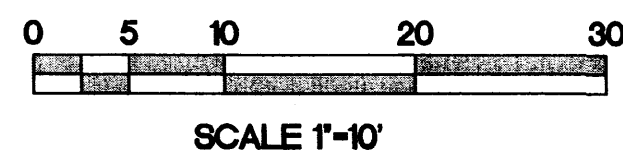
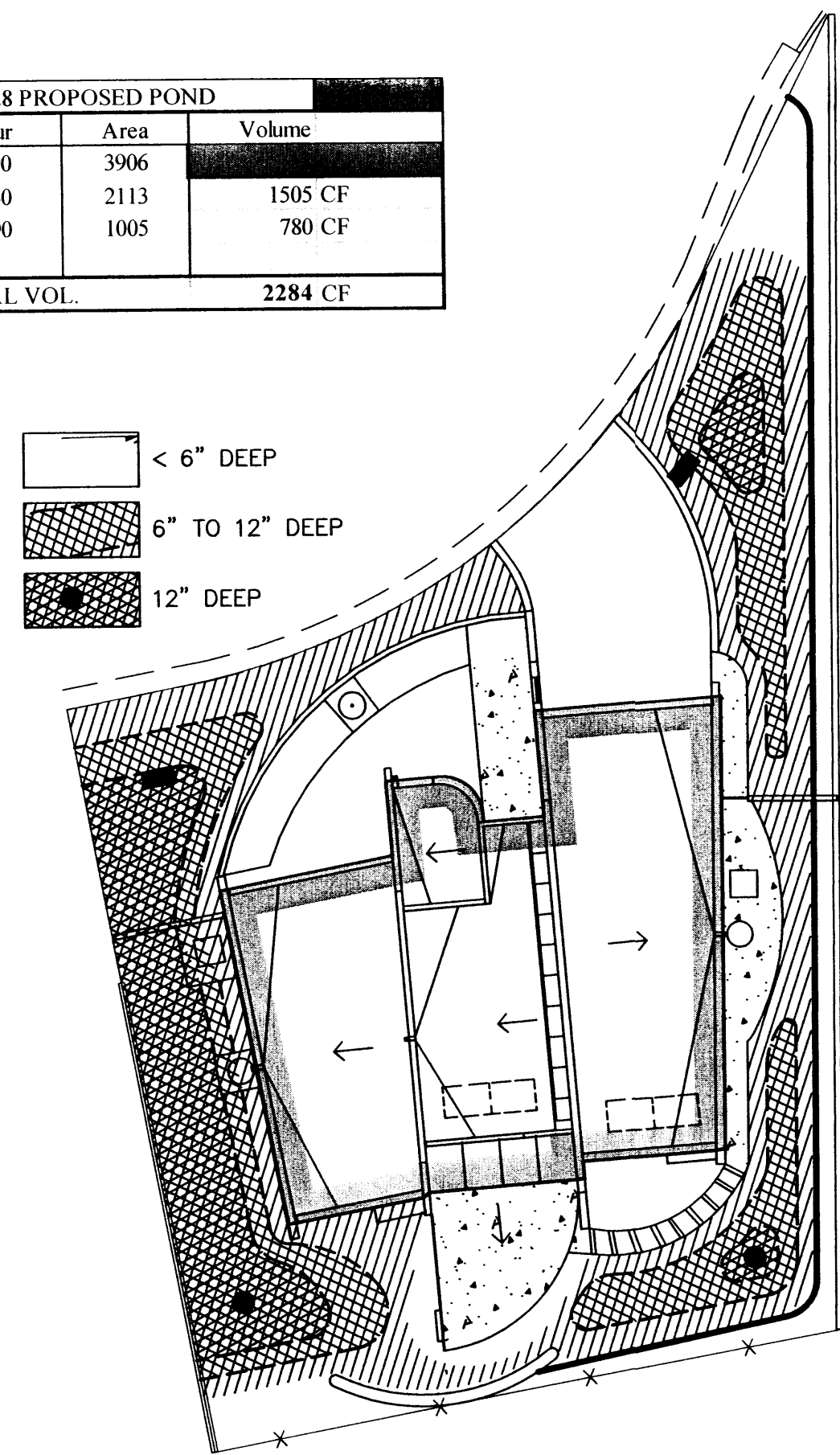
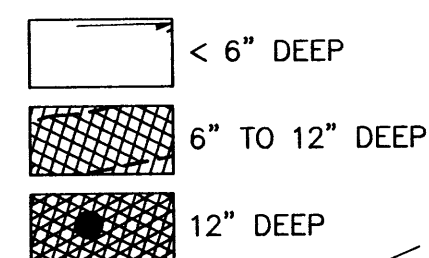


LOT 28 PROPOSED POND		
Contour	Area	Volume
4974.90	3906	
4974.40	2113	1505 CF
4973.90	1005	780 CF
TOTAL VOL.		2284 CF



## GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- ALL EROSION PROTECTION TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.).
- ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER RAINFALL TO PROPERLY MAINTAIN EROSION PROTECTION. IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
- SEE LANDSCAPE PLAN FOR SITE IMPROVEMENTS NOT RELATED TO DRAINAGE AND EROSION CONTROL.

## KEYED NOTES

- EXISTING MOUNTABLE ESTATE CURB
- CONSTRUCT PAVED DRIVE AT ELEVATIONS SHOWN. PROVIDE SMOOTH TRANSITION.
- APPROXIMATE LOCATION OF EXISTING 2' WIDE X 4' LENGTH STORMWATER PERCOLATION PIT (2 LOCATIONS) EXTENDED THROUGH CLAY TO SAND STRATA (CONSTRUCTED AS PART OF ORIGINAL DEVELOPMENT). CONTRACTOR TO FIELD LOCATE, OPEN FOR OWNER INSPECTION / APPROVAL AND PROVIDE NEW FILTER FABRIC OVER TOP. IF PERCOLATION PIT LOCATION CONFLICTS WITH PROPOSED DRIVE, CONTACT ENGINEER FOR FURTHER INSTRUCTION.
- CONSTRUCT REAR YARD PERCOLATION PIT (2 LOCATIONS) THROUGH CLAY TO SAND STRATA PER DETAIL THIS SHEET.
- PROVIDE SWALE WITHIN DRIVE PER ELEVATIONS SHOWN TO DRAIN.
- INSTALL 2' WIDE ROCK EROSION PROTECTION ALONG EAST SIDE OF DRIVE AND AS SHOWN. SEE GENERAL NOTE 'D'.
- ROOF DISCHARGE TO PROPOSED CISTERN THIS AREA. PROVIDE ROCK EROSION PROTECTION AS SHOWN FOR OVERFLOW.
- ROOF DISCHARGE. EXTEND DOWNSPOUT BELOW GRADE TO 4" DIA. STORM DRAIN SYSTEM AS SHOWN FOR WATERING LANDSCAPE AREA.
- STORM DRAIN SYSTEM THIS AREA USING 4" PVC AND 4" PERFORATED PVC PIPE (DASHED). INSTALL 6" DIA. INLINE DRAIN WITH DOMED GRATE AS SHOWN TO PASS EXCESS FLOW TO WALL OPENING.
- PROVIDE TURNED BLOCK OR 1' WIDE OPENING IN WALL WITH FLOWLINE = 74.6. GRADE SURROUNDING AREA TO DRAIN TO OPENING AT 1% MIN. SLOPE.
- CONSTRUCT ROCK LINED DRY STREAM BED TO DIRECT FLOW TO PONDING. SEE DETAIL THIS SHEET. SEE GENERAL NOTE 'D'.
- EXISTING TREES THIS AREA TO REMAIN AT EXISTING ELEVATION. DO NOT DISTURB.
- GRADE AWAY FROM BUILDING AT 5:1 OVER 5' TO ESTABLISH POND BOTTOM.
- GRADE AWAY FROM EXISTING EDGE OF ROAD AT 10:1 OVER 10' TO ESTABLISH POND BOTTOM.
- POND GRADES SHOWN REFERENCE TOP OF FINAL LANDSCAPE MATERIAL. CONTRACTOR TO GRADE SUB-GRADE TO ACCOMMODATE MATERIAL THICKNESS. SEE GENERAL NOTE 'C'. ALL PONDING AREAS MUST BE CONSTRUCTED PER PLAN IN ORDER TO RECEIVE ENGINEER'S CERTIFICATION FOR CERTIFICATE OF OCCUPANCY.
- UTILIZE BOULDERS / KEYSTONE THIS AREA TO ACHIEVE GRADE DIFFERENCE SHOWN.

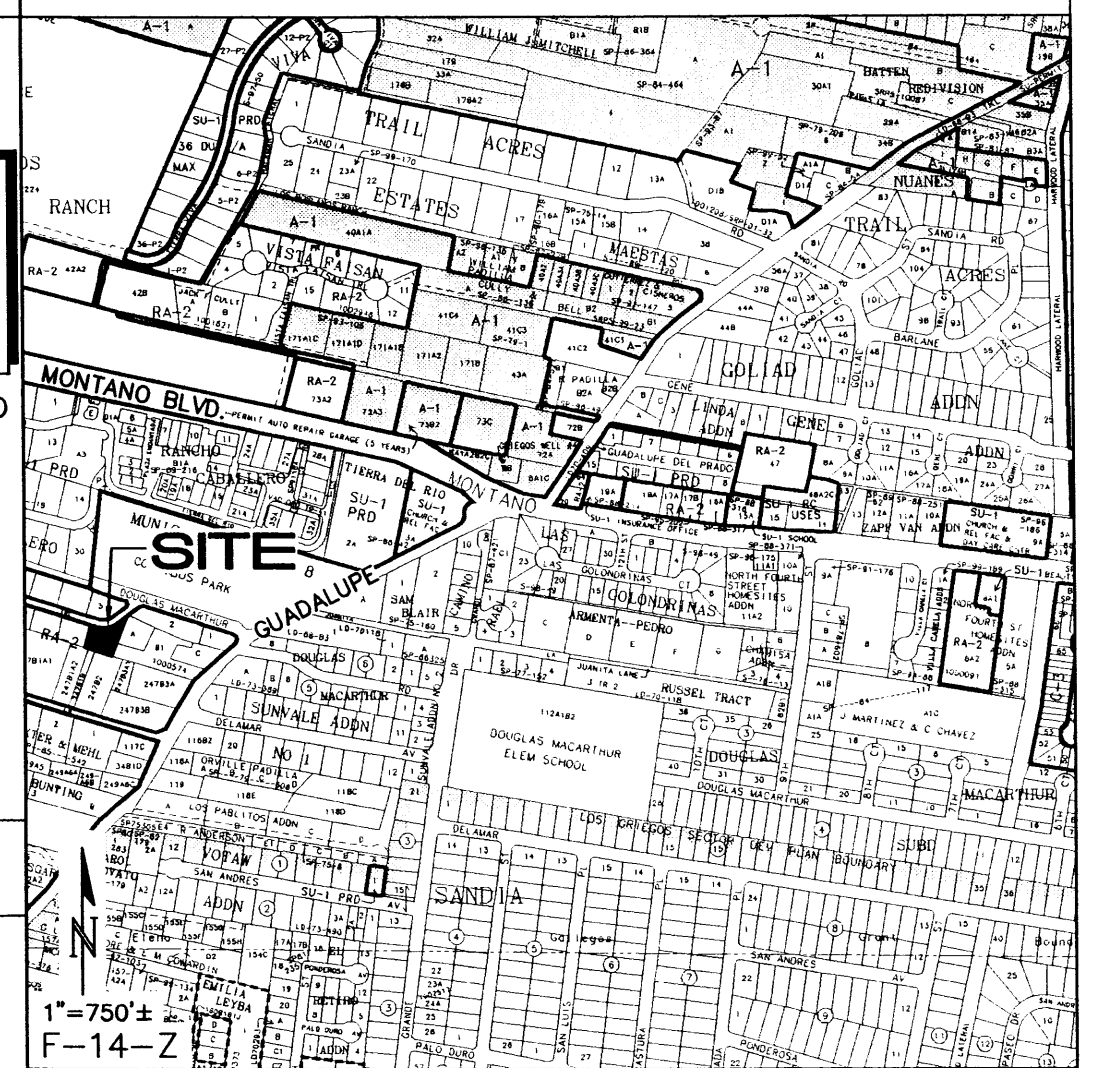
## DRAINAGE CONCEPT

THE PROPOSED CONSTRUCTION INCLUDES AN APPROXIMATELY 3,200 SF (APPROXIMATE FOOTPRINT) RESIDENTIAL CONSTRUCTION WITH ASSOCIATED SITE IMPROVEMENTS.

THE PRESENT SITE IS AN UNDEVELOPED RESIDENTIAL PROPERTY. GUADALUPE TRAIL NW BORDERS THE PROPERTY TO THE NORTH. THE PROPERTIES TO THE SOUTH, WEST AND EAST ARE DEVELOPED RESIDENTIAL PROPERTIES.

DRAINAGE CONCEPT: PER THE APPROVED DRAINAGE REPORT FOR RANCHO GUADALUPE SUBDIVISION PREPARED BY ISAACSON AND ARFMAN, P.A. DATED MAY 1999, EACH LOT IS REQUIRED TO PROVIDE RETENTION PONDING FOR 1,612 CF. PER THE POND CALCULATIONS SHOWN AT LEFT, THE PONDING PROVIDED ON THIS PROPERTY IS APPROXIMATELY 2284 CF. OK.

## VICINITY MAP



## PROJECT DATA

ADDRESS: 1600 RANCHO GUADALUPE TR. NW  
 LEGAL DESCRIPTION: LOT 28, RANCHO GUADALUPE SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.  
 BENCHMARK: THE BENCHMARK USED FOR THIS PROJECT IS AGRS MONUMENT 15-F13, A CITY OF ALBUQUERQUE SURVEY CONTROL 3 1/4 INCH ALUMINUM DISC RIVETED TO AN ALUMINUM PIPE 0.75 FEET BELOW GROUND AND IS STAMPED "15-F13 1991" NAVD 1988, ELEVATION=4977.401.

ENGINEER: FRED C. ARFMAN, PE #7322  
 ISAACSON & ARFMAN, P.A.  
 128 MONROE ST NE, ABQ. NM 87108  
 PHONE: (505) 268-8828

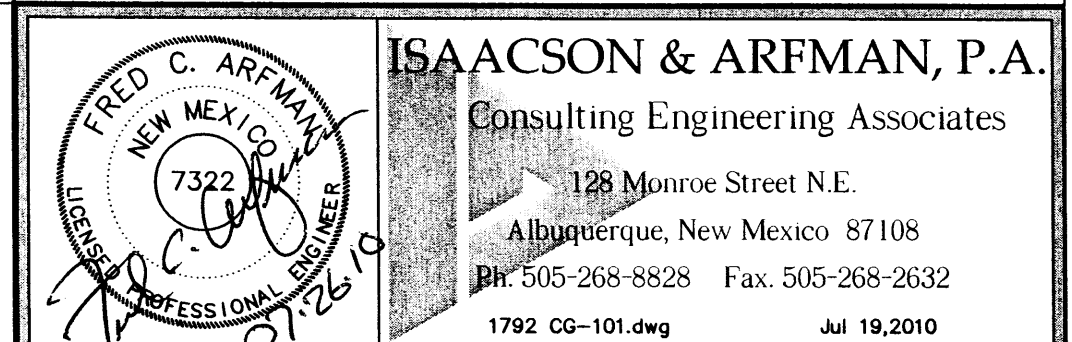
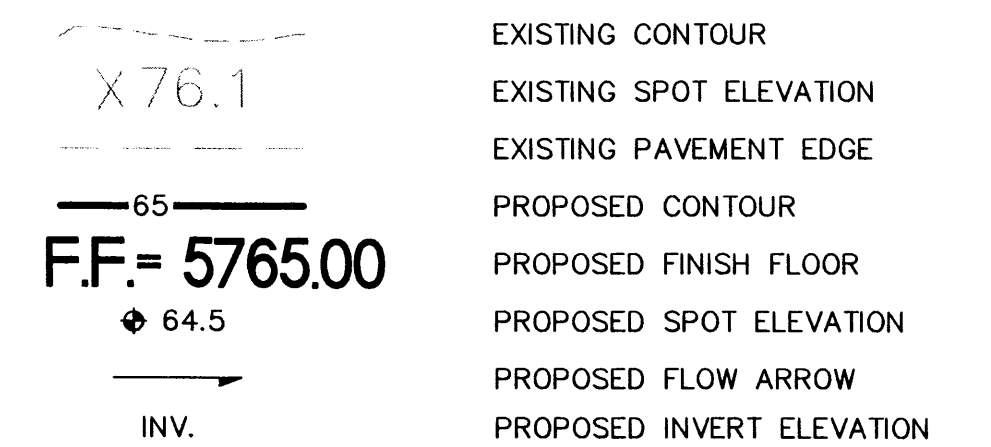
SURVEYOR: TIM ALDRICH  
 ALDRICH LAND SURVEYING  
 (505) 884-1990

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY

## FIRM MAP 35001C0142

PER BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS FLOOD INSURANCE RATE MAP (F.I.R.M.) NUMBER 35001C0119. THE PROPERTY TO BE DEVELOPED LIES WITHIN ZONE 'X': "AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD."

## LEGEND



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COOK RESIDENCE  
 RANCHO GUADALUPE  
 DAVE COOK

## GRADING AND DRAINAGE PLAN

Date:	No.	Revisions:	Date:	Job No.
07-26-10				1792
Drawn By:				CG-101
BJB				
Ckd By:				SH. OF
FCA				

RECEIVED

JUL 28 2010

HYDROLOGY  
 SECTION