

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 22, 2022

Ken Myers, RA
Rembe Design
1718 Central Ave. SW
Albuquerque, NM 87104

Re: Griegos Farms
1860 Griegos Rd. NW
Traffic Circulation Layout
Architect's Stamp 06-14-2022 (F13-D028A)

Dear Mr. Myers,

The TCL submittal received 07-01-2022 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: GRIEGOS FARMS **Building Permit #** **Hydrology File #**

DRB# SKETCH PLAT: PR-2021-006261 **EPC#**

Legal Description: **City Address OR Parcel** 1860 GRIEGOS NW, ABQ, NM, 87107

Applicant/Agent: REMBE DESIGN **Contact:** KEN MYERS

Address: 1716 CENTRAL AVE. SW **Phone:** 518-364-9914

Email: DESIGN@REMBEDSIGN.COM

Applicant/Owner: JAY REMBE **Contact:** JAY REMBE

Address: 1718 CENTRAL AVE. SW, ABQ, NM 87104 **Phone:** 505-243-0188

Email: REMBE@REMBEDSIGN.COM

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) ☐ RESIDENCE ☒ DRB SITE ☐ ADMIN SITE: ☐

RE-SUBMITTAL: ☒ YES ☐ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☒ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☒ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 06/30/2022

SITE INFORMATION

ADDRESS: PROPERTY NORTH AND WEST OF 1860 GRIEGOS, ALBUQUERQUE, NM 87107
ZONE: ATLAS MAP: F-13-Z
ZONING: R-A
DEVELOPMENT TYPE: COTTAGE COURT, IDO 4-3(B)(3)
PROJECT SIZE: 10 ACRE +/- PARCEL SUBDIVIDED AS 8 LOTS EACH BETWEEN 1 AND 2 ACRES.
SETBACKS:
FRONT: 20'-0"
REAR: 25'-0"
SIDE: 10'-0"

PROJECT DESCRIPTION

LANDSCAPE FORWARD COTTAGE COURT DEVELOPMENT W/ 90 UNITS RANGING IN SIZE FROM 655 SF. TO 1070 SF. DISTRIBUTED BETWEEN 8 LOTS (SEE UNIT COUNT NOTES THIS SHEET). PROJECT WILL INCLUDE A COMMUNITY BUILDING TO BE DETERMINED.

PARKING REQUIREMENTS

DWELLING, COTTAGE DEVELOPMENT- IDO TABLE 5-5-1:
1 SPACE PER UNIT + 2 VISITORS= 90 + 2 SPACES PER 8 LOTS= 106 SPACES
RESIDENTIAL COMMUNITY AMENITY, IDO TABLE 5-5-1:
3 SPACES/1,000 GFA= 15 SPACES REQUIRED (BASED ON CURRENT COMMUNITY BLD. DESIGN-5,000 SF)
TOTAL OFF STREET PARKING:
REQUIRED: 121 SPACES
PROVIDED: 139 SPACES
HC PARKING, IBC TABLE 1106.1:
101-150 PROVIDED SPACES= 5 SPACES REQUIRED (INCLUDED IN OVERALL REQUIRED CALCULATIONS)
PROVIDED:
MOTORCYCLE PARKING, IDO TABLE 5-5-4:
101-150 REQUIRED SPACES= 4 MOTORCYCLES SPACES
PROVIDED- 4 SPACES
BICYCLE PARKING, IDO TABLE 5-5-5:
RESIDENTIAL USE (MORE THAN 5 UNITS)= 3 SPACES OR 10% REQUIRED OFF-STREET PARKING
121 REQUIRED OFF STREET PARKING= 13 BIKE SPACES REQUIRED
PROVIDED 33 SPACES

KEYED NOTES-SITE PLAN

1. FIRE ACCESS ALTERNATIVE HAMMERHEAD
2. LOCKABLE TRASH CONTAINERS
3. CONCRETE PEDESTRIAN WALKWAY 6'-0" UNLESS OTHERWISE NOTED
4. FLUSH PAVEMENT TRANSITION
5. SITE WALL- MAXIMUM HEIGHT ABOVE FINISH ROAD 3'-0"
6. +/- 6'-0" TALL OPAQUE WALL/ FENCE
- 6.1 EXISTING 6'-0" ADOBE WALL TO REMAIN
7. ASPHALT ROAD WAY PER COA STD. DTL.#2405A W/ ESTATE STYLE CURB COA STD. DTL.#2406 WHERE APPLICABLE
8. WATER FEATURE
9. PARKING LOT- COMPACTED AND STABILIZED GRAVEL- SEE DETAIL D2/TCL2 FOR DETAILS- NOTE ALL PARKING SPACES TO INCLUDE PARKING BLOCKS
10. PARKING LOT DRIVEWAYS- COMPACTED AND STABILIZED GRAVEL DRIVE
11. LANDSCAPED COURTYARD- FINAL LANDSCAPING TBD
12. APPROXIMATE LOCATION OF AMENITIES BUILDING- TBD
13. VINEYARD AND LAWN AREA- FINAL LAYOUT TBD
14. EXISTING PRIVATE ROADWAY AT ACCESS EASEMENT
15. MOTORCYCLE SPACE PER DPM STANDARDS- SEE D1/TCL2
16. BIKE PARKING PER DPM STANDARDS- SEE D4/TCL2
17. STORAGE BUILDING
18. ESTATE CURB COA STANDARD DRAWING #2406
19. HC PARKING SPACE PER DPM STANDARDS SEE D1/TCL2
20. 6'-0" SIDEWALK PER DPM STANDARDS
21. RAISED PEDESTRIAN CROSSING/ SPEED TABLE- SEE DETAIL A1/TCL2
22. EXISTING CHURCH CAMPUS AND PARKING TO REMAIN- NOT IN SCOPE OF WORK
23. EXISTING BIKE LANE TO REMAIN
24. NOT USED
25. NOT USED
26. NEW CONCRETE CURB EXTENSION
27. EXISTING WALL- NOT IN SCOPE
28. DETECTABLE WARNING SURFACE- TRUNCATED DOME OR OTHER APPROVED SURFACE- INSTALL PER COA STANDARD DRAWING #2446
29. PICKLE BALL COURT- TBD
30. 26'-0" OPERABLE GATE- FOR FIRE ACCESS ONLY
31. NOT USED
32. EXISTING SIDEWALK TO REMAIN
33. MINI SITE TRIANGLE PER DPM 7-4(i)(5)(V)
34. PEDESTRIAN CROSSING SIGN- SEE DETAIL D3/TCL2
35. CURB STOP PER DETAIL C4/TCL2
36. KEYWAY- MIN. 5'-0" DEPTH

RADIUS LEGEND

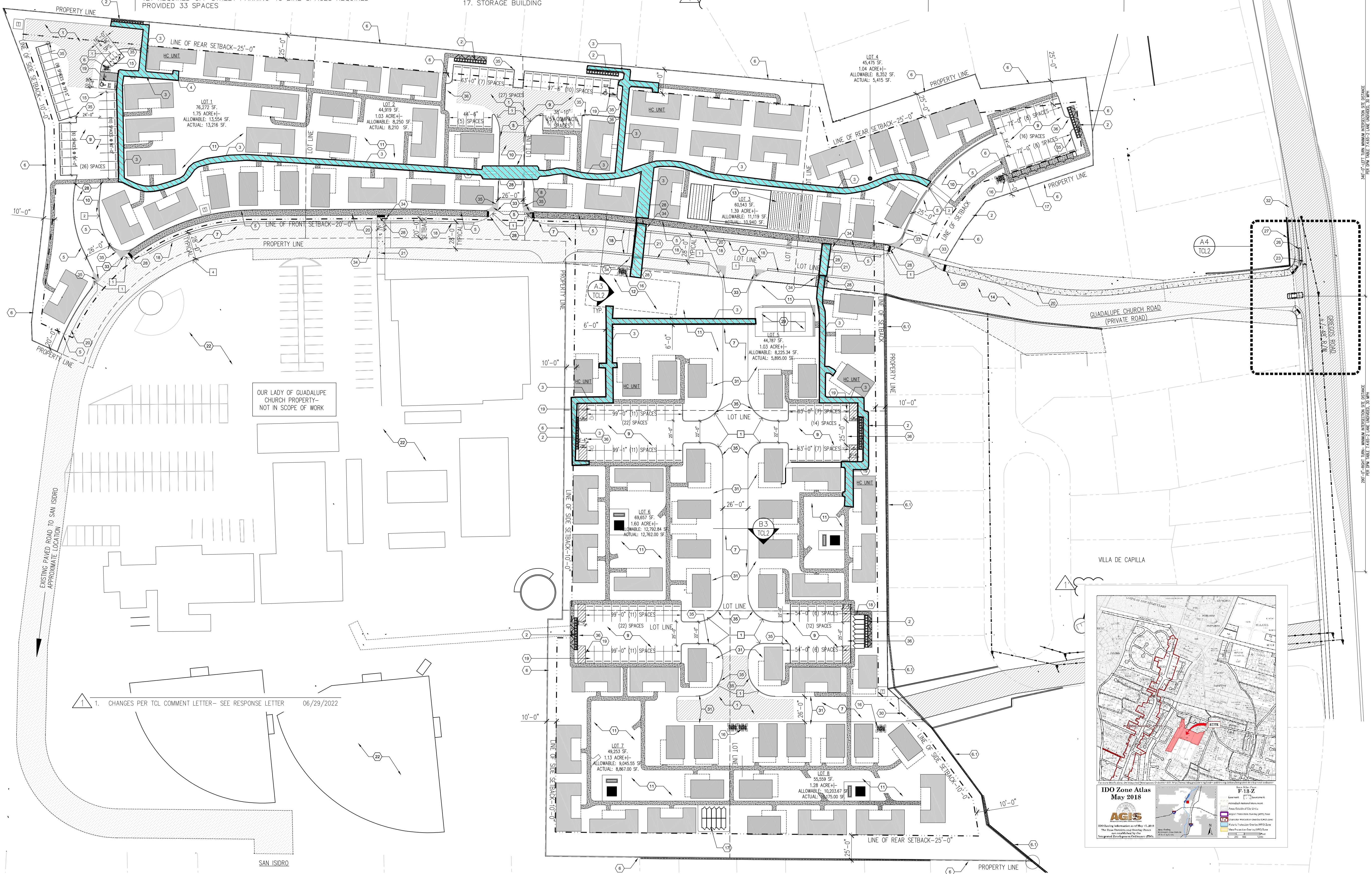
- [Symbol] = 28'-0" RADIUS
- [Symbol] = 178'-0" RADIUS
- [Symbol] = 182'-0" RADIUS
- [Symbol] = 176'-0" RADIUS

LEGEND

- EXISTING EASEMENTS TO REMAIN
- CONCRETE WALKWAYS- SEE KEYED NOTES AND PLAN
- GRAVEL FINISH- SEE KEYED NOTES
- INTERSECTION SITE TRIANGLE
- ADA ACCESSIBLE PATHWAY (6'-0" WIDE)

TCL GENERAL NOTES

1. PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 8% PER COA DPM
2. ALL NEW PUBLIC SIDEWALK PER COA STANDARD DRAWING 2430
3. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER- SEE NOTE 2
4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
5. NOTE NO ACCESSIBLE PATHWAY IS TO EXCEED 1:20 SLOPE
6. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
7. ALL RAMP, CURBS, AND ROAD WORK ALONG GUADALUPE CHURCH ROAD AND AT GRIEGOS GUADALUPE CHURCH ROAD TO BE DONE THROUGH A WORK ORDER WITH THE CITY OF ALBUQUERQUE



TRAFFIC CIRCULATION LAYOUT APPROVED

Ernest Armijo 7/22/2022

Signed Date

A1 SITE PLAN

A4 VICINITY MAP-ZONE ATLAS MAP

1860 GRIEGOS RD. NW
ALBUQUERQUE, NM 87107

GRIEGOS FARMS

Architect Stamp:
STATE OF NEW MEXICO
KENNETH MYERS
No. 005751
REGISTERED ARCHITECT
06/14/2022

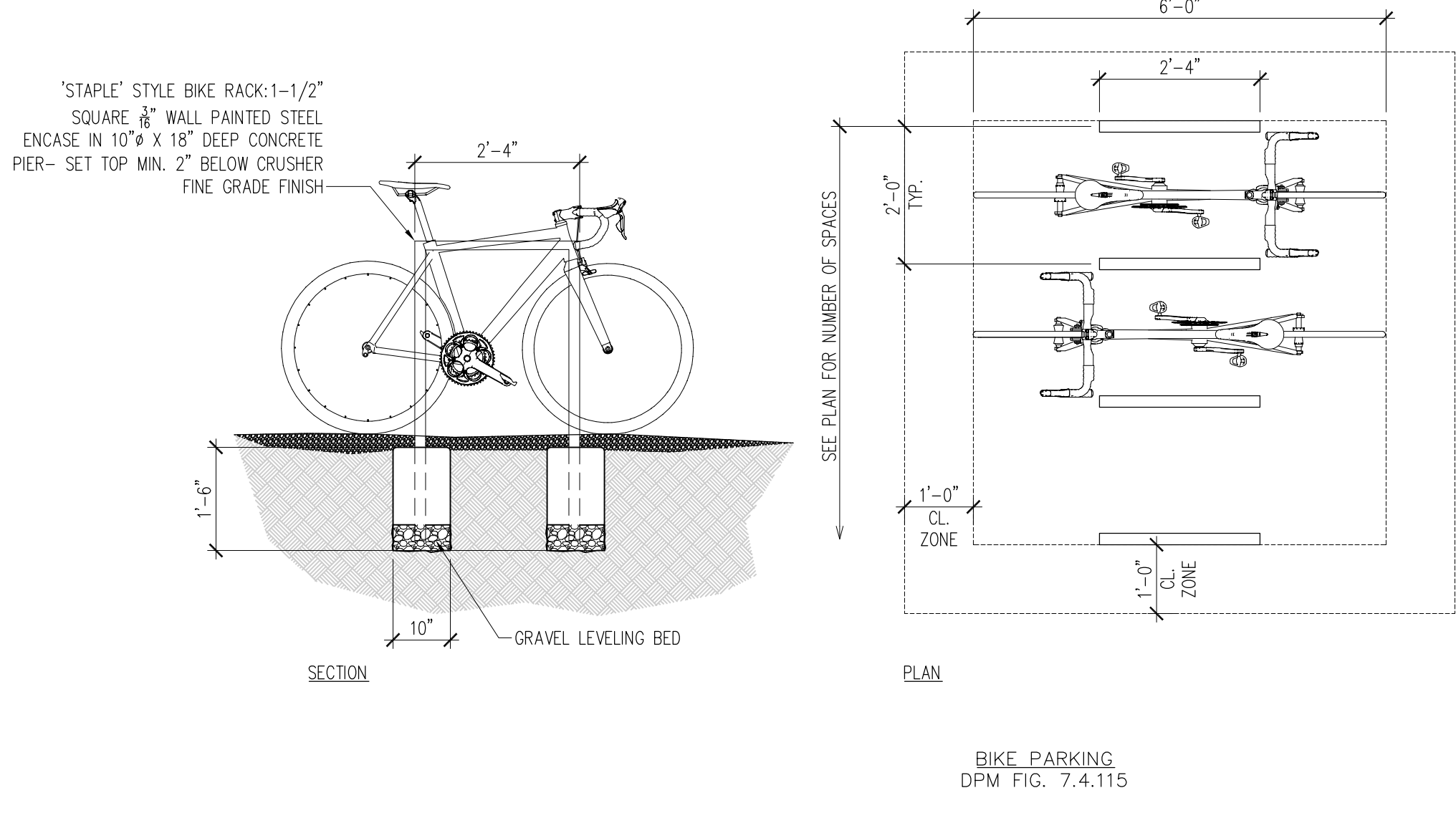
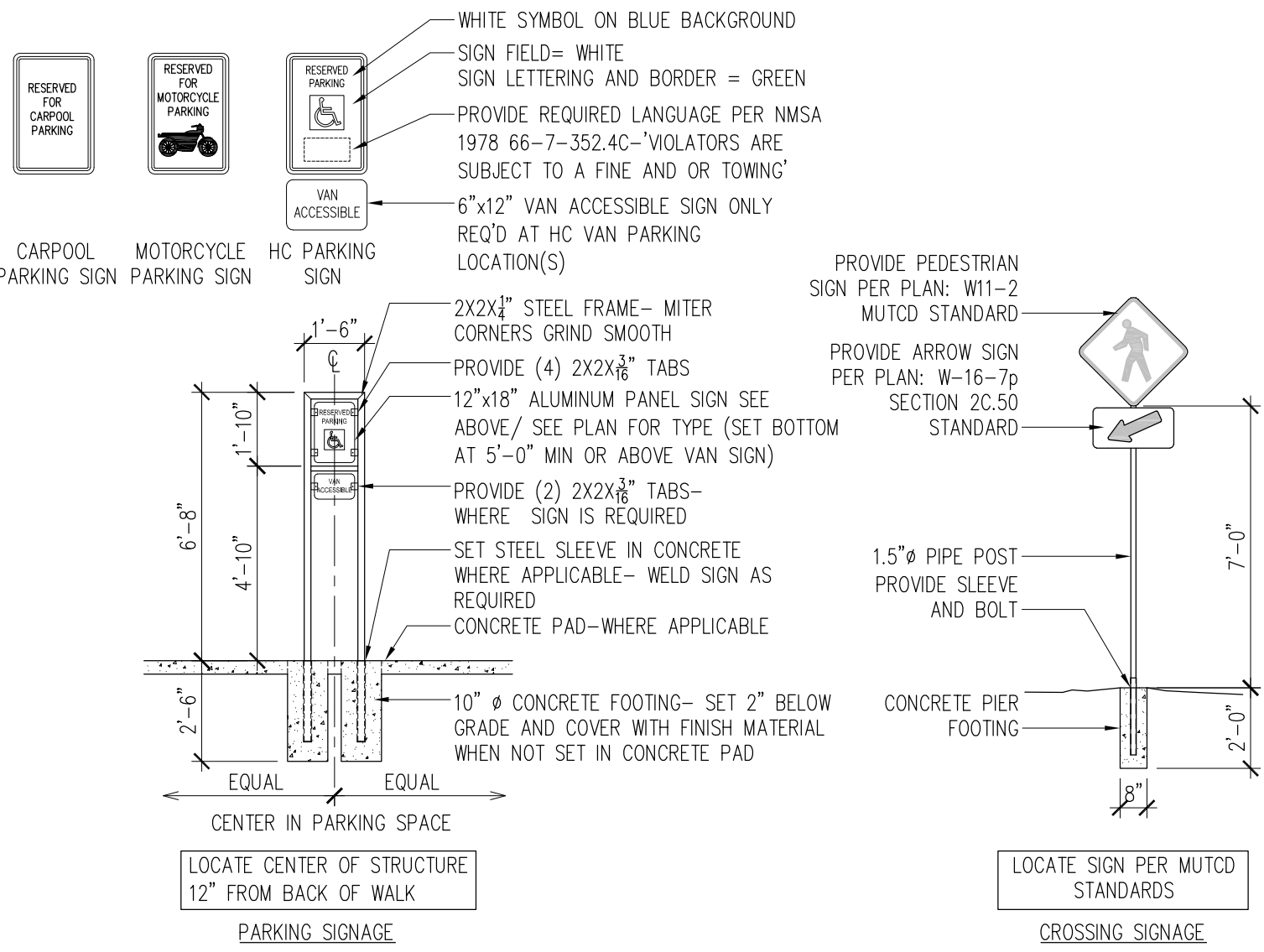
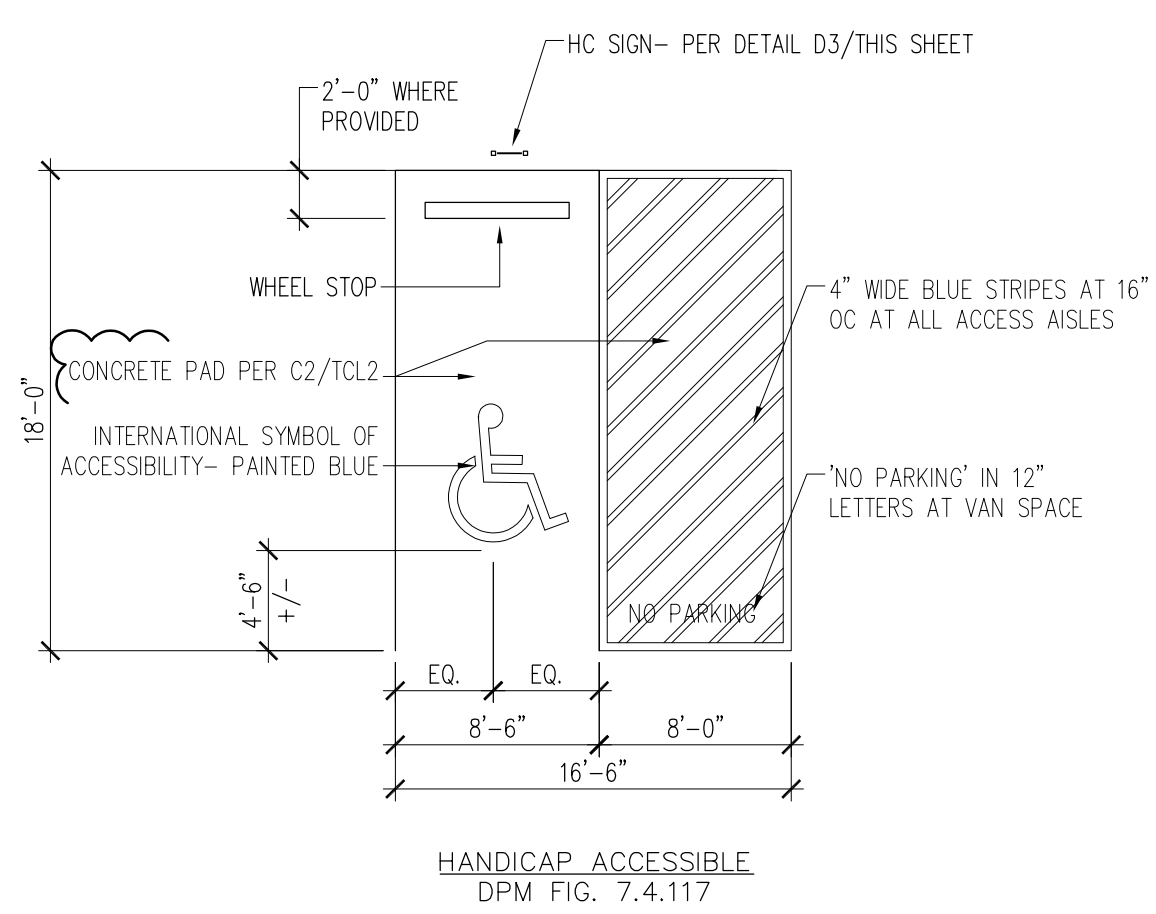
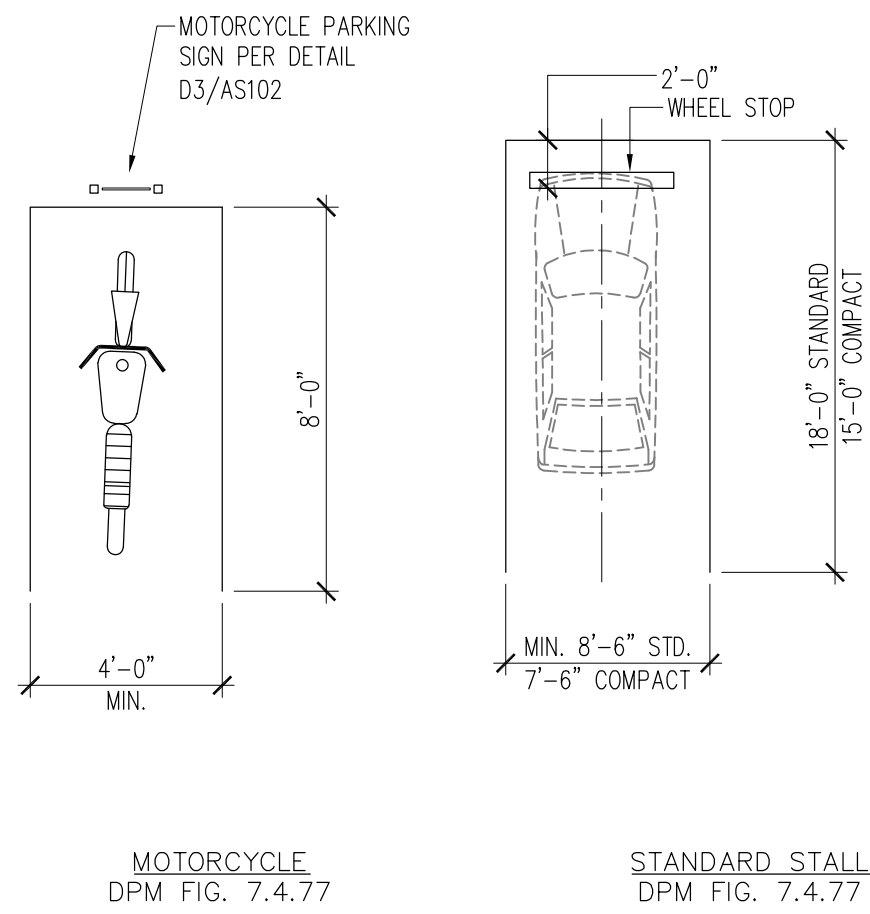
REMBE
urban design + development
1716 Central SW, Suite A
Albuquerque NM 87104
t. 505-243-0188

Project: GRIEGOS FARMS
Drawn By: KMA Checked By: KMA
Phase: SD
Date: --
Drawing Title: TCL- TRAFFIC CONTROL LAYOUT SITE PLAN

Project Number: 2102

Sheet Number: 2102

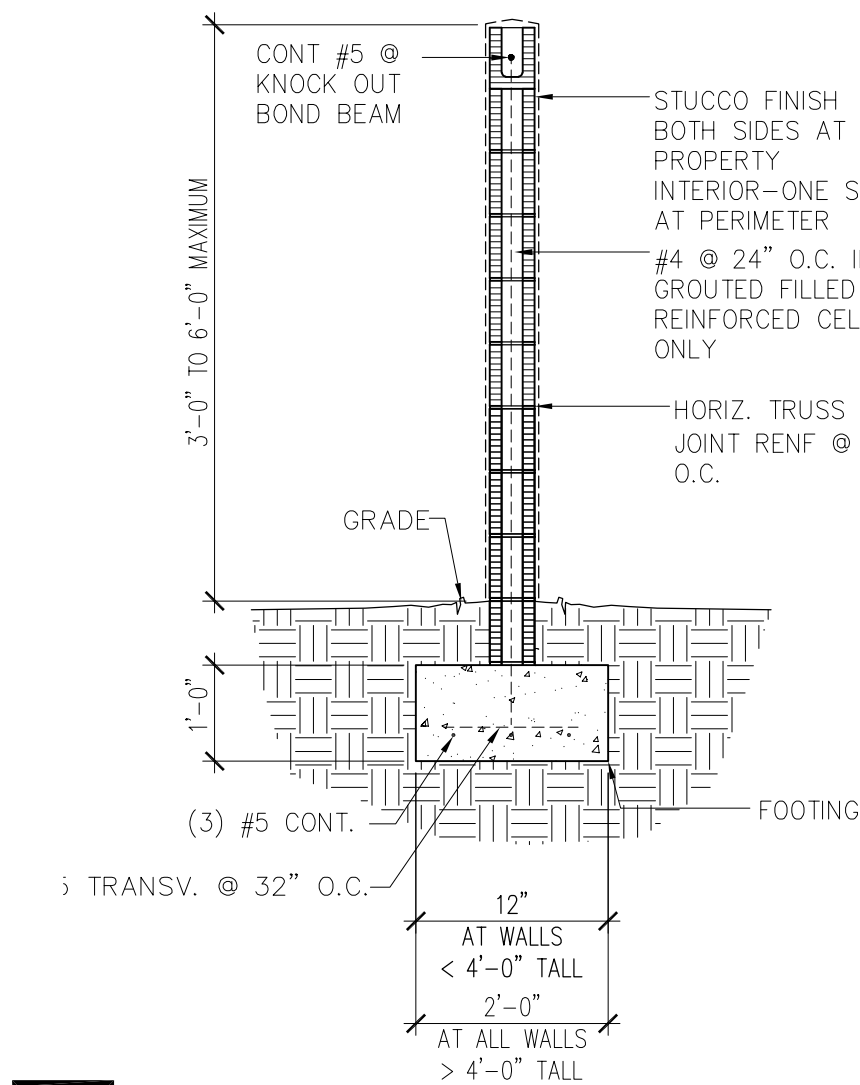
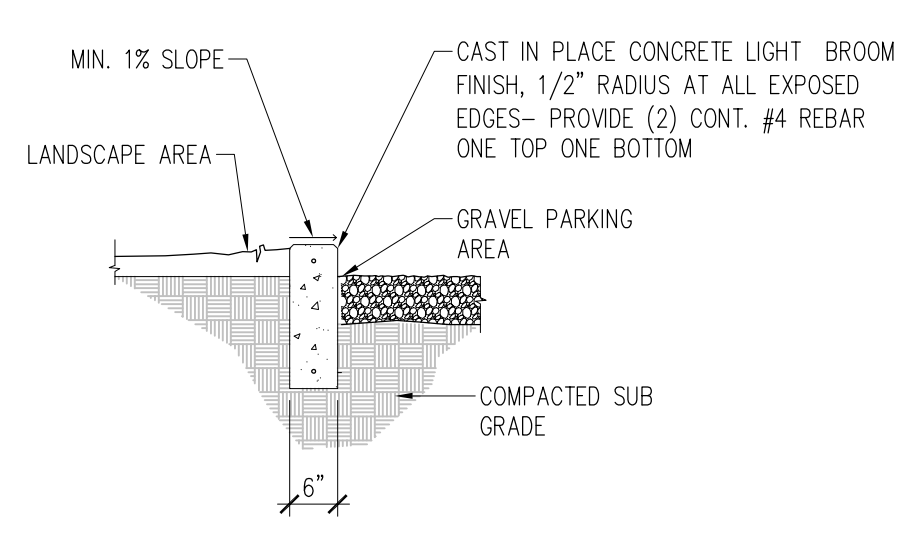
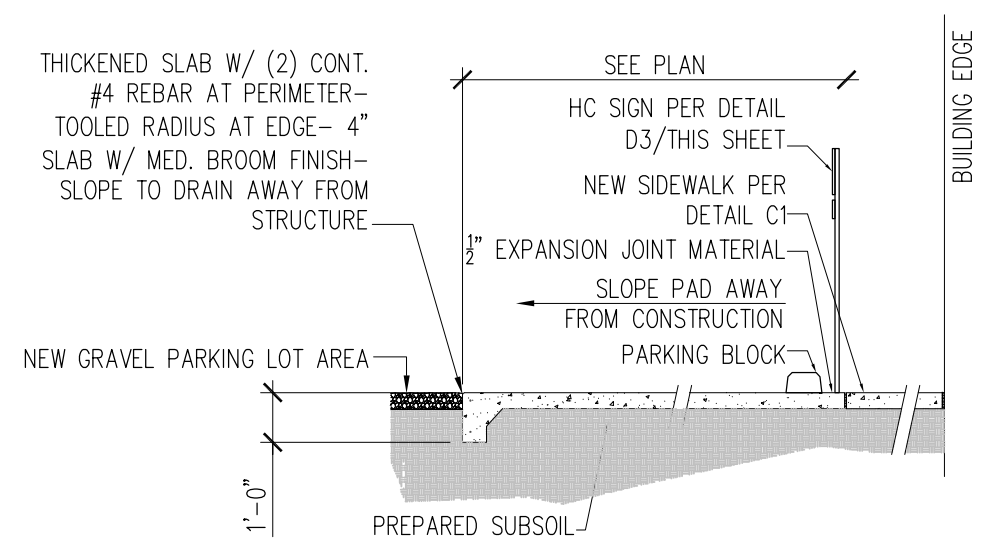
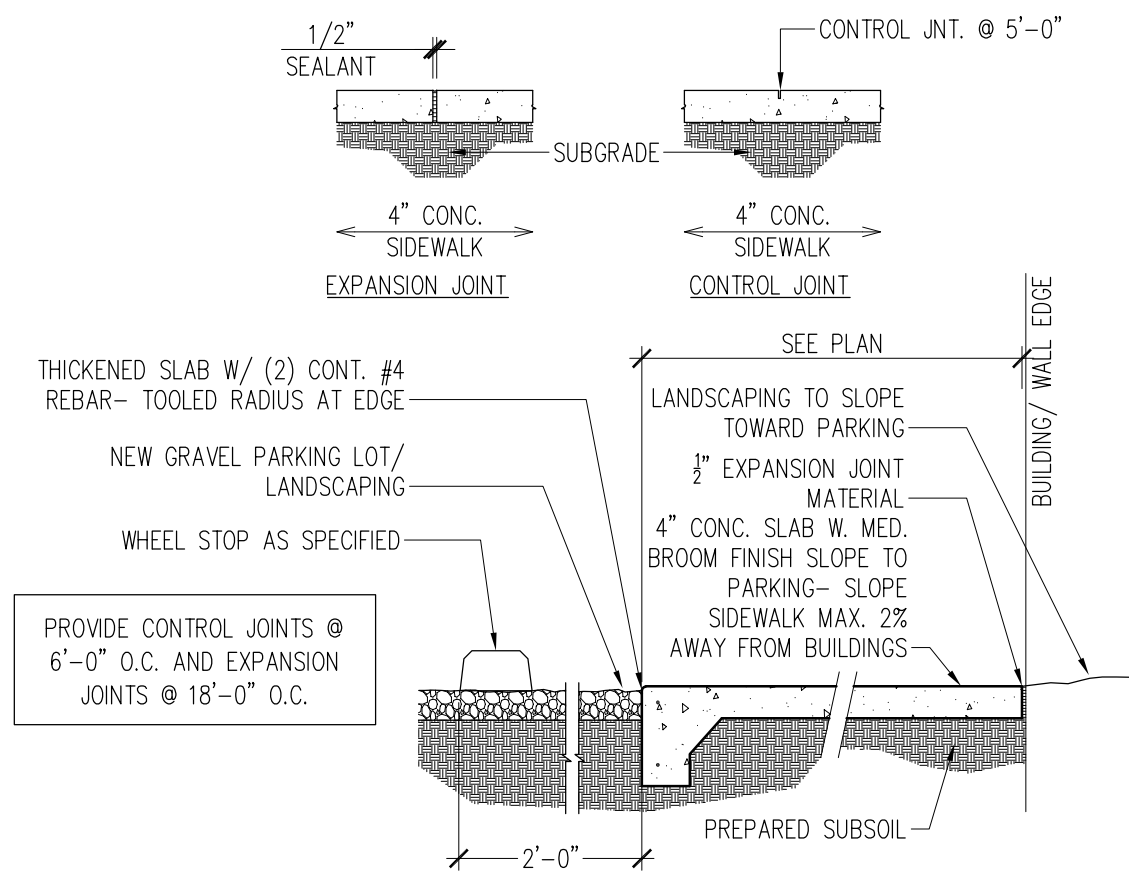
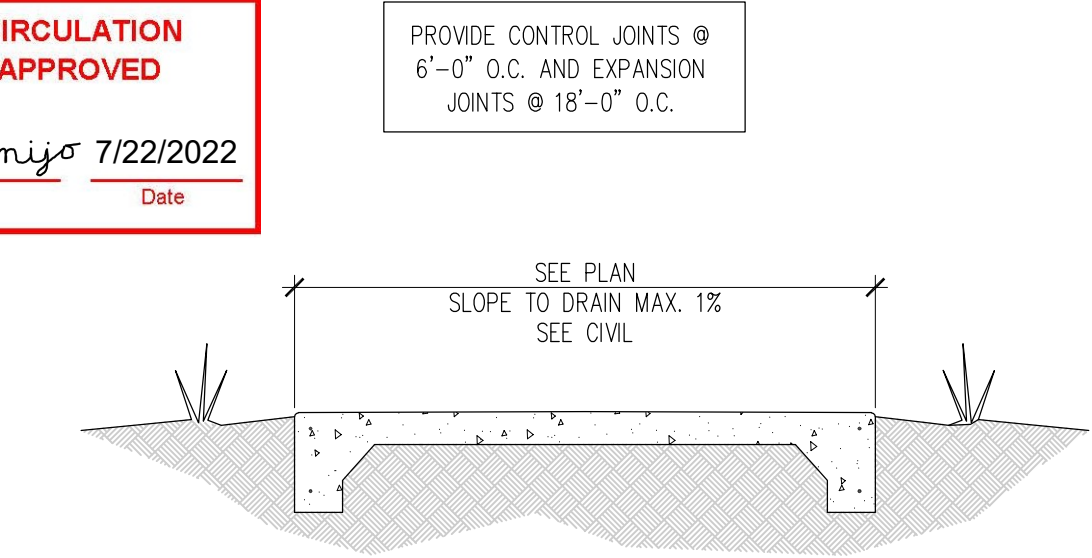
TCL1



D1 PARKING STALL DIMENSIONS AND DETAILS

D3 POST SIGN DETAIL

D4 BIKE RACK DETAIL



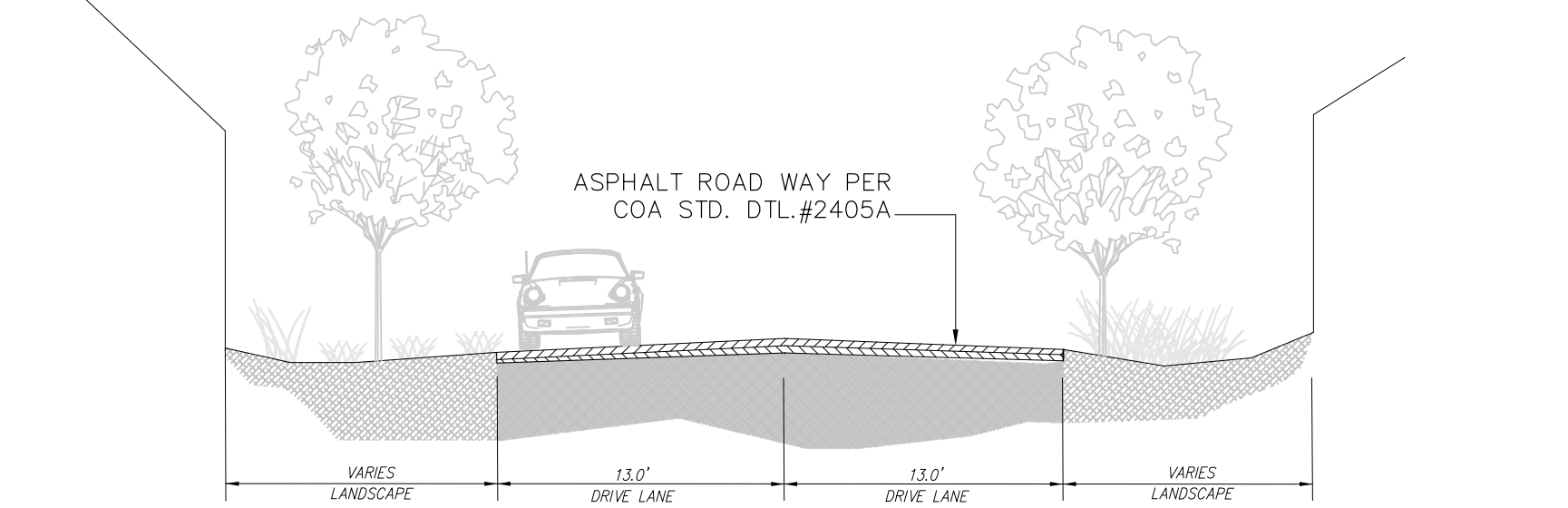
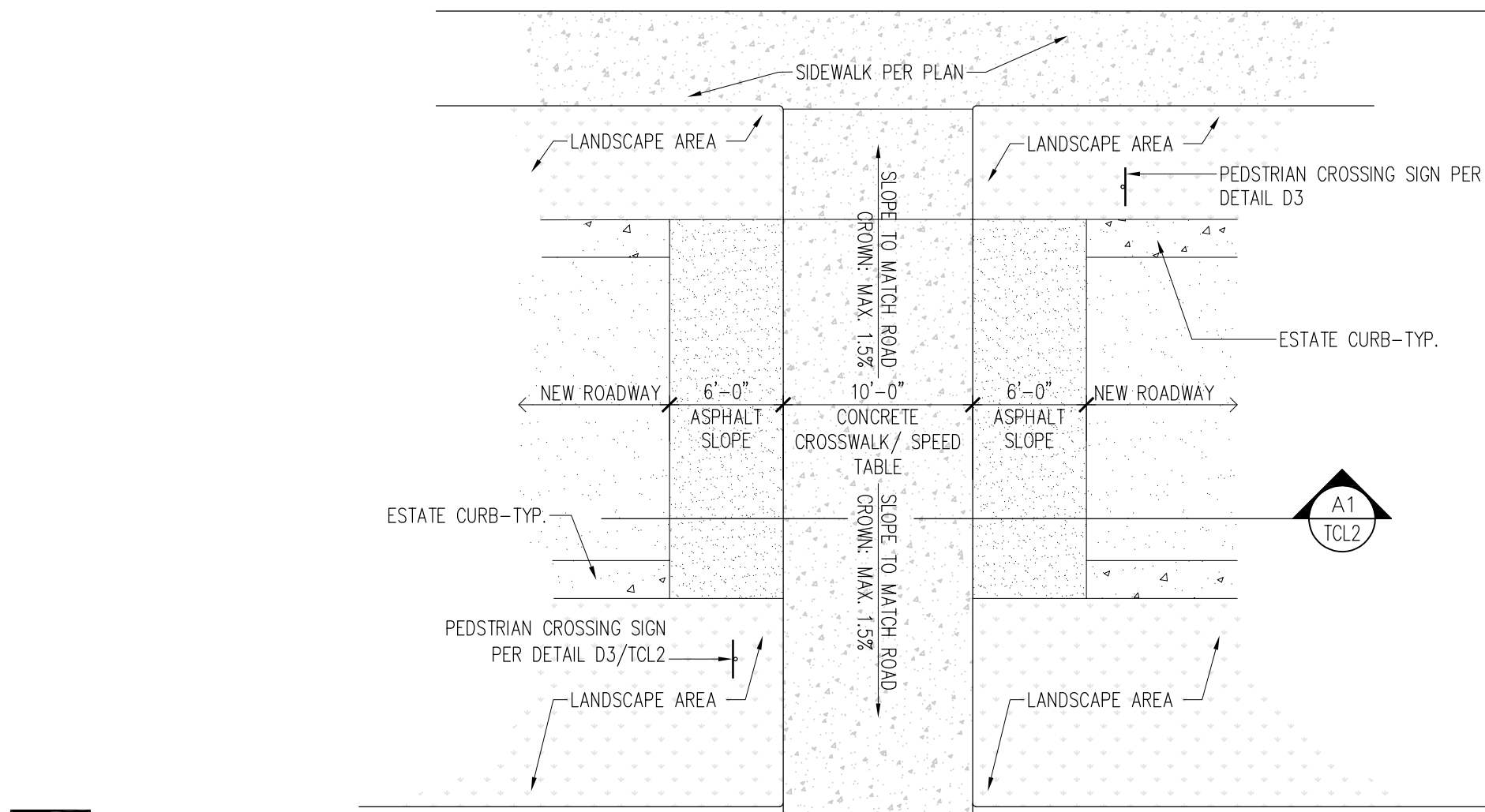
C1 PEDESTRIAN WALKWAY SECTION

C2 SIDEWALK SECTION

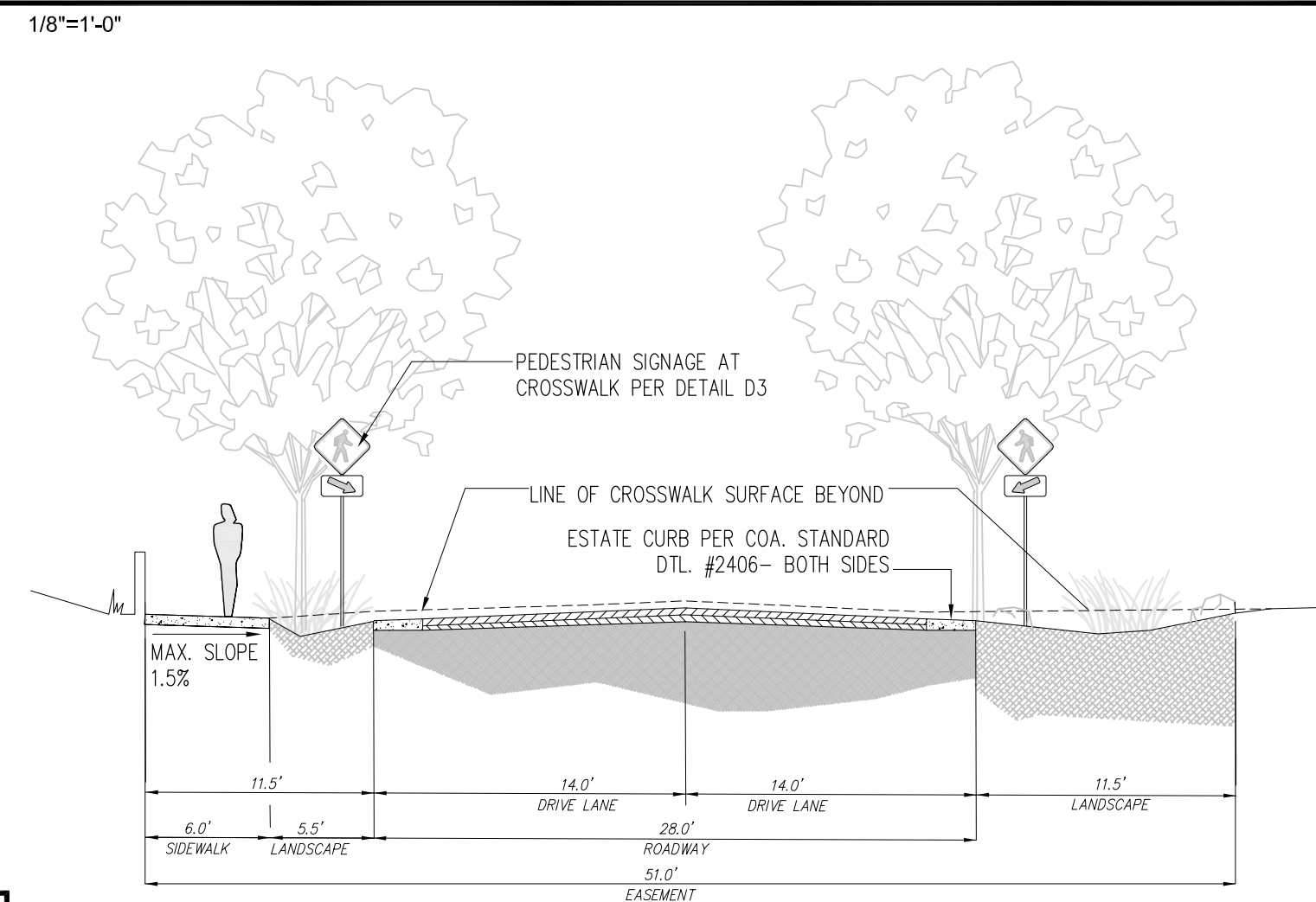
C3 HC PARKING SPACE SECTION

C4 MOW CURB/ CURB STOP DETAIL

C5 SITE WALL DETAIL

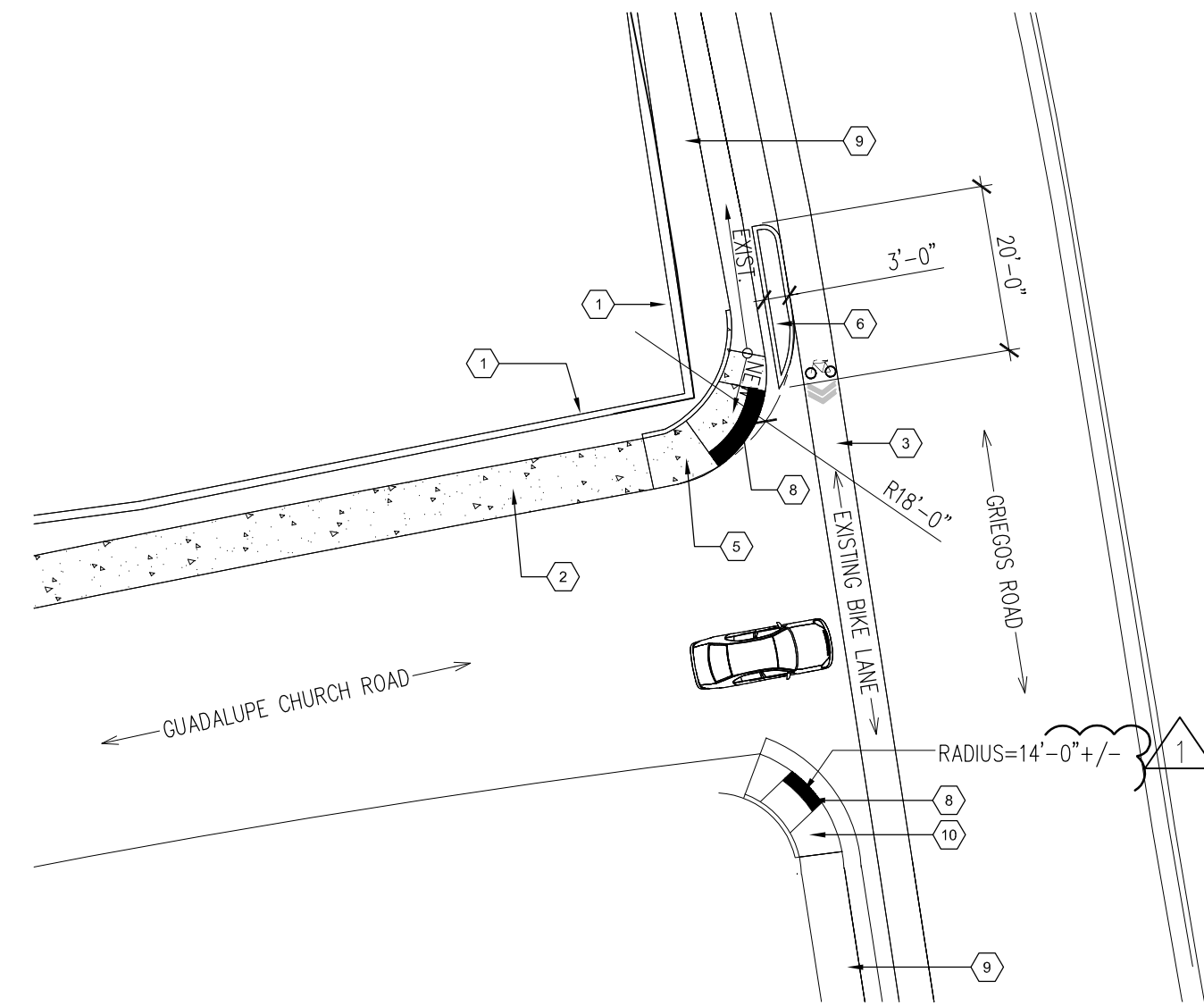


B2 ACCESS ROAD SECTION



KEYED NOTES

1. EXISTING ADOBE WALL +/-42" ABOVE SIDEWALK ASPHALT ROAD WAY
2. NEW 6'-0" WIDE SIDEWALK PER DPM STANDARDS
3. EXISTING BIKE LANE TO REMAIN
4. NOT USED
5. NEW RAMP COA STANDARD DRAWING #2443
6. NEW CONCRETE CURB EXTENSION- PROVIDE MIN. 18" WIDE DRAINAGE WAY AT CURB
7. EXISTING WALL- NOT IN SCOPE
8. DETECTABLE WARNING SURFACE- TRUNCATED DOME OR OTHER APPROVED SURFACE- INSTALL PER COA
9. EXISTING SIDEWALK TO REMAIN
10. EXISTING CORNER ACCESS RAMP SIM. COA STD. DTL.#2441

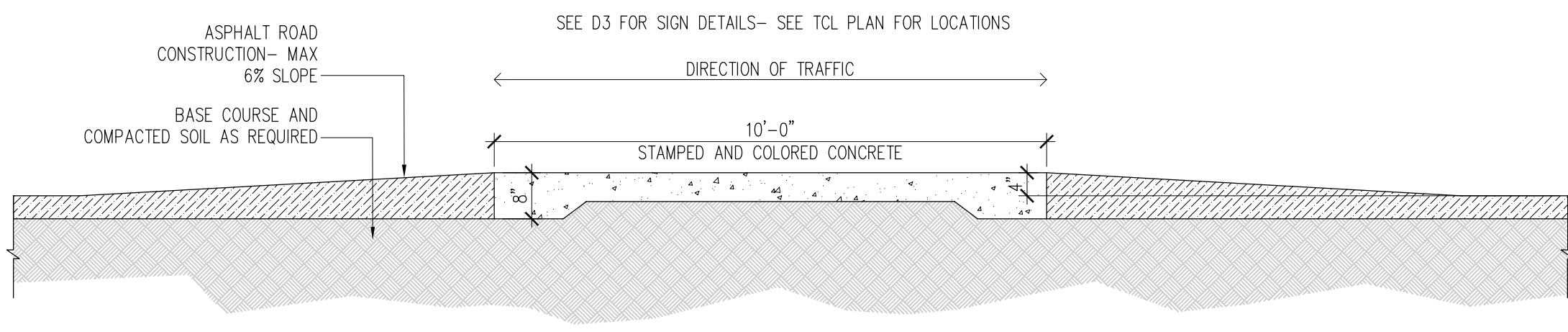


B1 TYPICAL CROSS WALK/ SPEED TABLE PLAN

B2 ACCESS ROAD SECTION

A3 GUADALUPE CHURCH ROAD SECTION-TYPICAL

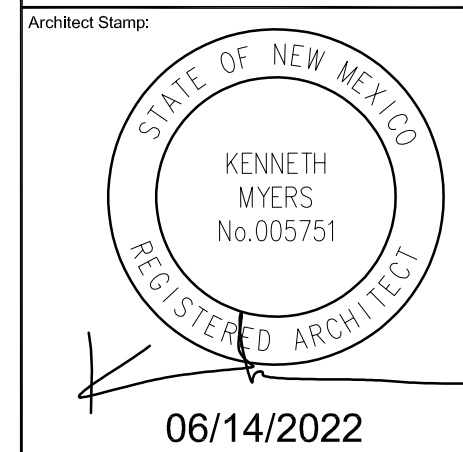
A4 GUADALUPE CHURCH ROAD/ GRIEGOS INTERSECTION DETAIL



A1 CROSS WALK/ SPEED TABLE DETAIL

1860 GRIEGOS RD. NW
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GRIEGOS FARMS



06/14/2022

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1716 Central SW Suite A
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t. 505-243-0188

Project: GRIEGOS FARMS

Drawn By: KMA Checked By: KMA

Phase: SD Date: ---

Drawing Title:

TCL-
TRAFFIC CONTROL
LAYOUT -
SITE DETAILS

Project Number: 2102

Sheet Number:

TCL2