

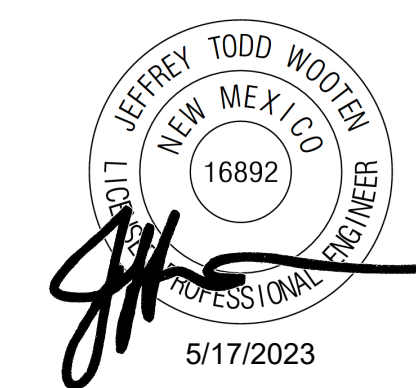
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ESC Plan Standard Notes (2021-03-24)

1. All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected, and maintained in accordance with:
 - a. The City Ordinance § 14-5-2-11, the ESC Ordinance,
 - b. The EPA's 2017 Construction General Permit (CGP), and
 - c. The City Of Albuquerque Construction BMP Manual.
2. All BMP's must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP's such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMPs and prior to beginning construction.
3. Self-inspections - At a minimum a routine compliance self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of 1/4 inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
4. Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
5. Stabilization reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request. Reports should include records of weed removal per City Ordinance (§ 9-8-1), sterilization, soil test results and recommendation, materials and manufacturer's specifications for application rates, estimated functional longevity, methods of application, inspection and maintenance. The reduced self-inspection schedule in CGP 4.4.1 applies to stabilized area and any damaged or worn stabilization must be identified in the reports along with weed problems. Corrective actions for stabilization shall be documented in a stabilization report including actual rates and dates of stabilization, and the materials and manufacturer's specifications used.
6. BMPs shall be inspected and maintained until all disturbed areas are stabilized in accordance with the Final Stabilization Criteria (CGP 2.2.14.b). Generally, all disturbed areas, other than structures and impervious surfaces, must have uniform perennial vegetation that provides 70 percent or more of the cover provided by native vegetation or seed the disturbed area and provide non-vegetative mulch that provides cover for at least three years without active maintenance. Final stabilization must be approved by the City of Albuquerque prior to removal of BMPs and discontinuation of inspections.

Pond Stabilization Specifications

After constructed, ponds shall be seeded as per approved specifications (described below and attached) by the 14-day time period designated by the Construction General Permit. Ponds shall be inspected regularly as part of the project, and will be inspected until 70% of native vegetative cover is achieved. Stabilization specifications shall comply with

Flat Area: Areas less than 3:1

*Use one of the three specified seed mixes based on soil conditions

*Disc seed bed at 4-6" depth

*Drill seed specified seed mix

*Hydro mulch at 2000 lbs/ac with increased tackifier at 10% of wood fiber mulch dry weight (industry standard is 3-5% bulk dry weight of hydro mulch). We do this to help with better performance in dust stabilization for air quality.

Slopes: Areas 3:1 or steeper

*Use one of three specified seed mixes based on soil conditions. We double the application rate for better germination. In some instances we apply the specified rate with hydro mulch with tackifier on the slope prior

to gravel mulch application.

*Apply 1-1.5" crushed stone at 300 tons per acre. This stone is larger than what is specified but we have found that the larger stone holds on the slopes better than the ¾" specified and isn't so easily covered in

locations with what we call blow sand or sugar sand.

**If the full double application rate of seed is not applied in the initial application we will now apply the second (double seed rate) application of seed with only trace amounts (~500 lbs/ac) wood fiber mulch and tackifier. Since this second application will be at a diluted application rate, the seed will be washed down into all of the nooks and crannies of the gravel mulch to help protect it. Since this second application has

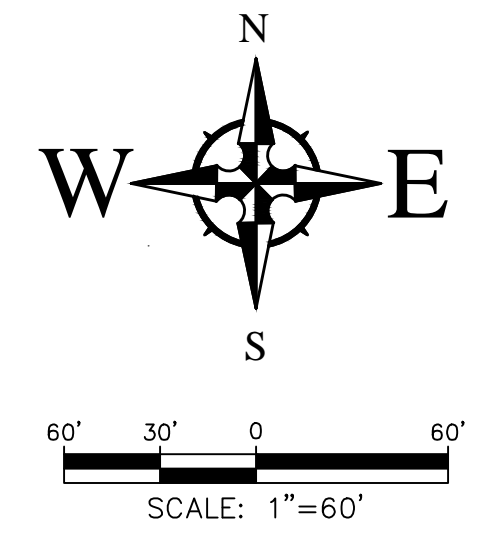
tackifier added, it will help with final dust stabilization.



Project Name: Griegos Farms
Property Owner: Griegos Farms, LLC.
Operator: Rembe Design

NPDES Permit #: NMR1005G7
Date: 5/17/2023
Sheet: 1 of 5

Temporary Erosion and Sediment Control Plan



- LEGEND**
- ← FLOW ARROW
 - 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
 - FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
 - TC27.8 PROPOSED TOP OF CURB ELEVATIONS
 - FGH27.8 PROPOSED GRADE AT TOP OF WALL
 - FGL27.8 PROPOSED GRADE AT BOTTOM OF WALL
 - 515 EXISTING CONTOUR
 - 515 PROPOSED CONTOUR
 - EXISTING STORM DRAIN
 - FLOW LINE
 - RIDGE LINE

Note that 814 Solutions did not create grading and drainage plan. Plan was edited by 814 Solutions to include stormwater best management practices.

CAUTION!!!!

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

Note that in areas where silt fence can not be staked (asphalt/concrete) a temporary fence shall be installed and silt fence shall be attached to fence. Silt fence tail will be secured to ground with sandbags and/or wattle to capture runoff.

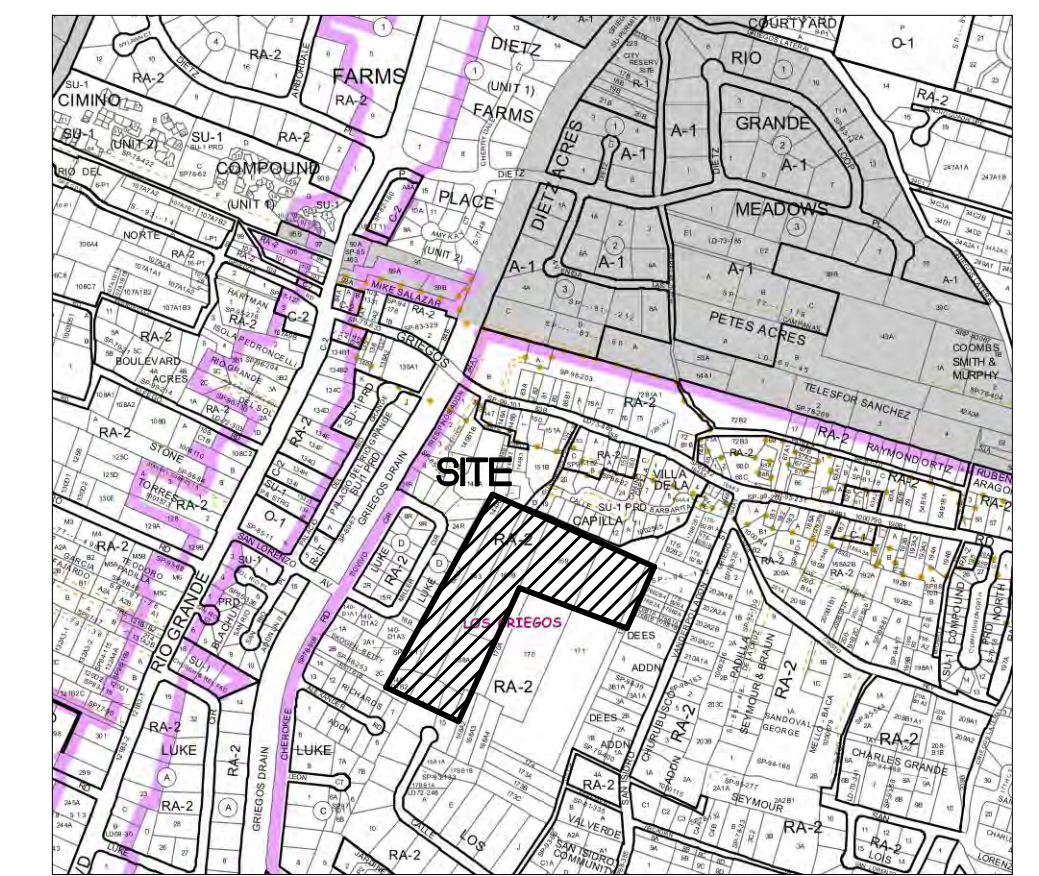
Soil Information

100% Agua silty clay loam

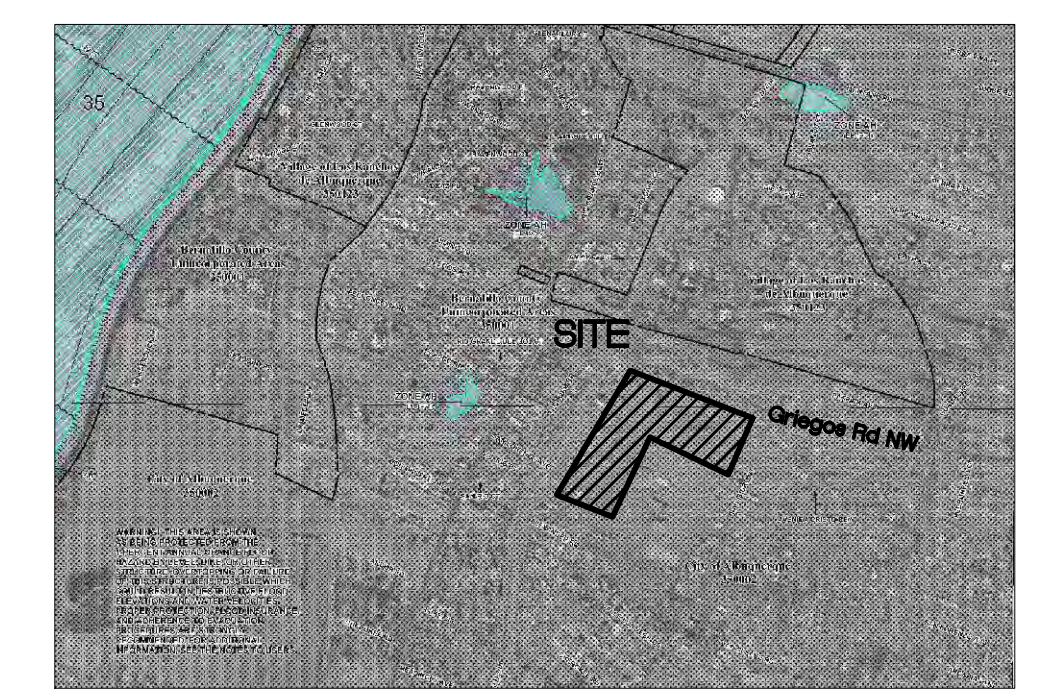
K-Factor: 0.37 (RUSLE)

Ponds shall be first item of construction to capture runoff from project.

- Legend**
- Existing Retaining Wall
 - Limits of Disturbance
 - Lot Boundary
 - NPDES Permit Information Board
 - Silt Fence
 - Stabilized Construction Entrance



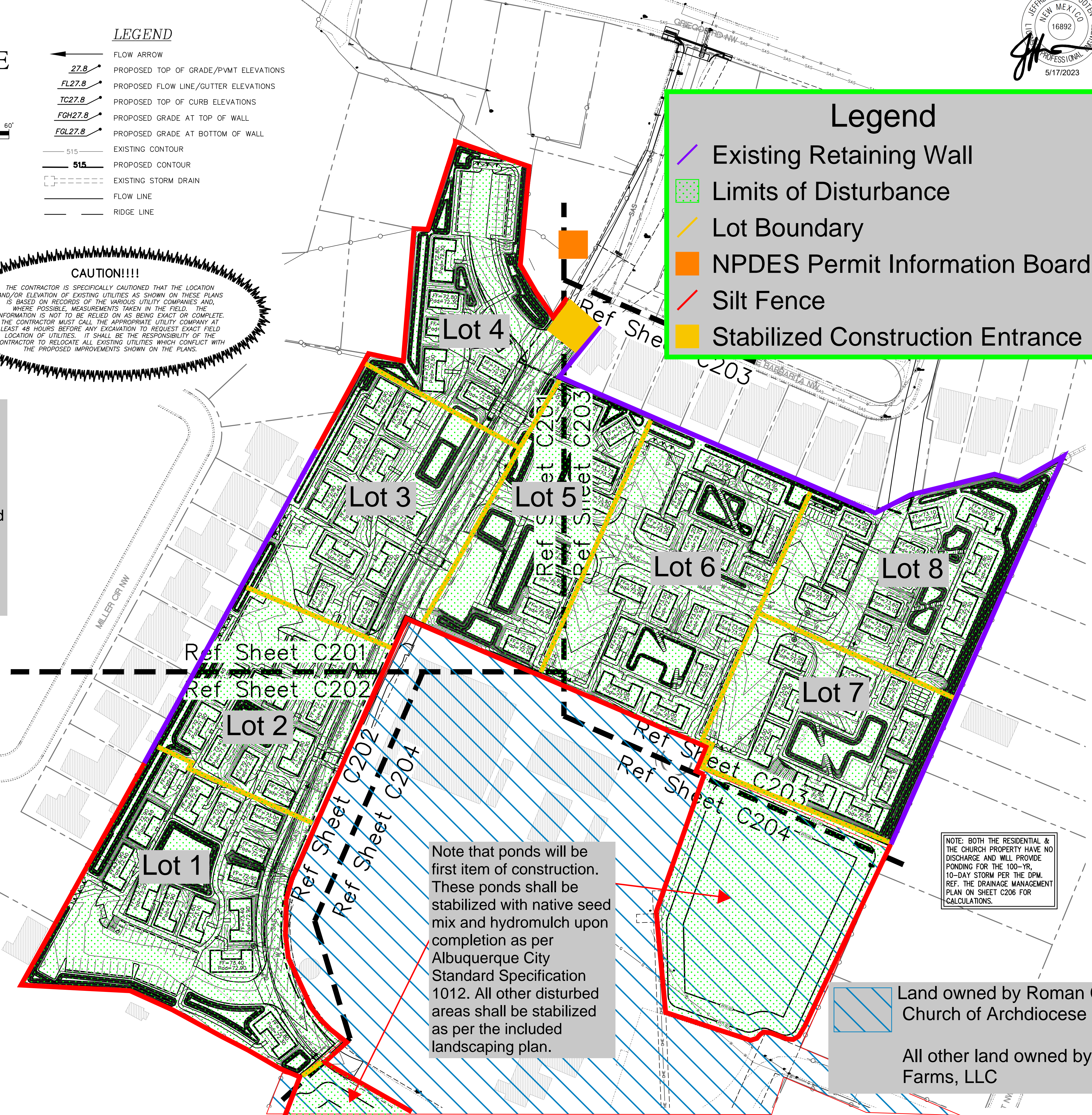
VICINITY MAP - Zone Map F-13-Z
 Legal Description: Tract 2, Our Lady of Guadalupe and Tract 144A1, Cordova's Subdivision City of Albuquerque, NM. 10.19 Acres.



FIRM MAP 35001C018G
 Per FIRM Map 35001C018G, dated September 26, 2008, the site is located in Zone X of the Floodplain and determined to be inside the 0.2% chance Annual Floodplain. Areas of 1% annual chance flood with average depths of less than 1 square mile; and areas protected by levees from 1% annual chance flood.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO TECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

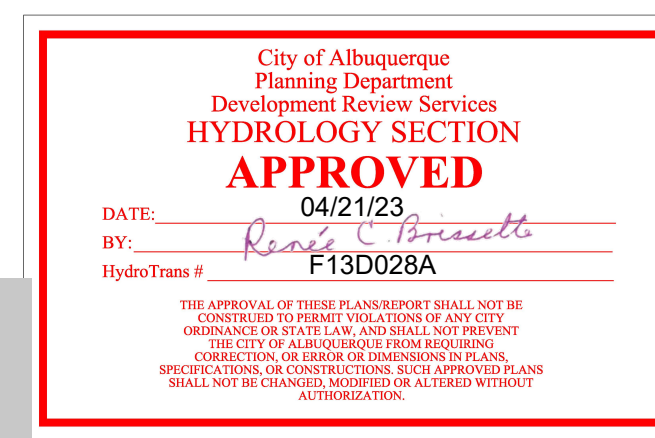


Note that ponds will be first item of construction. These ponds shall be stabilized with native seed mix and hydromulch upon completion as per Albuquerque City Standard Specification 1012. All other disturbed areas shall be stabilized as per the included landscaping plan.

NOTE: BOTH THE RESIDENTIAL & THE CHURCH PROPERTY HAVE NO DISCHARGE AND WILL PROVIDE PONDING FOR THE 100-YR, 10-DAY STORM PER THE DPM. REF. THE DRAINAGE MANAGEMENT PLAN ON SHEET C206 FOR CALCULATIONS.

Land owned by Roman Catholic Church of Archdiocese of Santa Fe

All other land owned by Griegos Farms, LLC



NO.	DATE	REMARKS	BY
		DESIGN	
		REVISIONS	

DESIGNED BY: JW DATE: February 2023
 DRAWN BY: OC DATE: February 2023
 CHECKED BY: JW DATE: February 2023

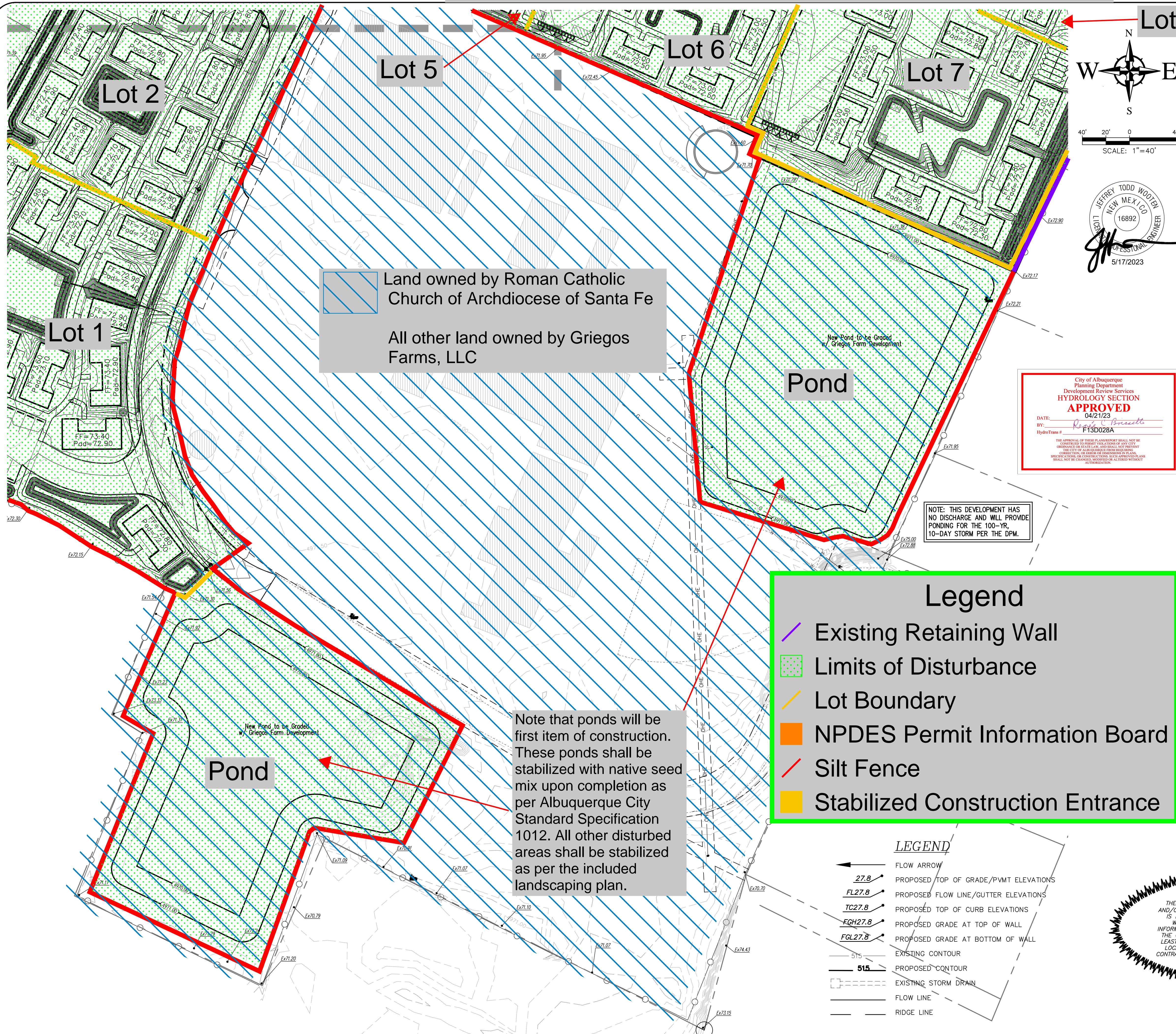


Wooten Engineering
 PO Box 15814
 Rio Rancho, N.M. 87174
 Phone: (505) 980-3560

Griegos Farms
 Griegos Rd & Guadalupe Church St NW
 Albuquerque, NM 87107

Overall Grading Plan / Index

Temporary Erosion and Sediment Control Plan



Land owned by Roman Catholic Church of Archdiocese of Santa Fe
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Legend

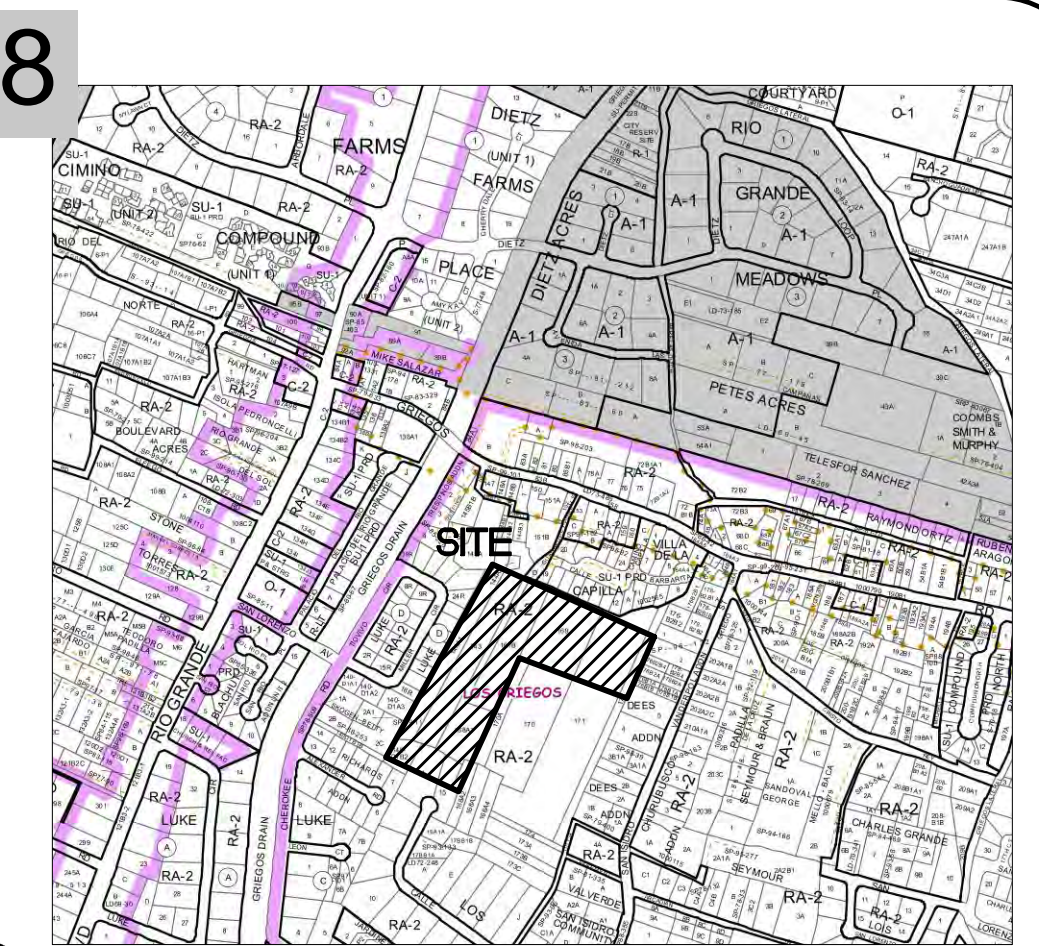
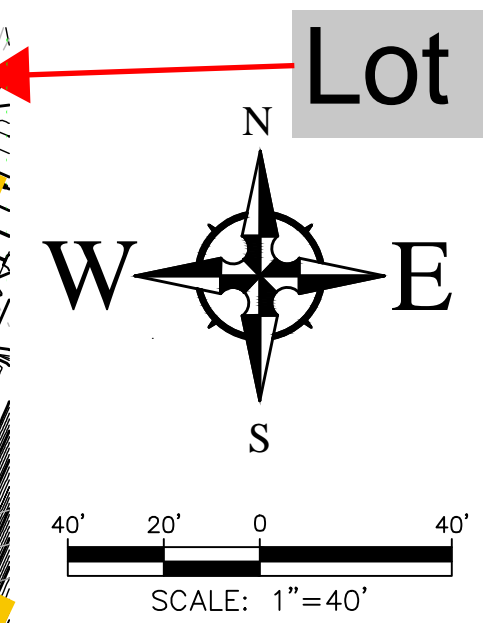
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LEGEND

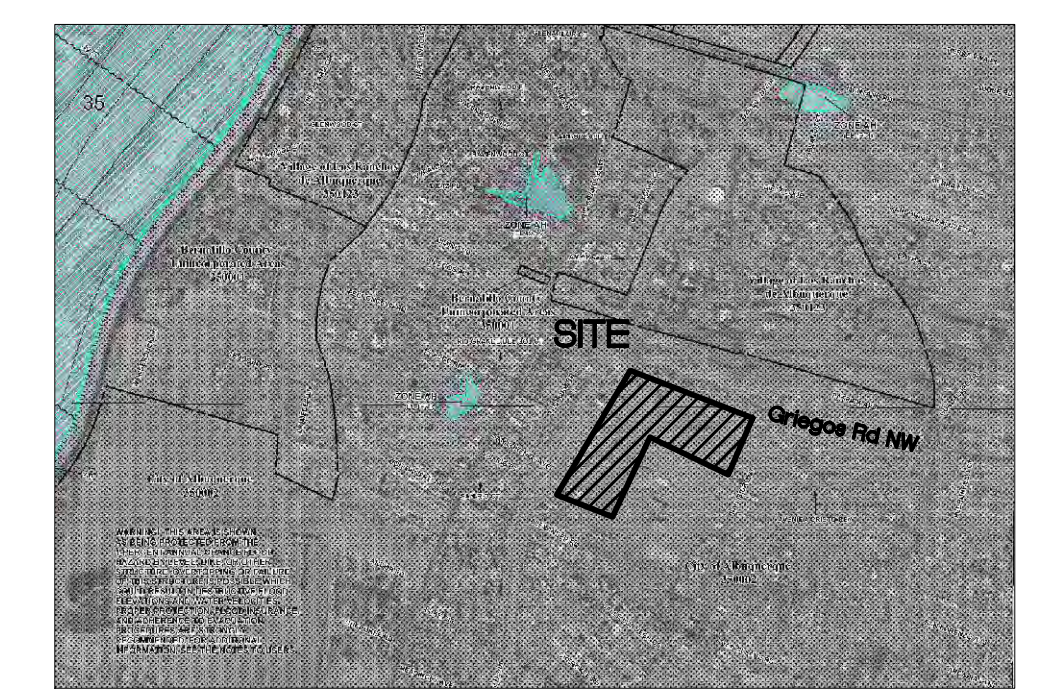
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	PROPOSED CONTOUR
	EXISTING STORM DRAIN
	FLOW LINE
	RIDGE LINE

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 04/21/23
 BY: *Roger C. Brissett*
 HydroTeam # F13D028A

NOTE: THIS DEVELOPMENT HAS NO DISCHARGE AND WILL PROVIDE PONDING FOR THE 100-YR, 10-DAY STORM PER THE DPM.



VICINITY MAP - Zone Map F-13-Z
 Legal Description: Tract 2, Our Lady of Guadalupe and Tract 144A1, Cordova's Subdivision City of Albuquerque, NM. 10.19 Acres.



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NO.	DATE	REMARKS	BY
		DESIGN	JW
		REVISIONS	OC

DESIGNED BY: JW DATE: February 2023
 DRAWN BY: OC DATE: February 2023
 CHECKED BY: JW DATE: February 2023

JEFFREY TODD WOOLLEN
 NEW MEXICO
 16892
 PROFESSIONAL ENGINEER
 3/15/2023

Wooten Engineering
 PO Box 15814
 Rio Rancho, N.M. 87174
 Phone: (505) 980-3560

WE

Griegos Farms
 Griegos Rd & Guadalupe Church St NW
 Albuquerque, NM 87107

Grading Plan - Church

C-204

Silt Fence

Notes:

1. Wire mesh is not required, but it is recommended as it will help prevent tearing due to increased wind speed or sediment/water load.
2. Pole spacing is not to exceed 10 feet between poles in straight-run sheet flow areas.
3. Pole spacing in a site's lower corners should be spaced approximately 6 feet apart or closer.
4. Silt fence is not created for use in high velocity situations, where flow is heavily concentrated. If concentrated flow does drain toward silt fence, then use additional BMPs to reduce the flow's velocity.
5. Silt fence fabric transition points should have posts interlocked with no gaps in the silt fence coverage.

Source: City of Albuquerque
Construction Site Manual 2018

Sediment Control Log (SCL) SC-2

Notes:

1. It is recommended that wattles be trenched into the ground to a depth of approximately 1/3 of the diameter of the log. If trenching to this depth is not feasible or desirable, then a lesser trenching depth may be acceptable with more robust staking. Sandbags may be used on impervious surfaces.
2. Wattles that are 8 lb/ft or more do not need to be trenched.
3. Remove sediment from the upstream side of wattle when sediment accumulation is 1/2 the height of the wattle.
4. For parallel flow past the wattle joints, make sure the upstream wattle is on the interior side of the downstream wattle.
5. Place wattle around stockpiles that are not being worked on or that are on impervious surfaces.

Source: Urban Storm Drainage
Criteria Manual Volume 3

Vehicle Tracking Control (VTC) SM-4

Notes:

1. A stabilized construction entrance/exist shall be located at all access points where vehicles access the construction site from paved right-of-ways.
2. Sediment tracked onto paved roads is to be removed throughout the day and at the end of the day by shoveling or sweeping. Sediment may not be washed down storm sewer drains.
3. Some Vehicle Tracking Controls may need a wheel wash station. When a wheel wash is available, make sure to direct wash water to a sediment trap prior to discharge from the site. Wash water may not contain soaps or chemicals, unless a separate permit is acquired.
4. A metal grate can be used in conjunction with an aggregate track-out pad. The grate should be regularly cleaned of sediment, and help prevent track-out.
5. Make sure the Vehicle Tracking Control is not bypassed by the construction traffic.

Source: Urban Storm Drainage
Criteria Manual Volume 3

Access onto Curbed Sites

Notes:

1. The preferred method to access a site is to cut the curb, so a ramp is not required. Placing curb cut in the same place as future entrance/exit can minimize work.
2. When cutting the curb, the cutting machine uses water, and the byproduct of the process is similar to concrete wash-out. Place byproduct in wash-out container.
3. Laying lumber parallel to curb is an alternative, but this method is not to be used on high speed (35 MPH and greater) roads due to it being a road hazard.
4. Adding cold-mix asphalt with a pipe in the gutter is acceptable, but do not extend asphalt past the gutter into the paved portion of the roadway.
5. Vehicle Tracking Controls are still needed if using a ramp over a curb.
6. Do not use dirt ramps to access sites with curbs, because the dirt can be easily washed into storm drains.
7. **WARNING!** Any injury or property damage to a motorist, cyclist, or pedestrian due to the installation of a ramp is the responsibility of the contractor/property owner.

Source: City of Albuquerque
Construction Site Manual 2018

Good Housekeeping

Notes:

1. Regularly collect and dispose of garbage and waste material into designated collection areas.
2. Cover and maintain dumpsters and waste receptacles. Add additional dumpster or increase frequency of waste collection if overflowing conditions occur. Consider secondary containment around waste collection areas to minimize the likelihood of contaminated discharges.
3. Routinely inspect containers and equipment to ensure that it is functioning properly without leaking.
4. Promptly clean up leaks, drips, and other spills. Train employees on proper clean up and spill response procedures.
5. Store containers, drums, and bags away from direct traffic routes to reduce container damage.
6. Store materials in accordance with directions in Material Safety Data Sheets (MSDSs).
7. Store containers on pallets or similar devices to prevent corrosion of containers that results from containers coming into contact with moisture on the ground.
8. Store toxic or hazardous liquids within curbed areas or secondary containments.
9. Frequent and proper training in good housekeeping techniques reduces the likelihood that chemicals or equipment will be mishandled.
10. Segregate and provide proper disposal options for hazardous material wastes.
11. Make sure the site has a Spill Protection Plan, Spill kit, and individuals trained on the location and workings of the plan and kit.
12. Create a designated on-site fueling and maintenance area that is clean and dry, has a spill kit, and ideally in a covered area.
13. Locate toilet facilities away from storm drain inlets and waterways to prevent accidental contamination of stormwater.
14. or outdoor painting and sanding; conduct these operations in designated areas that are paved or have a secondary containment in place. Clean up and dispose of excess paint, paint chips, protective coatings, grit waste, etc.
15. Provide tie-downs or stake downs for portable toilets.
16. For vehicle and equipment washing; ensure there is no discharge of soaps, solvents, or detergents in equipment and vehicle wash water.
17. Recycle materials whenever possible (e.g. paper, wood, concrete, oil).

Source: Urban Storm Drainage
Criteria Manual Volume 3

Inlet Protection Part 1

Notes:

1. The proper inlet protection shall be used and maintained to prevent sediment and wastes from entering a stormwater drainage system and shall minimize the risk of flooding.
2. The type of inlet protection utilized shall depend on the inlet type, slope, and volume of flow.
3. For inlets with a throat opening and a grate, the inlet shall be protected with a BMP that covers the throat and the grate.
4. For throat type of inlet protection, sediment shall not be higher than halfway up the BMP.
5. For mat type and one-piece style of BMP, more than 50% of the inlet protection must be clear of sediment and debris.
6. The inlet protection shall be able to let water drain through.
7. **WARNING!** Any injury or property damage to a motorist, cyclist, or pedestrian due to the installation of inlet protection is the responsibility of the contractor/property owner. Try using a mat-type inlet protection to reduce possible road hazards.
8. Make sure inlet protection is secured in place, and will not be moved by stormwater.

Source: City of Albuquerque
Construction Site Manual 2018

Inlet Protection Part 2

Notes:

9. In residential subdivisions where there are inlets internal to the construction site, the style should change as the site is developed. When the site is mostly dirt, use a BMP that protects throat and grate. When the site has built more and less dirt is exposed, then a less restrictive style can be used to catch sediment in the gutter.
10. Inlet protection constructed of silt fence surrounding the inlet may be used when the inlet is surrounded by stake-able dirt.
11. Inlet protection should be used for inlets/storm drains within the construction site/disturbed area, AND any inlets/storm drains outside the project area that may receive stormwater discharges from the construction site/disturbed area.
12. Open storm drains are considered an inlet and require protection. This also includes drains that are not actively being worked on.

Source: City of Albuquerque
Construction Site Manual 2018

Earth Berms/ Dikes/ Drainage Swales

Notes:

1. Earth dikes and drainage swales are typically used for controlling the flow path of runoff at a construction site, sometimes by diverting water away from sensitive areas, or by conveying water to treatment BMPs (sediment traps or basins).
2. Unlined berms/dikes or swales need to be compacted, and should only be used for intercepting sheet flow runoff (not intended for diversion of concentrated flows).
3. If there is recurring damage, consider installing rock check dams or lining with riprap.
4. If berms/dikes or swales are not permanent, then remove berms/dikes and fill channels when upstream area is stabilized. Immediately stabilize the disturbed area after the BMP removal.

Source: Urban Storm Drainage
Criteria Manual Volume 3

Arroyo and Channel Construction

Notes:

1. When working in or adjacent to an arroyo or concrete channel, loose soil shall not be stockpiled or left in the low-flow area of the arroyo or channel. A berm or a similar BMP is to be constructed to divert flow into a low-flow area.
2. When working in or adjacent to an arroyo or concrete channel, pollutants (chemicals, debris, waste, etc.) shall not be left in the low-flow area of the arroyo or channel.
3. If there are active storm drains in the work zone, an energy dissipator is to be constructed at the pipe outfall to slow the velocity of the stormwater to less than 3 ft/sec at the end of the dissipator. A plunge pool constructed of large aggregate is the most common energy dissipator.
4. If there is an arroyo or channel draining into the work zone, and energy dissipator is to be constructed upstream of the confluence to slow the velocity of the stormwater to less than 3 ft/sec at the end of the dissipator. There are equations provided by the United States Bureau of Reclamation (USBR) and the Federal Highway Administration (FHWA) for sizing the energy dissipator and the aggregate.
5. If working adjacent to an arroyo or concrete channel, install BMPs to protect against or filter stormwater entering the drainage.

Source: City of Albuquerque
Construction Site Manual 2018

Wash-outs

Notes:

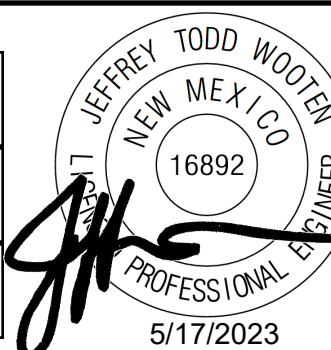
1. Designated wash-out areas shall be provided for any concrete, stucco, mortar, or paint operations. Wash-outs should be as far away as possible from waters of the U.S., stormwater inlets, or conveyances.
2. "Wash-out shall be directed to leak-proof containers or leak proof and lined pit designed so that no overflows can occur due to inadequate sizing or precipitation." -CGP 2022
3. If the concrete/stucco/mortar is firm when it contacts the soil, then it is not considered wash-out (not wet enough to infiltrate into the soil).
4. A centralized wash-out may be effective for concrete trucks. For stucco, mortar, and paint wash-outs, a local wash-out and wash-out education has been more successful in avoiding improper wash-outs.
5. Mortar towers shall have a plastic liner beneath them to prevent the wet mortar from contacting the soil. If wet stucco or mortar contacts the ground due to mixing, it would be a compliance issue.
6. If a wash-out occurs on bare soil, the Operator is expected to remove it same day. The wash-out material, as well as the wetted soil, are to be removed and disposed of appropriately.

Source: City of Albuquerque
Construction Site Manual 2018

BMP Information Sheet



Project Name: Griegos Farms
Property Owner: Griegos Farms, LLC.
Operator: Rembe Design



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Project Roles and Responsibilities

Site Owner: Rembe Design
Contact: Jay Rembe
505 243-0188
rembe@rembedesign.com

Site Operators: Guzman Construction Solutions
Contact: Eddie Gonzales, Project Manager
505 975-8149
eddie@guzmancs.com

Stormwater Team: 814 Solutions

Contact: Gaylen Barnett (SWPPP preparer/inspector)
505 382-4828
gaylen@814solutions.com

2nd Contact: Eric Maez (Inspector)
505 401-7843
eric@814solutions.com

3rd Contact: Hannah Miller (Inspector)
505 426-7715
Hannah@814solutions.com

4th Contact: Zak Burton (Inspector)
505 353-1611
zak@814solutions.com

BMP Installation: 814 Solutions
Contact: Sergio Lozoya
505 250-3734
sergio@814solutions.com

Daily sediment removal from public streets (when needed):
TBD a representative from Guzman or Rembe

Project Information:

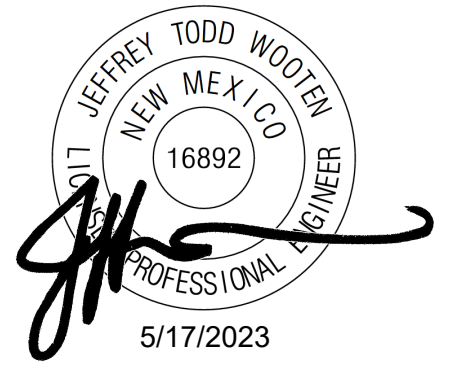
Expected area to be disturbed: Approximately 13 acres

Expected activities (including but not limited to):

- Clearing and grubbing
- Excavation
- Pond construction
- Grading
- Building
- Utility installation
- Landscaping

BMP information:

The project will have silt fence surrounding the perimeter of the project to mitigate dust and water runoff. Ponds will be the first item of construction and are designed to capture stormwater runoff. A stabilized construction entrance shall be utilized, cleaned, and maintained throughout the project. The project shall be monitored daily to ensure BMPs are functional. If sediment trackout is observed, street sweeping shall be implemented. No significant slopes/drop-offs exist.



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