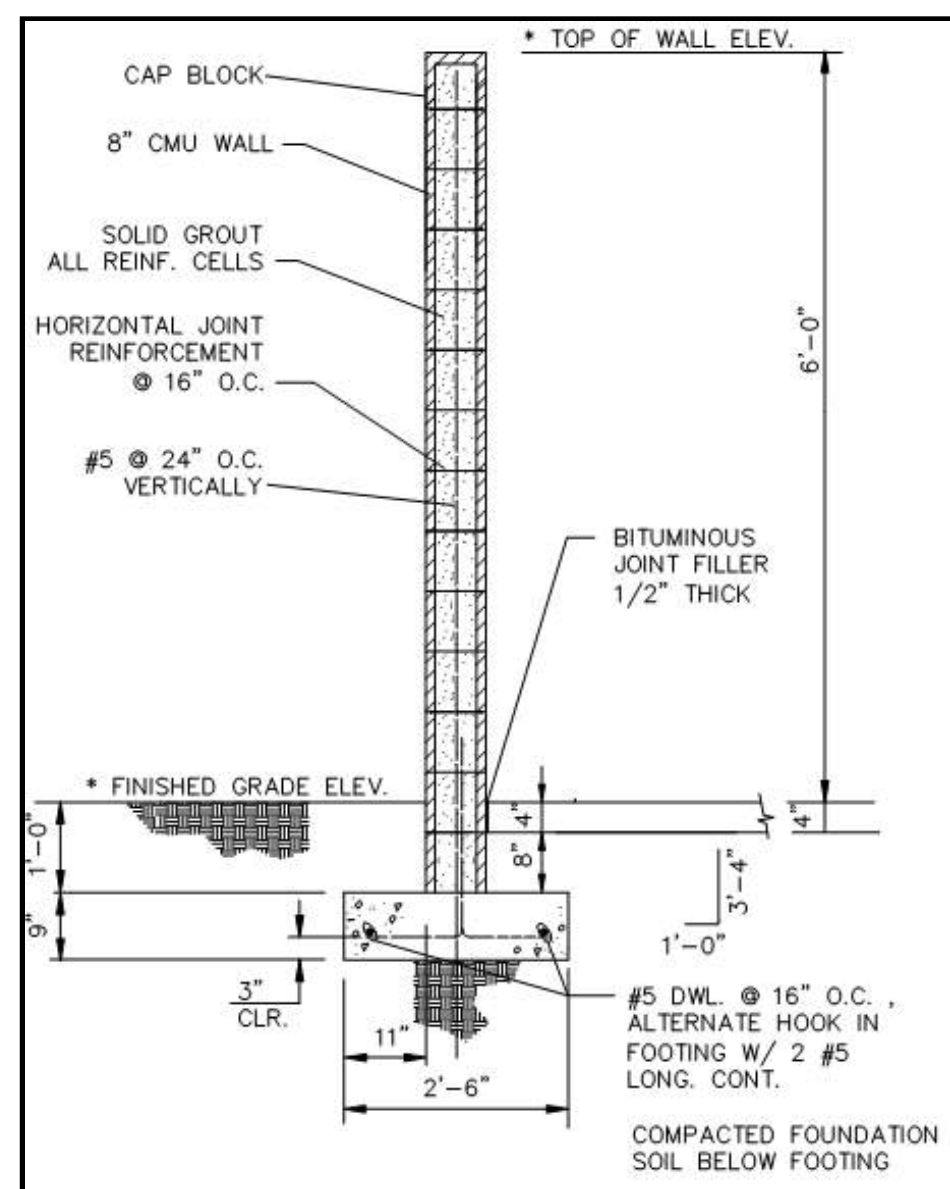
A stormwater quality detention pond BMP will be constructed with a volume of 300 Cu. Ft. This feature is designed to capture and infiltrate the DPM required stormwater quality volume of approximately 254 CF. Storm event flows in excess of this volume will discharge from this water quality detention pond at the SE corner of the property by overflowing the existing sidewalk.

Additional improvements will include the construction of approximately 20 LF of 6 ft tall garden wall and gate on the East side of the residence. Drainage will traverse through the location of the gate on the sideyard, and gates will be a minimum of 6" above grade.

Stormwater Quality Volumes (DPM 6-12):

The required Stormwater Quality Volume to be managed on this lot is for a 0.62" storm (new development). After accounting for initial abstraction, this results in a net of 0.42" rainfall on impervious (Type D) soils, or 254 cubic feet of detention storage for this property. The initial storage on site will be collected and held in the landscape pond near the street as shown on the Plan.

CMU Garden Wall Detail



Drainage Certification:

I, Jesse J. Luehring, NM Professional Engineer #21684, working on behalf of Critical View Engineering, LLC, hereby certify that the overall grading of the subject property is in substantial conformance to the approved plans dated 11/1/21, and will drain in accordance with the design intent. All 'as-built' elevations are shown on the attached plan.

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Jesse J. Luehring, NMPE #21684

6/2/22

Grading and Drainage Plan

4801 Valle Rio Trail NW
Lot #15, Valle Paraiso Subdivision at Andalucia

Critical View Engineering, LLC

10900 Florence Ave NE
Albuquerque NM, 87122
505-321-5917



Drawn: 6/2/22
Rev: C (Engineers COO Cert)

