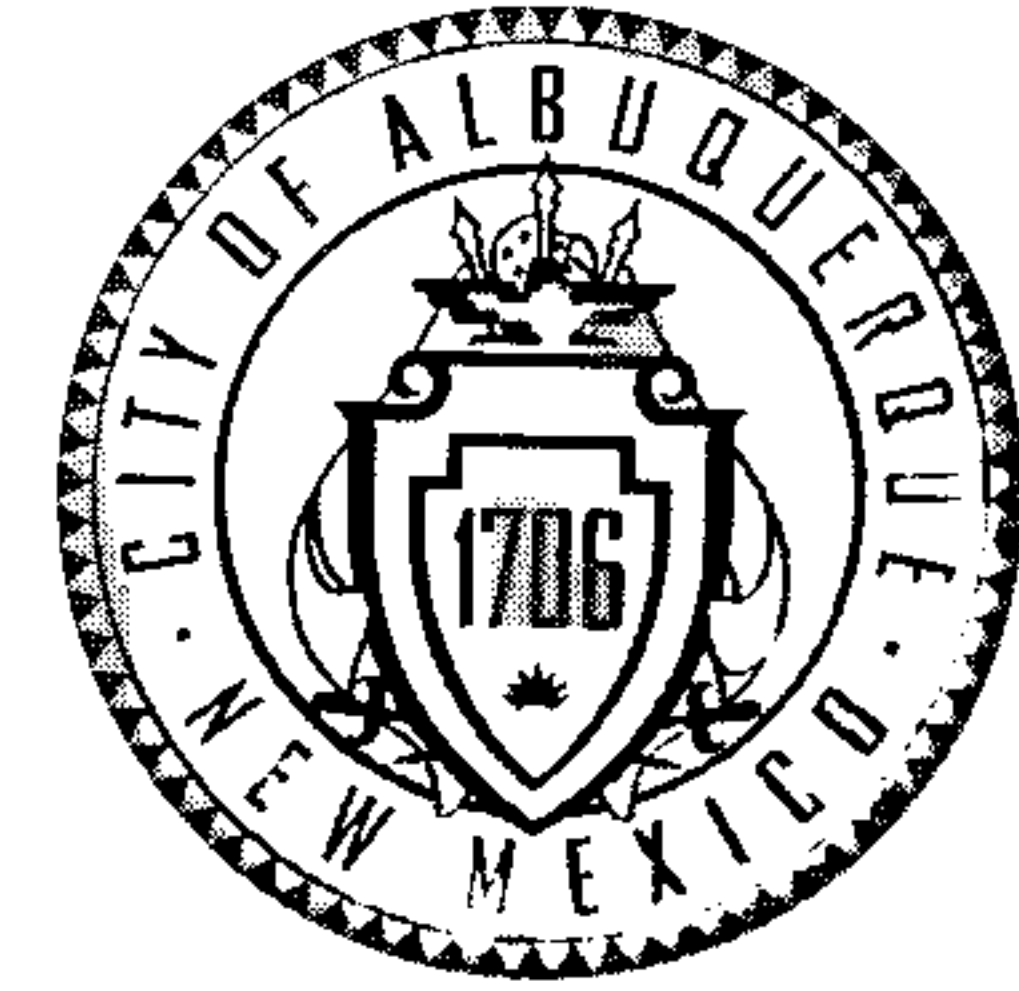


CITY OF ALBUQUERQUE



November 25, 2013

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St NE
Albuquerque, NM 87108

**Re: Guttman Residence, Lot 22 Rancho Guadalupe Subdivision
1626 Rancho Guadalupe Trail
Grading and Drainage Plan
Engineer's Stamp Date 08/23/2013 (F13/D002B)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 10/28/2013, the following comments have to be addressed prior to an approval for Building Permit:

- Neither existing topography nor existing spot elevations are shown on the plan.
- A City of Albuquerque Benchmark with NAVD 88 elevation is shown on the plan, but the proposed elevations are the same as the original grading plan which an old Benchmark elevation.
- Provide pond volume calculations for the proposed ponds.
- Provide proposed and existing elevation at the south end of the property. What kind of slope is being proposed for the slope grade transition area?
- Provide additional spot elevations around the pool area to assure positive drainage.
- Clearly show the property line, and label all the existing easements on site. Is there a wall being extended to the northerly property line across the existing drainage easement?
- Based on the overall grading and drainage plan, the low points between the pads are at the property lines to the east and to the west. Are these areas considered to be common drainage areas/easements? Will the proposed pond walls shown on Section A stop the runoff from the adjacent properties?

PO Box 1293

Albuquerque

New Mexico 87103

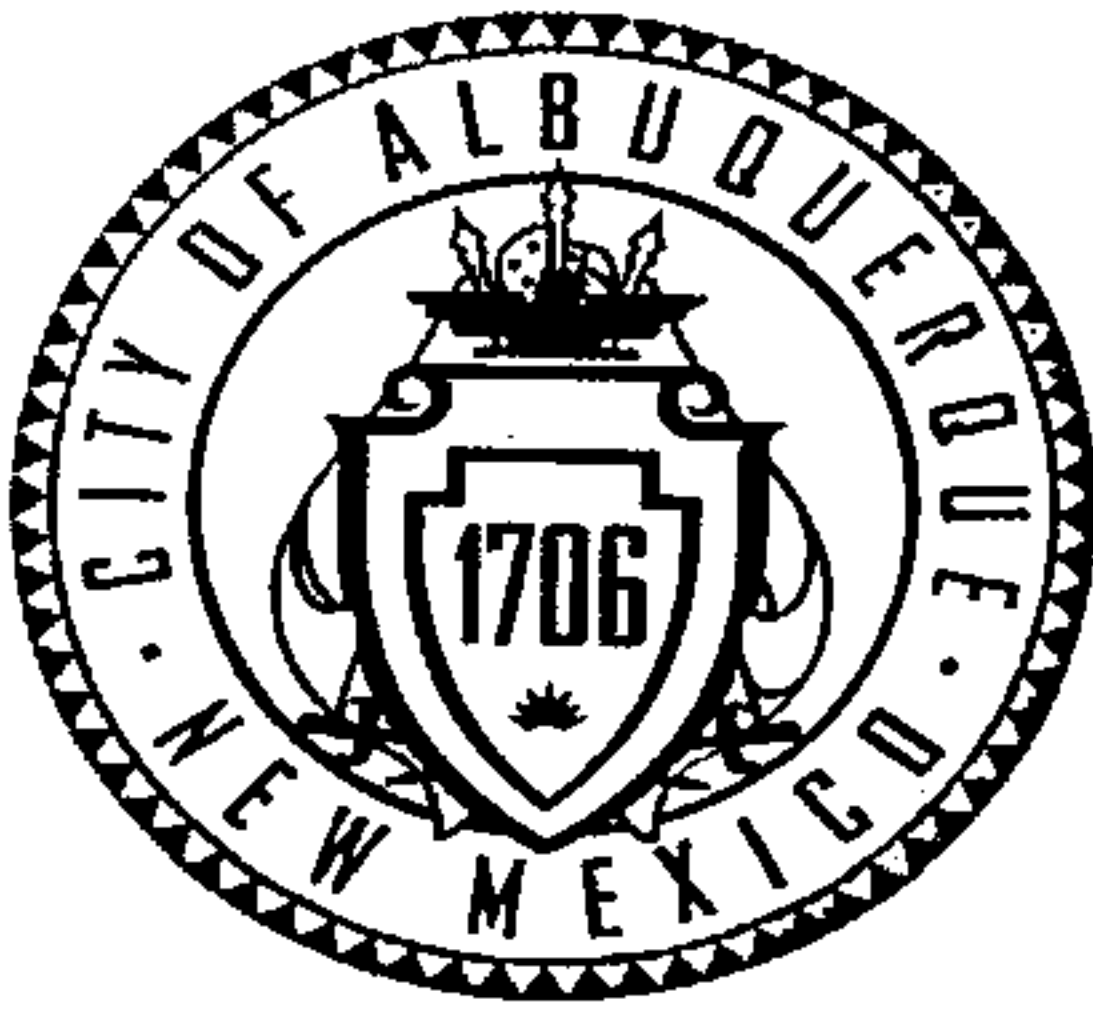
www.cabq.gov

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: e-mail



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Guttmann Residence Building Permit #: _____ City Drainage #: F13D002B
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 22, Rancho Guadalupe Subdivision, City of Albuquerque, Bernalillo County, NM
City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred Arfman, PE
Address: 128 Monroe Street, NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 Fax#: N/A E-mail: FredA@iacivil.com

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

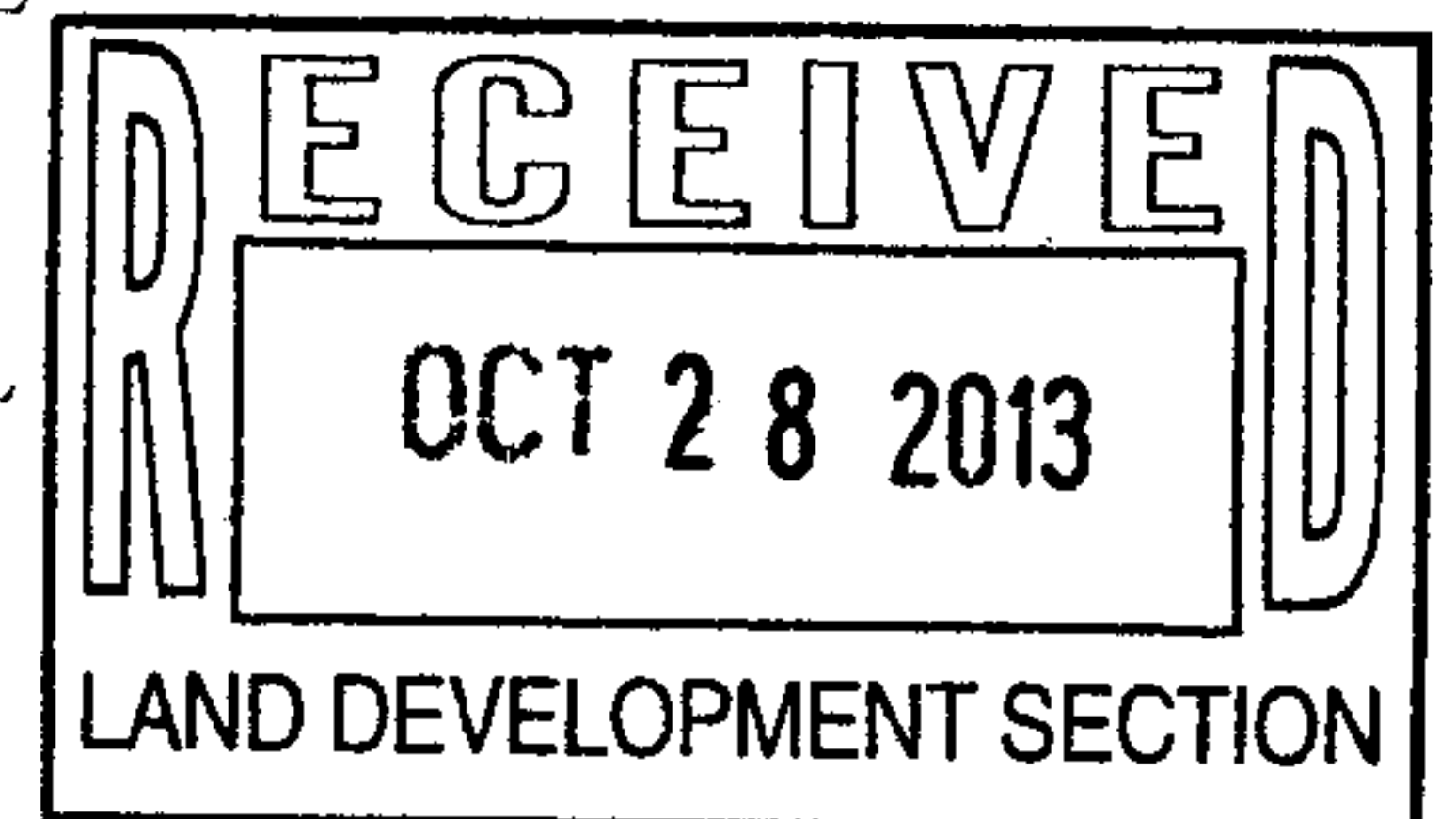
Contractor: Earth Stone Homes Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION



\$5000

- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

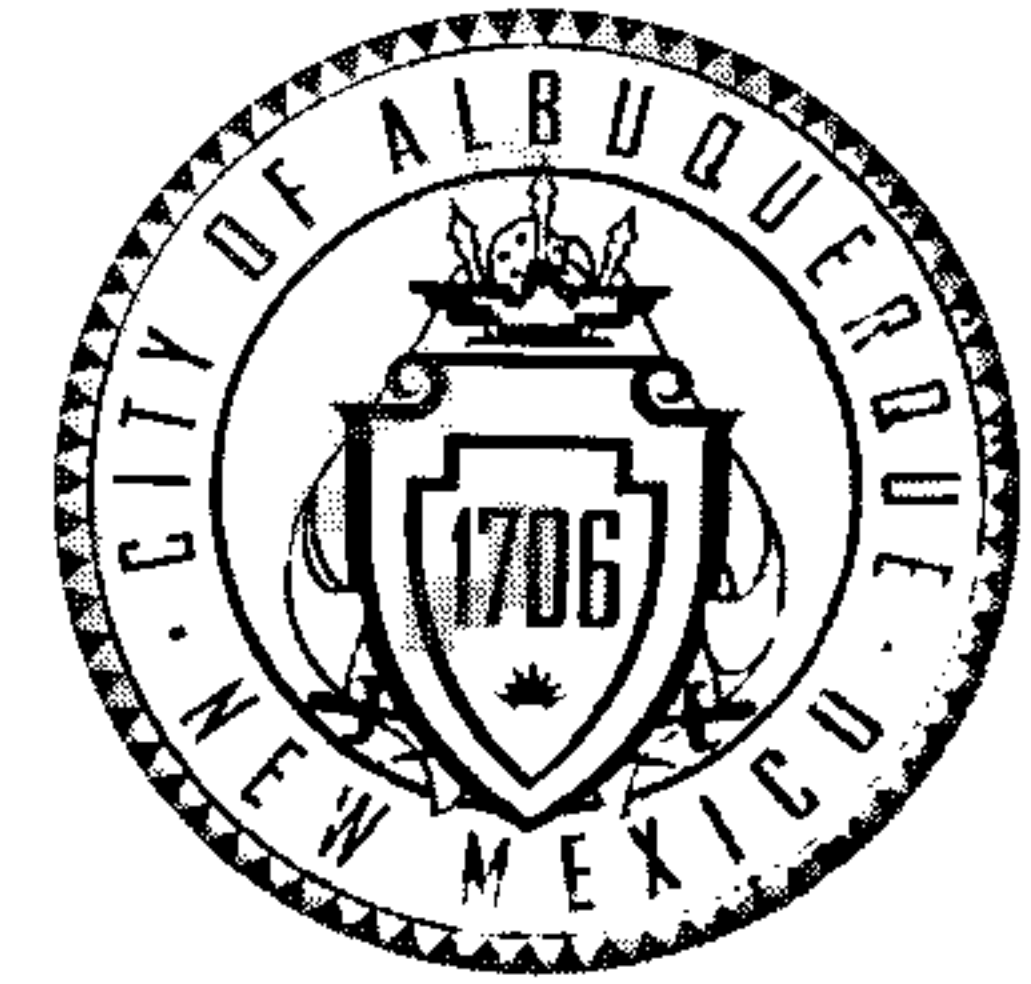
DATE SUBMITTED: October 29, 2013 By: Fred Arfman, PE

for Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



December 9, 2013

Åsa Nilsson-Weber, P.E.
Isaacson & Arfman, P.A.
128 Monroe St NE
Albuquerque, NM 87108

**Re: Guttman Residence, Lot 22 Rancho Guadalupe Subdivision
1626 Rancho Guadalupe Trail
Grading and Drainage Plan
Engineer's Stamp Date 12/02/2013 (F13/D002B)**

Dear Ms. Weber,

Based upon the information provided in your submittal received 12/02/2013, the grading and Drainage Plan is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: e-mail



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Guttmann Residence Building Permit #: _____ City Drainage #: F13/D002B

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 22, Rancho Guadalupe Subdivision, City of Albuquerque, Bernalillo County, NM

City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred Arfman, PE

Address: 128 Monroe Street, NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: N/A E-mail: freda@iacivil.com

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: Earth Stone Homes Contact: _____

Address: _____

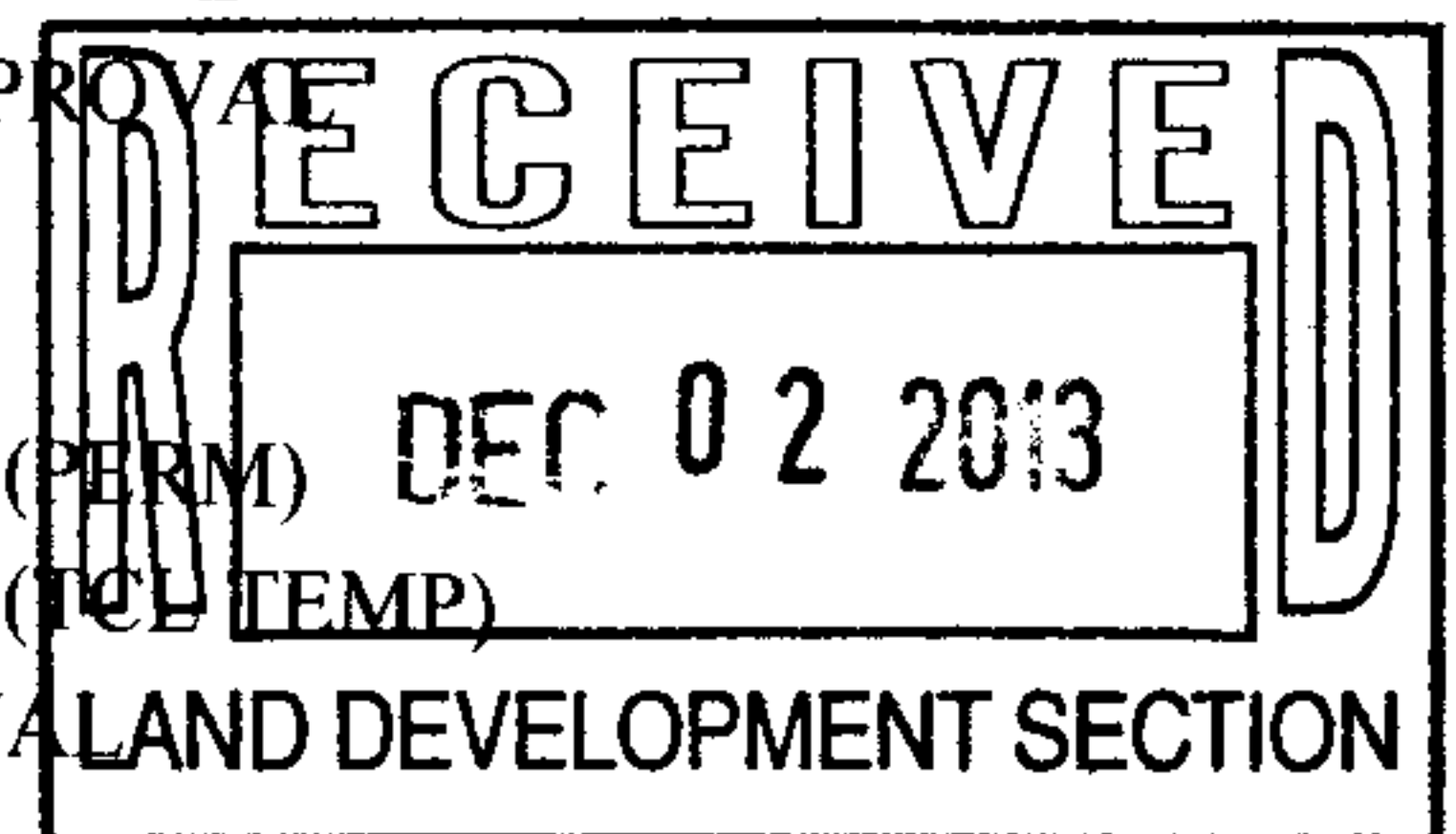
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
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- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

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- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
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- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



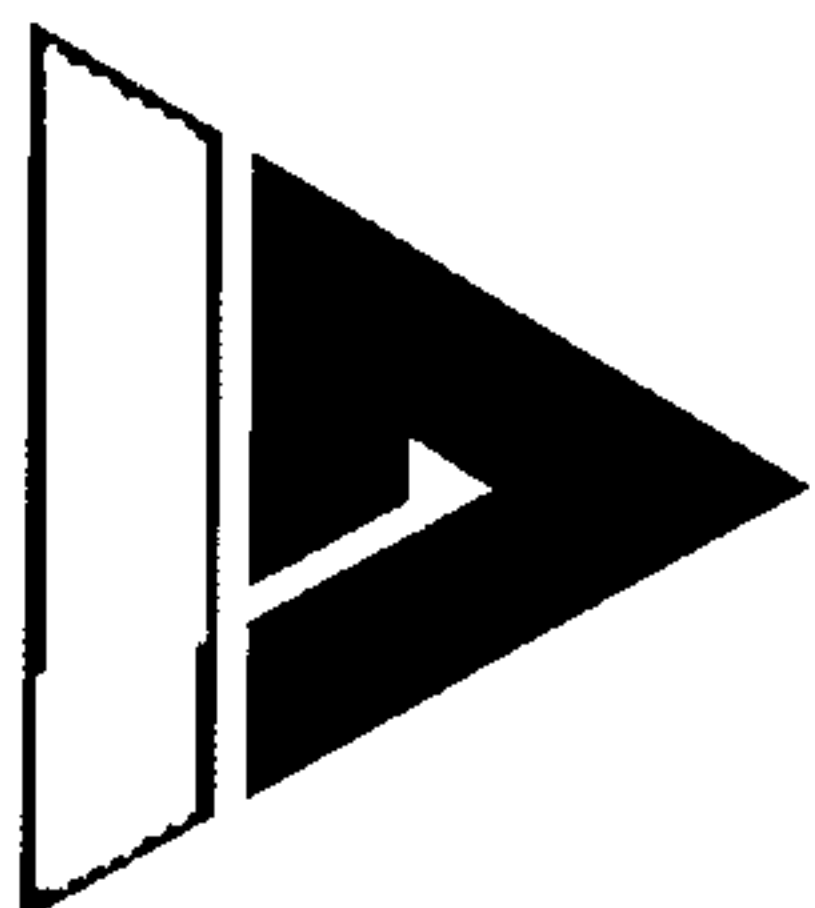
WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: December 2, 2013 By: Fred Arfman, PE

for Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE

November 27, 2013

Mr. Shahab Biazar, P.E.
Principal Engineer, Planning Dept.
City of Albuquerque

RE: GUTTMANN RESIDENCE: LOT 22, RANCHO GUADALUPE SUBDIVISION (F13/D002B)

Dear Mr. Biazar,

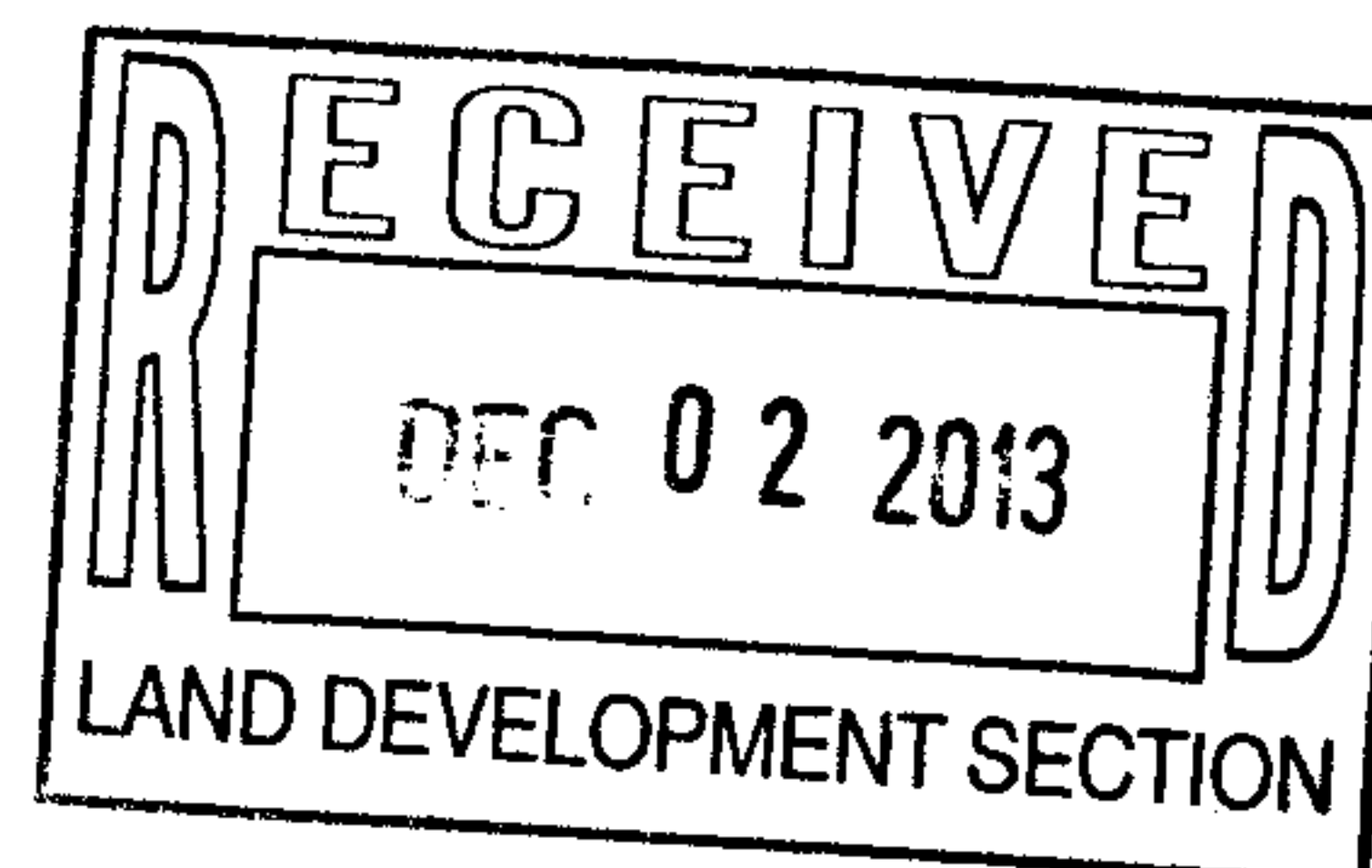
Attached with this letter is the revised Grading and Drainage Plan submittal. Revisions are in response to your review comments dated November 25, 2013 as follows:

- The as-built grading and drainage plan for Rancho Guadalupe prepared by Terrence W. O'Brien (NMLS#12801) in 1999 provides five as-built spot elevations for this property. Pad grade = 71.79 (design grade = 71.85) and property corner grades ranging from 70.8 to 71.2 (design grade = 70.85 typical). A copy of that portion of the as-built is attached with this letter and the spots have been added to the plan.
- The benchmark has been corrected to the same benchmark as the original design.
- Pond volume calculations have been added to the plan.
- Per the original overall grading plan, the south property transition slope varies. For this lot, the existing grade on the adjacent property is $74.0 \pm$. The grade transition of 2.3' over 7' is currently achieved with a graded slope. This will have no impact on the required pond volumes or locations. Spot elevations have been added reflecting the grade transition.
- The future pool will not be designed / constructed with this plan. Spot elevations have been added to indicate positive drainage away. Ultimately, the pool and surrounding deck elevation will be established by others based on owner preference. We have added spot elevations to the plan indicating that the pool be constructed at 72.1.
- Property line has been clarified and all easements have been labeled. The existing and proposed perimeter walls have been updated (see existing site photos on page 2): No walls will be added other than the west side yard walls shown and the proposed plan.
- Based on the overall grading and drainage plan, this lot and the adjacent lots each have pad grades of 71.85 sloping down 1' to 70.85 at the side ponding areas. The flat-land grading solution uses the overall storage volume required divided amongst the various lots to achieve a 'typical' storage volume per lot. The proposed pond walls shown on this plan are provided to achieve the necessary volume but will not prevent equalization between properties. We have added additional notes to Section 'A' to clarify.

Please call with any questions or comments.

Sincerely,

Åsa M. Nilsson-Weber, PE
ISAACSON & ARFMAN P.A.

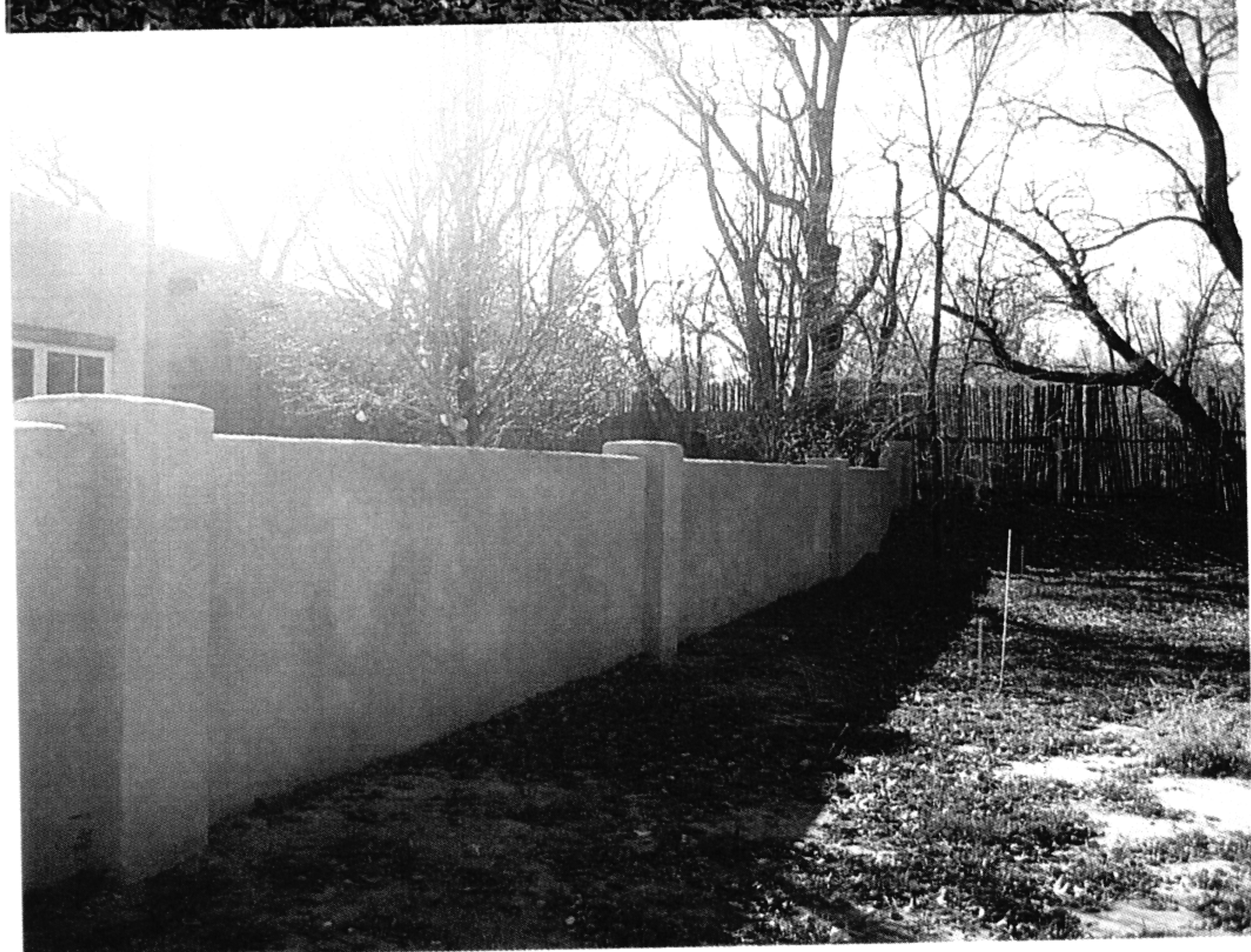




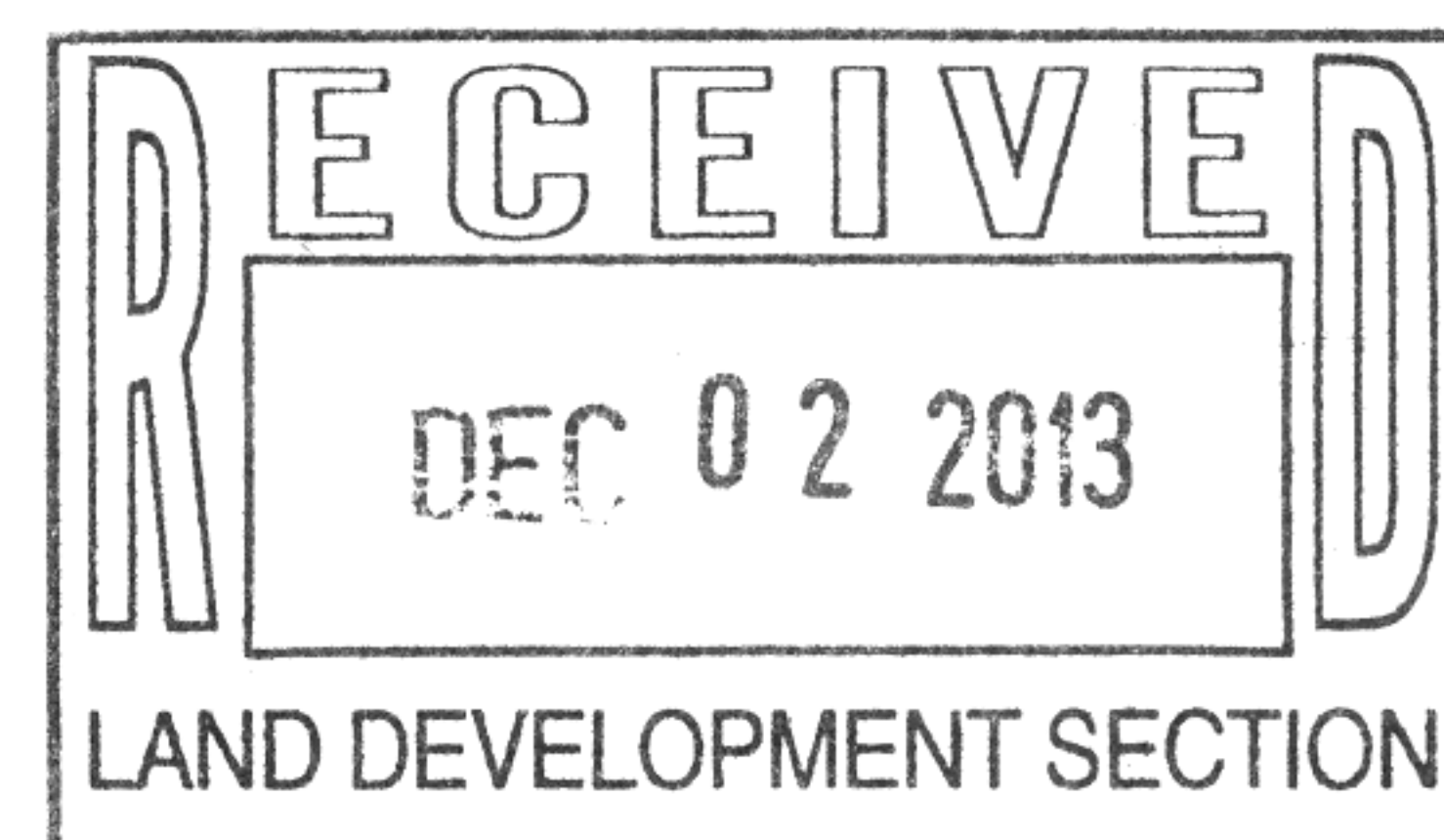
West wall



Back fence



East wall



CITY OF ALBUQUERQUE



July 2, 2014

Åsa Nilsson-Weber, PE
Isaacson & Arfman, PA
128 Monroe St NE
Albuquerque, NM 87108

**Re: Guttman Residence
Lot 22 Rancho Guadalupe Subd.
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 12-2-13 (F13D002B)
Certification dated: 6-30-14**

Dear Ms. Nilsson-Weber,

Based on the Certification received 7/1/2014, the site is acceptable for release of
Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Albuquerque

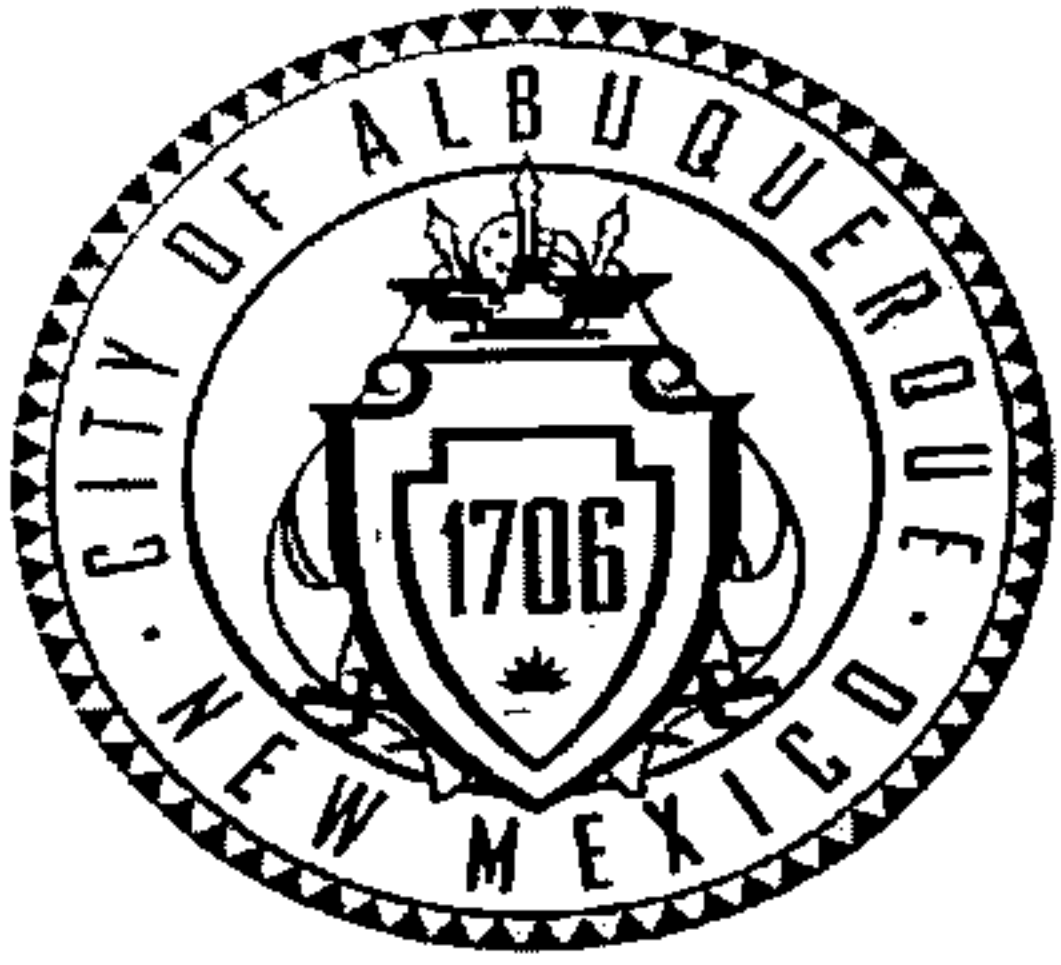
New Mexico 87103

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

www.cabq.gov

C: RR/CC
CO Clerk—Katrina Sigala
email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Guttmann Residence Building Permit #: _____ City Drainage #: F13/D002B
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 22, Rancho Guadalupe Subdivision, City of Albuquerque, Bernalillo County, NM
City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Asa Nilsson-Weber, PE
Address: 128 Monroe Street, NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 Fax#: N/A E-mail: asaw@iacivil.com

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

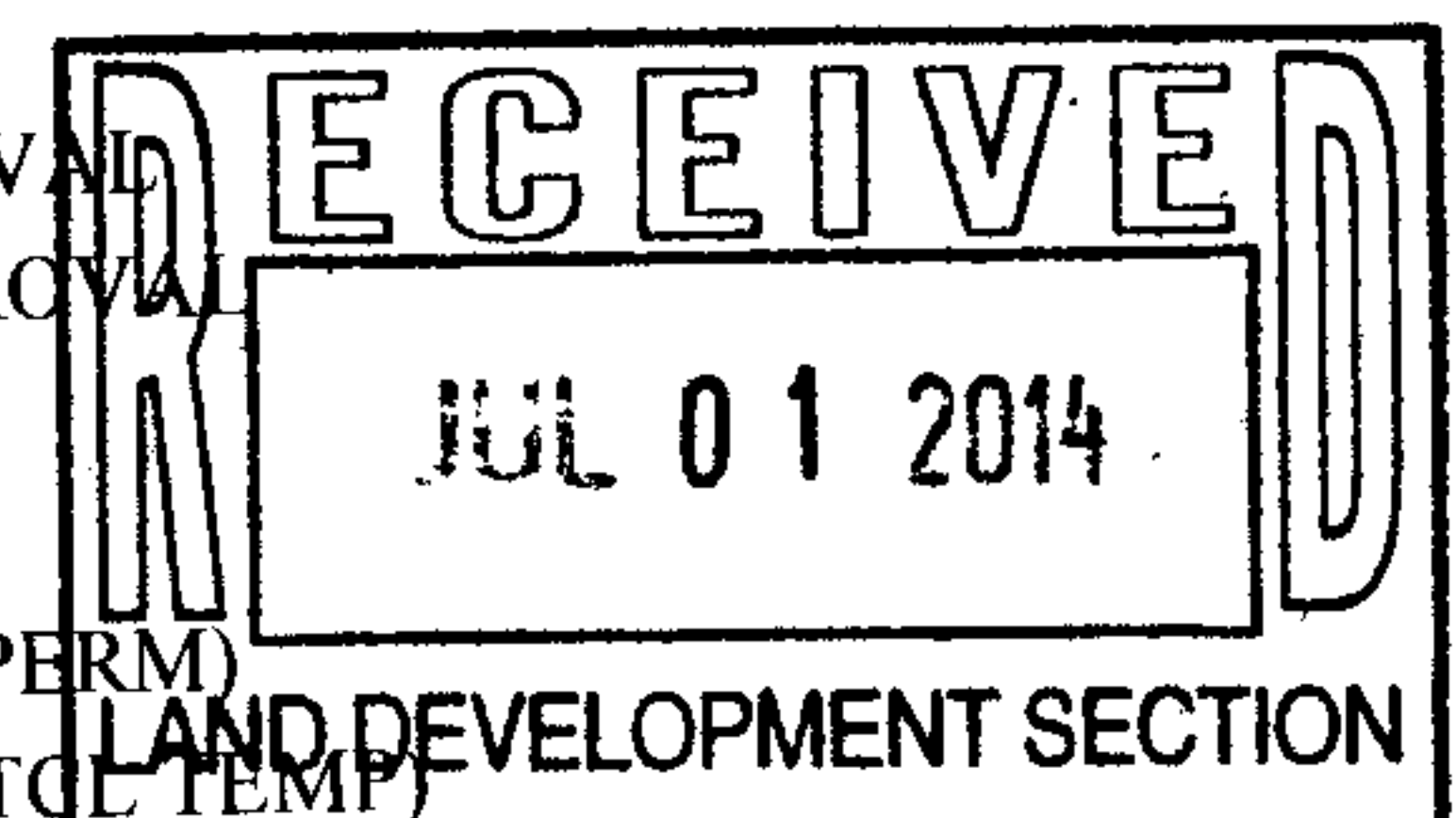
Contractor: Earthstone Homes Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

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☒ GRADING PLAN
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☒ ENGINEER'S CERT (HYDROLOGY) ☒
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
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☐ ENGINEER'S CERT (ESC)
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☐ OTHER (SPECIFY) _____

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☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION



- ☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: July 1, 2014 By: Asa Nilsson-Weber, PE

for Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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Bryan Bobrick

From: Rael, Rudy E. <RRael@cabq.gov>
To: Bryan Bobrick
Sent: Tuesday, July 01, 2014 8:17 AM
Subject: Read: Submittal: As-built for Lot 22 Rancho Guadalupe Subdivision (F13/D002B) - revised per Rudy Rael's comments

Your message

To: Sims, Timothy E.; Rael, Rudy E.
Cc: 'Asa Weber'
Subject: Submittal: As-built for Lot 22 Rancho Guadalupe Subdivision (F13/D002B) - revised per Rudy Rael's comments
Sent: Mon, 30 Jun 2014 16:21:36 -0600

was read on Tue, 1 Jul 2014 08:16:52 -0600

