

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 6, 2025

Jeffrey Wooten
Wooten Engineering
1005 21ST ST SE, SUITE 13
RIO RANCHO, NM 87124

jeffwooten.pe@gmail.com

Re: PH 4 Griegos Farms, 4601 Guadalupe Church NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 7-22-2022 (F13D028A) TRANS-2025-00146
Certification dated 6-6-2025

Dear Mr. Wooten,

Based upon the information provided in your submittal received 6-4-25, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505) 924-3909 or at skanbar@cabq.gov

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

\EA via: email
C: CO Clerk, File

SITE INFORMATION

ADDRESS: PROPERTY NORTH AND WEST OF 1860 GRIEGOS, ALBUQUERQUE, NM 87107
ZONE: ATLAS MAP: F-13-Z
ZONING: R-A
DEVELOPMENT TYPE: COTTAGE COURT, IDO 4-3(B)(3)
PROJECT SIZE: 10 ACRE +/- PARCEL SUBDIVIDED AS 8 LOTS EACH BETWEEN 1 AND 2 ACRES.
SETBACKS:
FRONT: 20'-0"
REAR: 25'-0"
SIDE: 10'-0"

PROJECT DESCRIPTION

LANDSCAPE FORWARD COTTAGE COURT DEVELOPMENT W/ 90 UNITS RANGING IN SIZE FROM 655 SF. TO 1070 SF. DISTRIBUTED BETWEEN 8 LOTS (SEE UNIT COUNT NOTES THIS SHEET). PROJECT WILL INCLUDE A COMMUNITY BUILDING TO BE DETERMINED.

PARKING REQUIREMENTS

DWELLING, COTTAGE DEVELOPMENT- IDO TABLE 5-5-1:
1 SPACE PER UNIT + 2 VISITORS= 90 + 2 SPACES PER 8 LOTS= 106 SPACES
RESIDENTIAL COMMUNITY AMENITY, IDO TABLE 5-5-1:
3 SPACES/1,000 GFA= 15 SPACES REQUIRED (BASED ON CURRENT COMMUNITY BLD. DESIGN-5,000 SF)
TOTAL OFF STREET PARKING:
REQUIRED: 121 SPACES
PROVIDED: 139 SPACES
HC PARKING, IBC TABLE 1106.1:
101-150 PROVIDED SPACES= 5 SPACES REQUIRED (INCLUDED IN OVERALL REQUIRED CALCULATIONS)
PROVIDED:
MOTORCYCLE PARKING, IDO TABLE 5-5-4:
101-150 REQUIRED SPACES= 4 MOTORCYCLES SPACES PROVIDED-4 SPACES
BICYCLE PARKING, IDO TABLE 5-5-5:
RESIDENTIAL USE (MORE THAN 5 UNITS)= 3 SPACES OR 10% REQUIRED OFF-STREET PARKING
121 REQUIRED OFF STREET PARKING=13 BIKE SPACES REQUIRED PROVIDED 33 SPACES

KEYED NOTES-SITE PLAN

1. FIRE ACCESS ALTERNATIVE HAMMERHEAD
2. LOCKABLE TRASH CONTAINERS
3. CONCRETE PEDESTRIAN WALKWAY UNLESS OTHERWISE NOTED
4. FLUSH PAVEMENT TRANSITION
5. SITE WALL- MAXIMUM HEIGHT ABOVE FINISH ROAD 3'-0"
6. +/- 6'-0" TALL OPAQUE WALL/ FENCE
- 6.1 EXISTING 6'-0" ADOBE WALL TO REMAIN
7. ASPHALT ROAD WAY PER COA STD. DTL.#2405A W/ ESTATE STYLE CURB COA STD. DTL.#2406 WHERE APPLICABLE
8. WATER FEATURE
9. PARKING LOT- COMPACTED AND STABILIZED GRAVEL- SEE DETAIL D2/TCL2 FOR DETAILS- NOTE ALL PARKING SPACES TO INCLUDE PARKING BLOCKS
10. PARKING LOT DRIVEWAYS- COMPACTED AND STABILIZED GRAVEL DRIVE
11. LANDSCAPED COURTYARD- FINAL LANDSCAPING TBD
12. APPROXIMATE LOCATION OF AMENITIES BUILDING- TBD
13. VINEYARD AND LAWN AREA- FINAL LAYOUT TBD
14. EXISTING PRIVATE ROADWAY AT ACCESS EASEMENT
15. MOTORCYCLE SPACE PER DPM STANDARDS- SEE D1/TCL2
16. BIKE PARKING PER DPM STANDARDS- SEE D4/TCL2
17. STORAGE BUILDING
18. ESTATE CURB COA STANDARD DRAWING #2406
19. HC PARKING SPACE PER DPM STANDARDS SEE D1/TCL2
20. 6'-0" SIDEWALK STANDARD DWG. 2430- CONSTRUCT PER DPM REQ'D
21. RAISED PEDESTRIAN CROSSING/ SPEED TABLE- SEE DETAIL A1/TCL2
22. EXISTING CHURCH CAMPUS AND PARKING TO REMAIN- NOT IN SCOPE OF WORK
23. EXISTING BIKE LANE TO REMAIN
24. NOT USED
25. NOT USED
26. NEW CONCRETE CURB EXTENSION
27. EXISTING WALL- NOT IN SCOPE
28. DETECTABLE WARNING SURFACE- TRUNCATED DOME OR OTHER APPROVED SURFACE- INSTALL PER COA STANDARD DRAWING #2446
29. PICKLE BALL COURT- TBD
30. 26'-0" OPERABLE GATE- FOR FIRE ACCESS ONLY
31. NOT USED
32. EXISTING SIDEWALK TO REMAIN
33. MINI SITE TRIANGLE PER DPM 7-4(i)(5)(V)
34. PEDESTRIAN CROSSING SIGN- SEE DETAIL D3/TCL2
35. CURB STOP PER DETAIL C4/TCL2
36. KEYWAY- MIN. 5'-0" DEPTH

RADIUS LEGEND

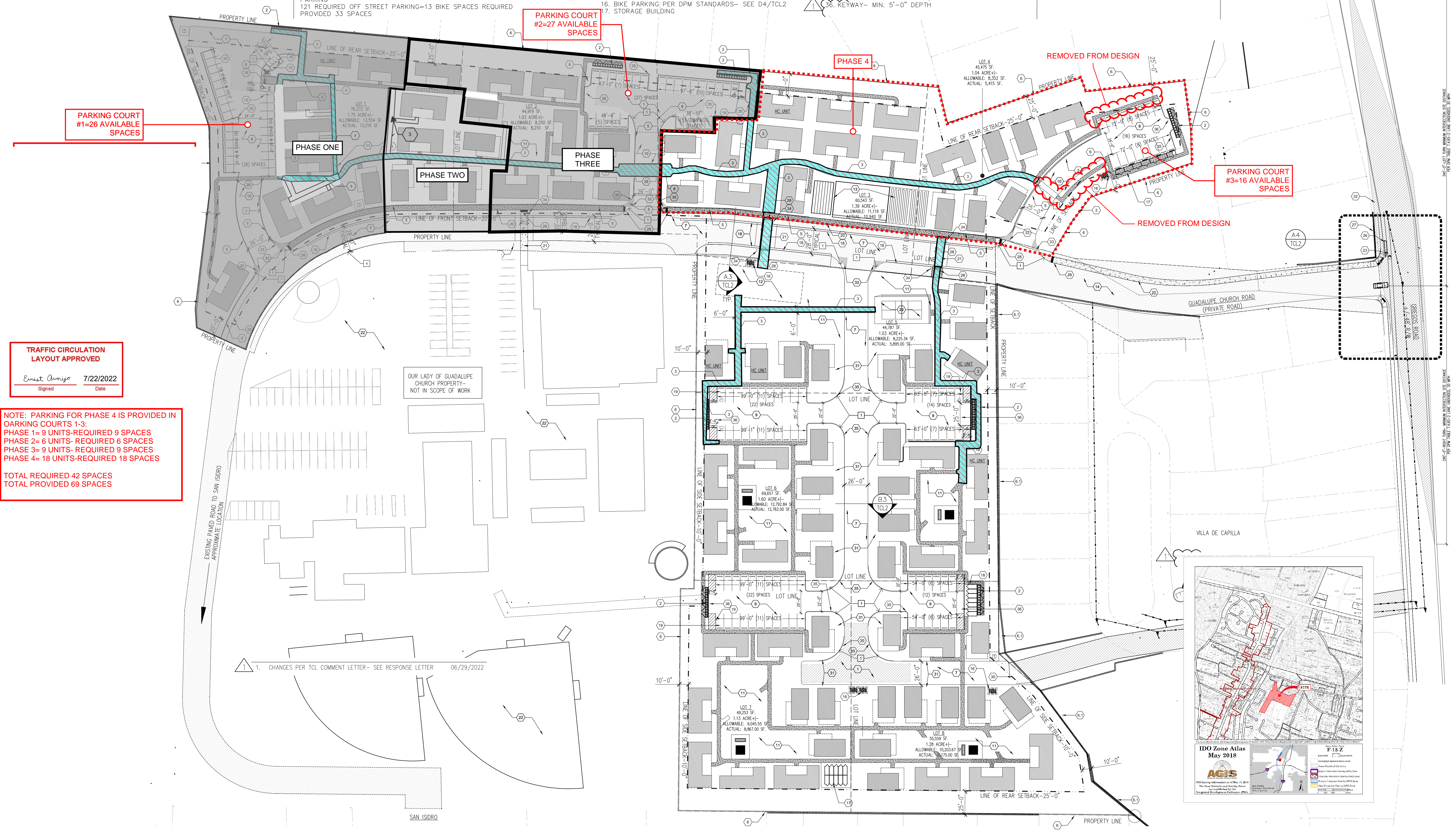
- [Symbol] = 28'-0" RADIUS
- [Symbol] = 178'-0" RADIUS
- [Symbol] = 182'-0" RADIUS
- [Symbol] = 176'-0" RADIUS

LEGEND

- EXISTING EASEMENTS TO REMAIN
- CONCRETE WALKWAYS- SEE KEYED NOTES AND PLAN
- GRAVEL FINISH- SEE KEYED NOTES
- INTERSECTION SITE TRIANGLE
- ADA ACCESSIBLE PATHWAY (6'-0" WIDE)

TCL GENERAL NOTES

1. PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 8% PER COA DPM
2. ALL NEW PUBLIC SIDEWALK PER COA STANDARD DRAWING 2430
3. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER- SEE NOTE 2
4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
5. NOTE NO ACCESSIBLE PATHWAY IS TO EXCEED 1:20 SLOPE
6. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
7. ALL RAMPS, CURBS, AND ROAD WORK ALONG GUADALUPE CHURCH ROAD AND AT GRIEGOS GUADALUPE CHURCH ROAD TO BE DONE THROUGH A WORK ORDER WITH THE CITY OF ALBUQUERQUE



TRAFFIC CIRCULATION LAYOUT APPROVED
Ernest Armijo 7/22/2022
Signed Date
NOTE: PARKING FOR PHASE 4 IS PROVIDED IN PARKING COURTS 1-3:
PHASE 1= 9 UNITS-REQUIRED 9 SPACES
PHASE 2= 6 UNITS- REQUIRED 6 SPACES
PHASE 3= 9 UNITS- REQUIRED 9 SPACES
PHASE 4= 18 UNITS-REQUIRED 18 SPACES
TOTAL REQUIRED 42 SPACES
TOTAL PROVIDED 69 SPACES

1860 GRIEGOS RD. NW
ALBUQUERQUE, NM 87107

GRIEGOS FARMS

Architect Stamp:
STATE OF NEW MEXICO
KENNETH MYERS
No.005751
REGISTERED ARCHITECT
06/14/2022

REMBE
urban design + development
1716 Central SW, Suite A
Albuquerque NM 87104
t: 505-243-0188

Project: GRIEGOS FARMS
Drawn By: KMA Checked By: KMA
Phase: SD
Date: --
Drawing Title: TCL- TRAFFIC CONTROL LAYOUT SITE PLAN
Project Number: 2102
Sheet Number: 2102

TCL1