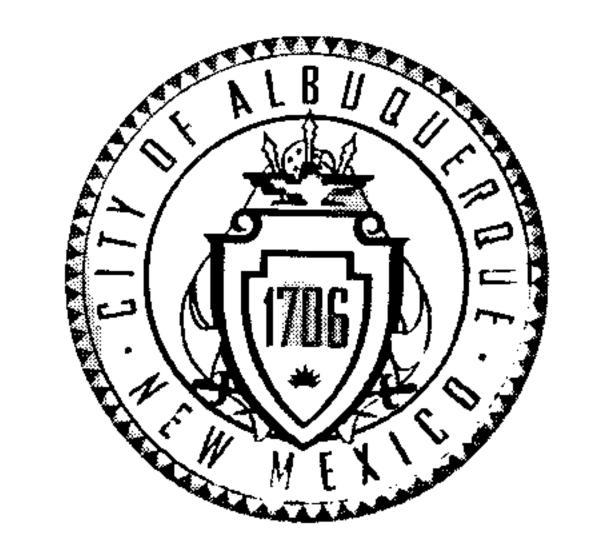
CITY OF ALBUQUERQUE



November 25, 2013

Fred C. Arfman, P.E. Isaacson & Arfman, P.A. 128 Monroe St NE Albuquerque, NM 87108

Re: Guttmann Residence, Lot 22 Rancho Guadalupe Subdivision 1626 Rancho Guadalupe Trail Grading and Drainage Plan Engineer's Stamp Date 08/23/2013 (F13/D002B)

Dear Mr. Arfman,

Based upon the information provided in your submittal received 10/28/2013, the following comments have to be addressed prior to an approval for Building Permit:

- Neither existing topography nor existing spot elevations are shown on the plan.
- A City of Albuquerque Benchmark with NAVD 88 elevation is shown on the plan, but the proposed elevations are the same as the original grading plan which an old Benchmark elevation.

• Provide pond volume calculations for the proposed ponds.

- Provide proposed and existing elevation at the south end of the property. What kind of slope is being proposed for the slope grade transition area?
- Provide additional spot elevations around the pool area to assure positive drainage.
- Clearly show the property line, and label all the existing easements on site. Is there a wall being extended to the northerly property line across the existing drainage easement?
- Based on the overall grading and drainage plan, the low points between the pads are at the property lines to the east and to the west. Are these areas considered to be common drainage areas/easements? Will the proposed pond walls shown on Section A stop the runoff from the adjacent properties?

If you have any questions, you can contact me at 924-3695.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Shahab Biazar, P.E.

Principal Engineer, Planning Dept. Development Review Services

C: e-mail



City of Albuquerque

Planning Department

Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Guttmann Residence	Building Permit #:	City Drainage #: _F13D002
DRB#: EPC#:		Work Order#
Legal Description: Lot 22, Rancho Guadalupe Subo	division, City of Albuquerque, Berna	lillo County, NM
City Address:		
Engineering Firm: Isaacson & Arfman, P.A.		Contact: Fred Arfman, PE
Address: 128 Monroe Street, NE - A	Albuquerque, NM 87108	
Phone#: (505) 268-8828 Fax#: N	V/A	E-mail: FredA@iacivil.com
Owner:		Contact:
Address:		Contact.
Phone#: Fax#:		E-mail:
Architect:		
Address:		Contact:
Phone#: Fax#:		E-mail:
Surveyor:		
Address:		Contact:
Phone#: Fax#:		E-mail:
Contractor: Earth Stone Homes		E-man.
Address:		Contact:
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WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes No Cor	w Providad
DATE SUBMITTED: October 29, 2013	By: Fred Arfman, PE	by Provided
Requests for approvals of Site Development Plans and/or Subdivis	for Income P. A.C. D.	<u> </u>

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans

- Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



December 9, 2013

Åsa Nilsson-Weber, P.E. Isaacson & Arfman, P.A. 128 Monroe St NE Albuquerque, NM 87108

Guttmann Residence, Lot 22 Rancho Guadalupe Subdivision Re:

1626 Rancho Guadalupe Trail Grading and Drainage Plan

Engineer's Stamp Date 12/02/2013 (F13/D002B)

Dear Ms. Weber,

Based upon the information provided in your submittal received 12/02/2013, the

grading and Drainage Plan is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the

DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

PO Box 1293

Albuquerque

Sincerely,

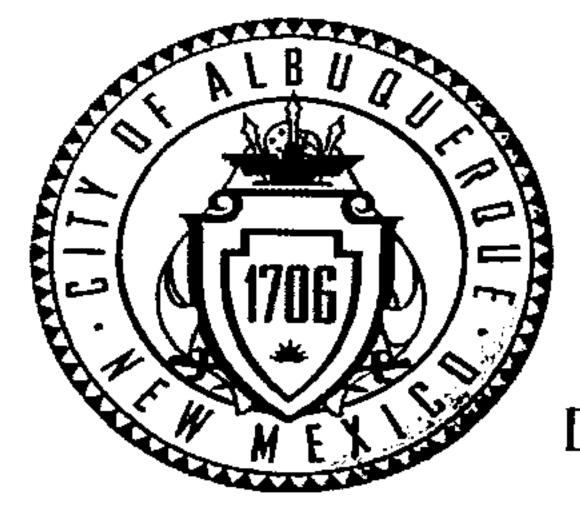
www.cabq.gov

Shahab Biazar, P.E.

Principal Engineer, Planning Dept.

Development Review Services

e-mail



City of Albuquerque

Planning Department

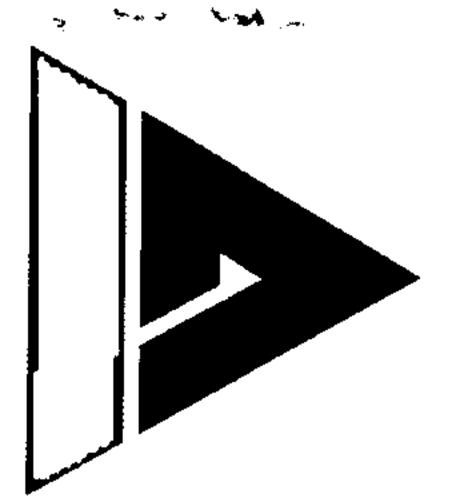
Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

DRB#: EPC#: Work Order#: Legal Description: Lot 22, Rancho Guadalupe Subdivision, City of Albuquerque, Bernailile County, NM City Address: Engineering Firm: Isaacson & Arfman, P.A. Address: 128 Monroe Street, NE - Albuquerque, NM 87108 Phone#: (505) 268-8828 Fax#: N/A E-mail: freda@lacivil.com Owner: Contact: Address: Phone#: Fax#: E-mail: Architect: Contact: Address: Phone#: Fax#: E-mail: Surveyor: Contact: Address: Contact: Address: Contact: Address: Phone#: Fax#: E-mail: Surveyor: Contact: Address: Phone#: Fax#: E-mail: Contractor: Earth Stone Homes Address: Fax#: E-mail: Contractor: Earth Stone Homes Address: Phone#: Fax#: E-mail: E-mail: CONTRACTOR: Earth Stone Homes Address: Phone#: E-mail: E-	Project Title: Guttmann Residence		ing Permit #:	City Drainage #: F13/D002B	
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City Address: Engineering Firm: Isaacson & Arfman, P.A. Address: 128 Monroe Street, NE - Albuquerque, NM 87108 Phone#: (505) 268-8828 Fax#; N/A E-mail: freda@iacivil.com Owner: Address: Phone#: Fax#; Fax#; F-mail: Contact: Address: Phone#: Fax#; F-mail: Surveyor: Address: Phone#: Fax#; F-mail: Contact: Contact: Address: Phone#: Fax#; F-mail: Contact: Address: Phone#: Fax#; F-mail: Contact: Contact: Contact: Contact: Contact: Contact: Contact: Contact: Address: Phone#: Fax#; F-mail: Contact: Cont	Legal Description: Lot 22, Rancho Guadalupe Sub	division, City of Albuquer	que, Bernalillo County	/, NM	
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Address: 128 Monroe Street, NE - Albuquerque, NM 87108 Phone#: (505) 268-8828 Fax#: N/A E-mail: freda@iacivil.com	Engineering Firm: Isaacson & Arfman, P.A.		Contact:	Fred Arfman PF	
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE

November 27, 2013

Mr. Shahab Biazar, P.E. Principal Engineer, Planning Dept. City of Albuquerque

GUTTMANN RESIDENCE: LOT 22, RANCHO GUADALUPE SUBDIVISION (F13/D002B) RE:

Dear Mr. Biazar,

Attached with this letter is the revised Grading and Drainage Plan submittal. Revisions are in response to your review comments dated November 25, 2013 as follows:

- The as-built grading and drainage plan for Rancho Guadalupe prepared by Terrence W. O'Brien (NMLS#12801) in 1999 provides five as-built spot elevations for this property. Pad grade = 71.79 (design grade = 71.85) and property corner grades ranging from 70.8 to 71.2 (design grade = 70.85 typical). A copy of that portion of the as-built is attached with this letter and the spots have been added to the plan.
- The benchmark has been corrected to the same benchmark as the original design.
- Pond volume calculations have been added to the plan.
- Per the original overall grading plan, the south property transition slope varies. For this lot, the existing grade on the adjacent property is 74.0±. The grade transition of 2.3' over 7' is currently achieved with a graded slope. This will have no impact on the required pond volumes or locations. Spot elevations have been added reflecting the grade transition.
- The future pool will not be designed / constructed with this plan. Spot elevations have been added to indicate positive drainage away. Ultimately, the pool and surrounding deck elevation will be established by others based on owner preference. We have added spot elevations to the plan indicating that the pool be constructed at 72.1.
- Property line has been clarified and all easements have been labeled. The existing and proposed perimeter walls have been updated (see existing site photos on page 2): No walls will be added other than the west side yard walls shown and the proposed plan.
- Based on the overall grading and drainage plan, this lot and the adjacent lots each have pad grades of 71.85 sloping down 1' to 70.85 at the side ponding areas. The flat-land grading solution uses the overall storage volume required divided amongst the various lots to achieve a 'typical' storage volume per lot. The proposed pond walls shown on this plan are provided to achieve the necessary volume but will not prevent equalization between properties. We have added additional notes to Section 'A' to clarify.

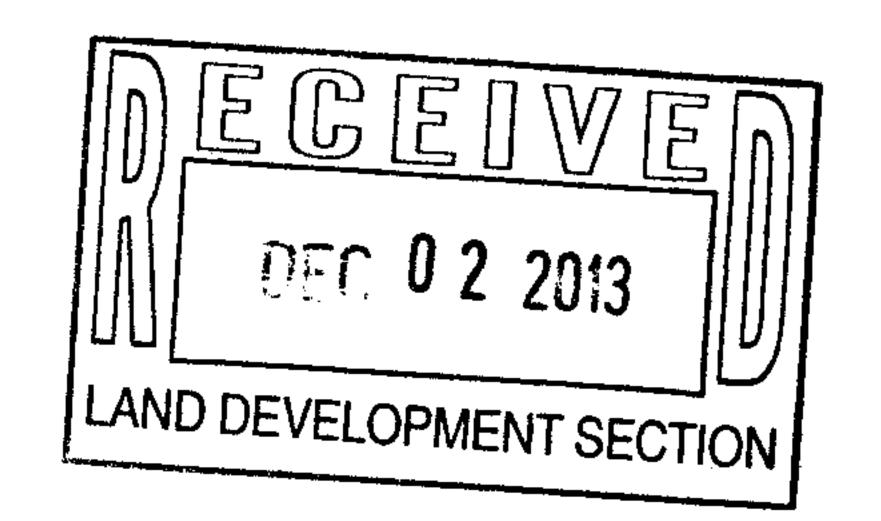
Please call with any questions or comments.

(Cleal Wason-Ulber

Sincerely,

Åsa M. Nilsson-Weber, PE

ISAACSON & ARFMAN P.A.

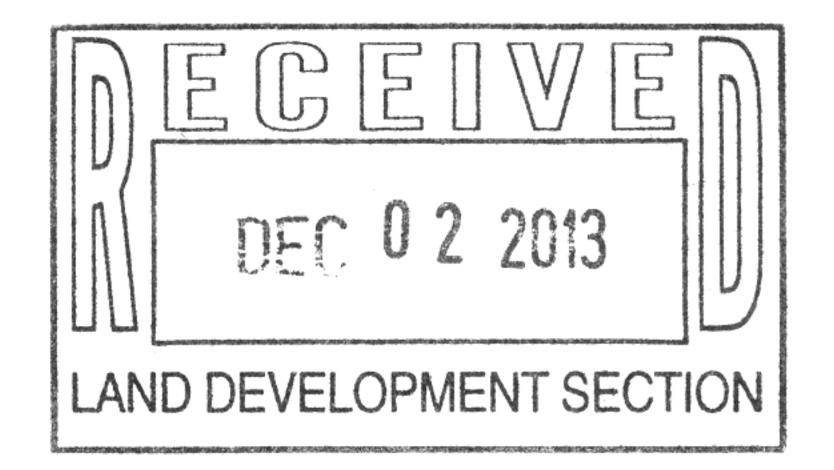




West wall

Back fence

East wall



CITY OF ALBUQUERQUE



July 2, 2014

Åsa Nilsson-Weber, PE Isaacson & Arfman, PA 128 Monroe St NE Albuquerque, NM 87108

Re: Guttmann Residence

Lot 22 Rancho Guadalupe Subd. Request Permanent C.O. - Accepted

Engineer's Stamp dated: 12-2-13 (F13D002B)

Certification dated: 6-30-14

Dear Ms. Nilsson-Weber,

Based on the Certification received 7/1/2014, the site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Albuquerque

New Mexico 87103

Sincerely,

www.cabq.gov

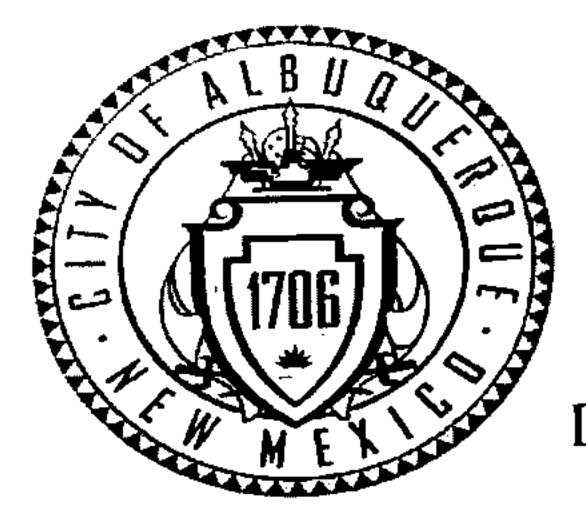
Curtis Cherne, P.E.

Principal Engineer, Planning Dept. Development and Review Services

RR/CC

C: CO Clerk—Katrina Sigala

email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Guttmann Residence	Building Permit #:	City Drainage #: F13/D002B
EPC#:		Work Order#:
Legal Description: Lot 22, Rancho Guadalupe Subdivis	sion, City of Albuquerque, Bernali	lo County, NM
City Address:		
		Contact: Asa Nilsson-Weber, PE
400 Menroe Street NE - Alh	uguergue, NM 87108	
/COE\ 269 9929 Εσν#+ Ν/Δ		E-mail: asaw@iacivil.com
Phone#: (505) 200-0020 Fax#: 1975		Contact:
Owner:		
Address:		E-mail:
Phone#: Fax#:		
Architect:		Contact:
Address:		
Phone#: Fax#:		_ E-mail:
C		Contact:
Surveyor: Address:		
Phone#:		E-mail:
		Contact:
Contractor: Earthstone Homes		
Address: Phone#: Fax#:		E-mail:
Phone#: Fax#:		VAL/ACCEPTANCE SOUGHT:
TYPE OF SUBMITTAL:	CHECK TYPE OF APPRO SIA/FINANCIAL GUARAI	
DRAINAGE REPORT	PRELIMINARY PLAT API	
DRAINAGE PLAN 1st SUBMITTAL	S. DEV. PLAN FOR SUB'I	DAPPROVAID 12 1 V/ 12 IN
X DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERN	MIT APPROVA
	SECTOR PLAN APPROVA	AL
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROVAL	
ENGINEER'S CERT (HYDROLOGY) K	X CERTIFICATE OF OCCU	PANCY (PERM) PANCY (TOLINA) PANCY (TOLINA)
CLOMR/LOMR	FOUNDATION PERMIT A	APPROVAL
TRAFFIC CIRCULATION LAYOUT (TCL)	BUILDING PERMIT APPI	
ENGINEER'S CERT (TCL)	GRADING PERMIT APPR	
ENGINEER'S CERT (DRB SITE PLAN)	PAVING PERMIT APPRO	OVAL ESC PERMIT APPROVAL
ENGINEER'S CERT (ESC)	WORK ORDER APPROV	
—— SO-19 OTHER (SPECIFY)	GRADING CERTIFICATI	
	Yes No	Copy Provided
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes No By: Asa Nilsson-Weber, PE	
DATE SUBMITTED: July 1, 2014	for Isaacson & Arfman P A	nage submittal. The particular nature, location, and

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans

- Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Bryan Bobrick

Rael, Rudy E. <RRael@cabq.gov> From:

Bryan Bobrick To:

Tuesday, July 01, 2014 8:17 AM Sent:

Read: Submittal: As-built for Lot 22 Rancho Guadalupe Subdivision (F13/D002B) -**Subject:**

revised per Rudy Rael's comments

Your message

Sims, Timothy E.; Rael, Rudy E. To:

'Åsa Weber' Cc:

Subject: Submittal: As-built for Lot 22 Rancho Guadalupe Subdivision

(F13/D002B) - revised per Rudy Rael's comments

Sent: Mon, 30 Jun 2014 16:21:36 -0600

was read on Tue, 1 Jul 2014 08:16:52 -0600

