

CITY OF ALBUQUERQUE



August 17, 2009

Eufracio Sabay, P.E.
c/o Bernie J. Montoya
BJM CONSULTANT
8624 Casa Verde Ave. NW
Albuquerque, NM 87120

**Re: Our Lady of Guadalupe Addition, 1860 Greigos Rd. NW,
(F-13/D028)**

Approval of Permanent Certificate of Occupancy,

Engineer's Stamp Dated: 05-28-08

Engineer's Certification Date: 08-17-09

PO Box 1293

Dear Mr. Sabay,

Albuquerque

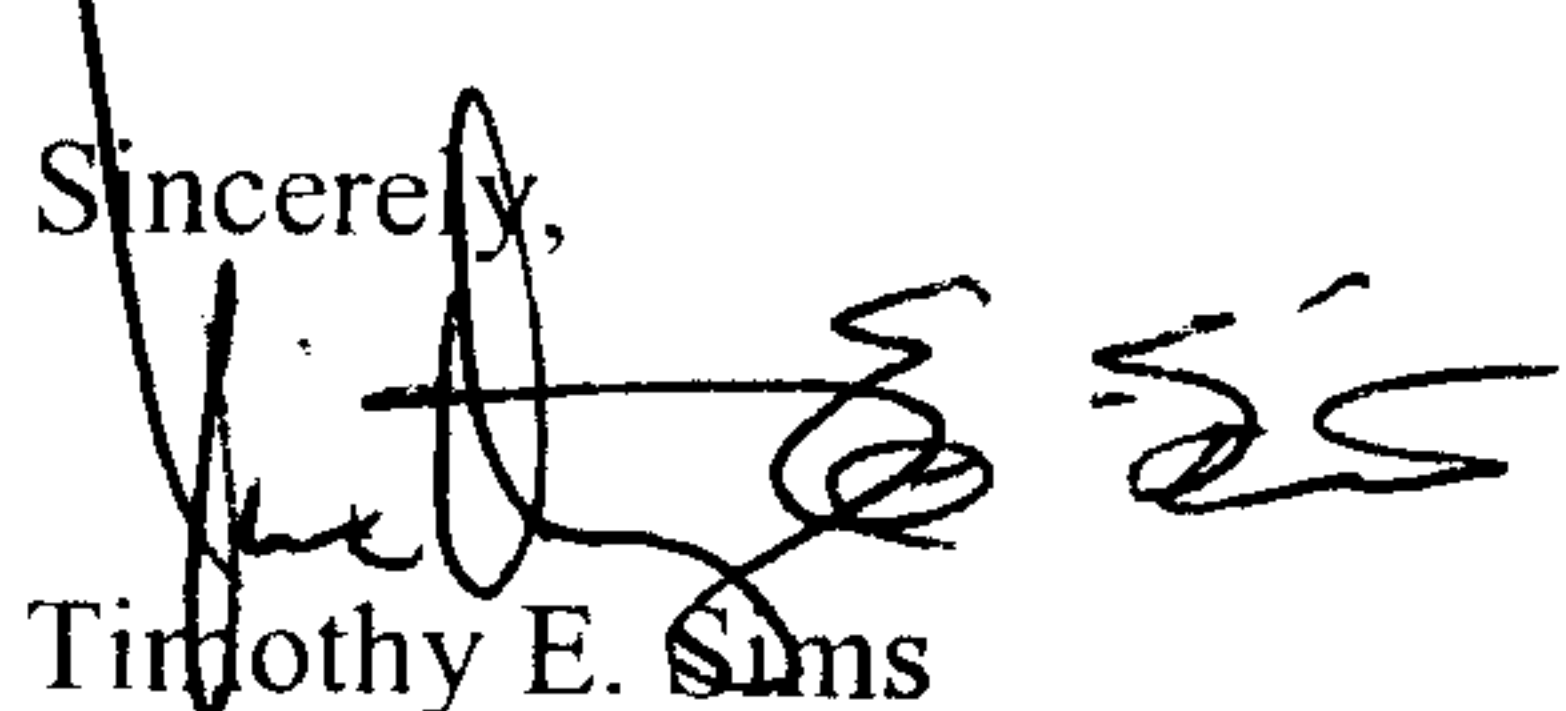
Based upon the information provided by our visual inspection on 8/17/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

NM 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

www.cabq.gov


Timothy E. Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

C: CO Clerk—Katrina Sigala
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: ADDITION TO OUR LADY OF GUADALUPE CHURCH ZONE MAP/DRG. FILE F13-D028
DRB #: PC#: WORK ORDER#:

LEGAL DESCRIPTION: TRACTS 167b, 168a, 168a3, 168a4, 170, 170a, 171, 175, and portions of 168a1, and 169
CITY ADDRESS: 1860 GREIGOS ROAD N.W.

ENGINEERING FIRM:
ADDRESS: 8624 CASA VERDE AVE. N.W.
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: BERNIE J. MONTOYA
PHONE: 250-7719
ZIP CODE: 87120

OWNER:
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

ARCHITECT:
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

SURVEYOR:
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

CONTRACTOR: BRITTON CONSTRUCTION
ADDRESS:
CITY, STATE:

CONTACT MICHELE
PHONE: 268-2626
ZIP CODE:

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST SUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ PAVING PLAN
☐ TCL
☐ RESUBMITTAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

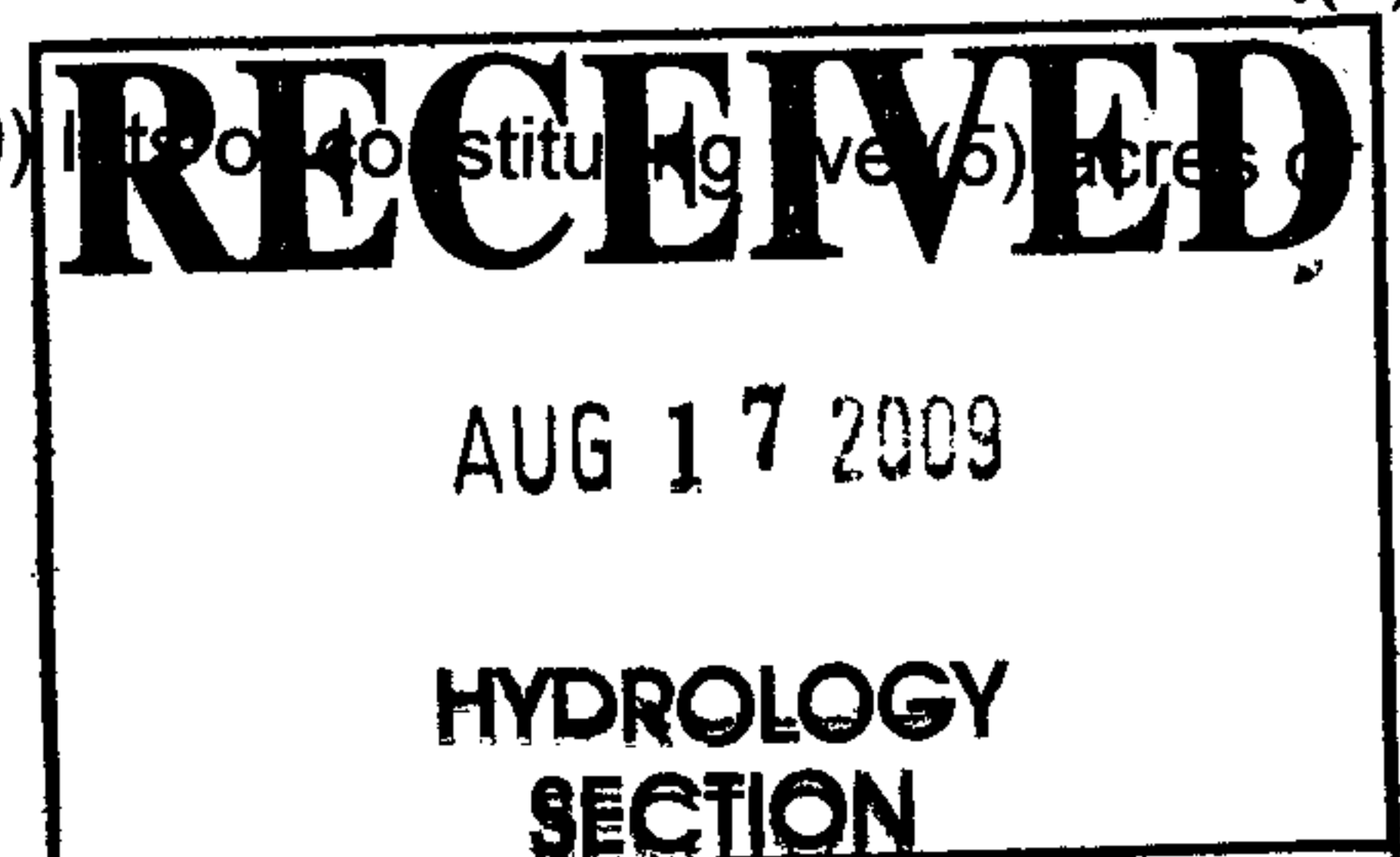
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

DATE SUBMITTED: 8/17/2009 BY: Bernie Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or four (4) acres or more.



CITY OF ALBUQUERQUE



August 28, 2009

Mark Baczek, R.A.
Dorman and Breen Architects
13604 Rebonito Ct. NE
Albuquerque, NM 87112

**Re: Our Lady of Guadalupe Church Addition, 1860 Griegos Road NW,
Certificate of Occupancy – Transportation Development
Architect's Stamp dated 11-25-08 (F13-D028)
Certification dated 08-27-09**

Dear Mr. Baczek,

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov
Based upon the information provided in your submittal received 08-27-09, the
above referenced certification is approved for release of permanent Certificate of
Occupancy by Transportation Development.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

F-13/D028

PROJECT TITLE: **Our Lady of Guadalupe Church Addition** _____ ZONE MAP: F-13-Z _____
DRB#: NA _____ EPC#: NA _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Being that certain parcel of land situated within the Elena Gallegos Grant and Town of Albuquerque Grant, within Section 31 (as projected), Township 11 North, Range 3 East, New Mexico Principal Meridian, Albuquerque, Bernalillo County, New Mexico, and being identified as Tracts 167b, 168a2, 168a3, 168a4, 170, 170a, 171, 175, and portions of Tracts 168a1 and 169, M.R.G.C.D. Map No. 31, a portion of this property being described in Warranty Deed, Document No. 65557, filed in the Office of the County Clerk, Bernalillo County, New Mexico, on January 17, 1972, in Volume D910, Folio 389-392; together with southerly 40' of Lot 3A, Cordova's Subdivision of Lot 3 of the Dees Addition, as said Lot 3A is shown and designated on plat of "CORDOVA'S SUBDIVISION OF LOT 3 OF THE DEES ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO", filed in the Office of the County Clerk, Bernalillo County, New Mexico, on September 26, 1956, in Volume B3, Folio 40.

CITY ADDRESS: **1860 Griegos Rd. NW** _____

ENGINEERING FIRM: **BJM Consulting Inc.** _____ CONTACT: **Bernie Montoya**
ADDRESS: **8624 Casa Verde Ave. NW** _____ PHONE: **250-7719**
CITY, STATE: **Albuquerque, NM** _____ ZIP CODE: **87120**

OWNER: **Archdiocese of Santa Fe** _____ CONTACT: **John Huchmala**
ADDRESS: **4000 St Joseph Pl NW** _____ PHONE: **831-8100**
CITY, STATE: **Albuquerque, NM** _____ ZIP CODE: **87120**

ARCHITECT: **Dorman/Breen Architects** _____ CONTACT: **Mark Baczek**
ADDRESS: **10305 Timan Pl NW** _____ PHONE: **792-8160**
CITY, STATE: **Albuquerque, NM** _____ ZIP CODE: **87144**

SURVEYOR: **Alb. Surveying Co.** _____ CONTACT: **Vladimir Jirik**
ADDRESS: **2119 Menaul Blvd, NE** _____ PHONE: **884-2036**
CITY, STATE: **Albuquerque, NM** _____ ZIP CODE: **87107**

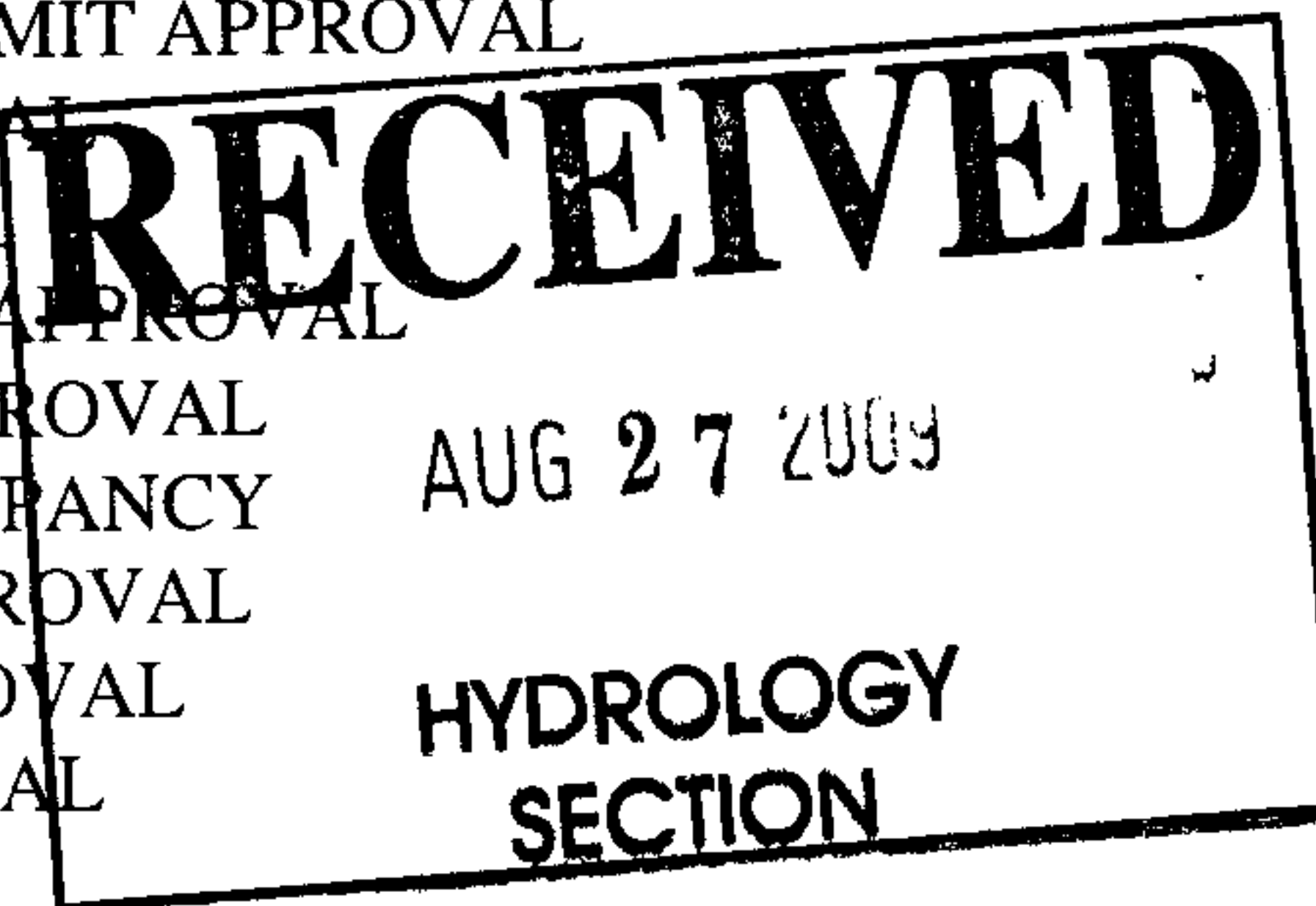
CONTRACTOR: **Britton Construction Co.** _____ CONTACT: **Rick Britton**
ADDRESS: **6005 Coronado Ave, NE** _____ PHONE: **268-2626**
CITY, STATE: **Albuquerque, NM** _____ ZIP CODE: **87109**

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
X ____ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
M ____ BUILDING PERMIT APPROVAL
X ____ CERTIFICATE OF OCCUPANCY
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED:

X ____ YES - MET WITH Kristal Metro ON 12/4/08, SITE PLAN REVIEWED FOR PRELIM. APPROVAL.
____ NO
____ COPY PROVIDED

DATE SUBMITTED: 8/27/09 _____ BY: MARK BACZEK

A handwritten signature in black ink, appearing to read "Mark Baczek", written over the printed name "MARK BACZEK".



8/27/09

Traffic Circulation Layout Substantial Compliance Certificate

Regarding:

1860 Griegos Rd NW

Albuquerque, New Mexico 87123

Legal Description: Being that certain parcel of land situated within the Elena Gallegos Grant and Town of Albuquerque Grant, within Section 31 (as projected), Township 11 North, Range 3 East, New Mexico Principal Meridian, Albuquerque, Bernalillo County, New Mexico, and being identified as Tracts 167b, 168a2, 168a3, 168a4, 170, 170a, 171, 175, and portions of Tracts 168a1 and 169, M.R.G.C.D. Map No. 31, a portion of this property being described in Warranty Deed, Document No. 65557, filed in the Office of the County Clerk, Bernalillo County, New Mexico, on January 17, 1972, in Volume D910, Folio 389-392; together with southerly 40' of Lot 3A, Cordova's Subdivision of Lot 3 of the Dees Addition, as said Lot 3A is shown and designated on plat of "CORDOVA'S SUBDIVISION OF LOT 3 OF THE DEES ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO", filed in the Office of the County Clerk, Bernalillo County, New Mexico, on September 26, 1956, in Volume B3, Folio 40.

Location: Located South of Griegos Rd, just East of Rio Grande Blvd.

Building Permit No.: **0715559**

This letter is to note for the record that I have inspected the construction improvements to the site noted above & have found the construction improvements to be "Substantially Compliant" with the approved Traffic Circulation Layout (TCL), as approved by the traffic department for the building permit.

Mark Baczek, AIA

Dorman & Breen Architects

