

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 16, 2024

Fred Arfman, PE
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

RE: 1330 Avenida Cristo Rey NW
Permanent Certificate of Occupancy
Engineer's Certification Date: 8/16/2024
Engineer's Stamp Date: 09/01/2021
Hydrology File: F13D031

Dear Mr. Anderson:

Based on the Engineer's Grading and Drainage Certification received 08/16/2024 and the site visit on 8/16/2024, this letter serves as a "green tag" from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division for 1330 Avenida Cristo Rey NW.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Finch Residence **Building Permit #:** _____ **Hydrology File #:** F13D031
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Tract 209A1, MRGCD Map 31
City Address: 1330 Avenida Cristo Rey NW - Albuquerque, NM 87107

Applicant: Isaacson & Arfman, Inc. **Contact:** Fred C. Arfman
Bryan J. Bobrick
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 **Fax#:** _____ **E-mail:** freda@iacivil.com
bryanb@iacivil.com
Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

☒ **ENGINEER/ARCHITECT CERTIFICATION**
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

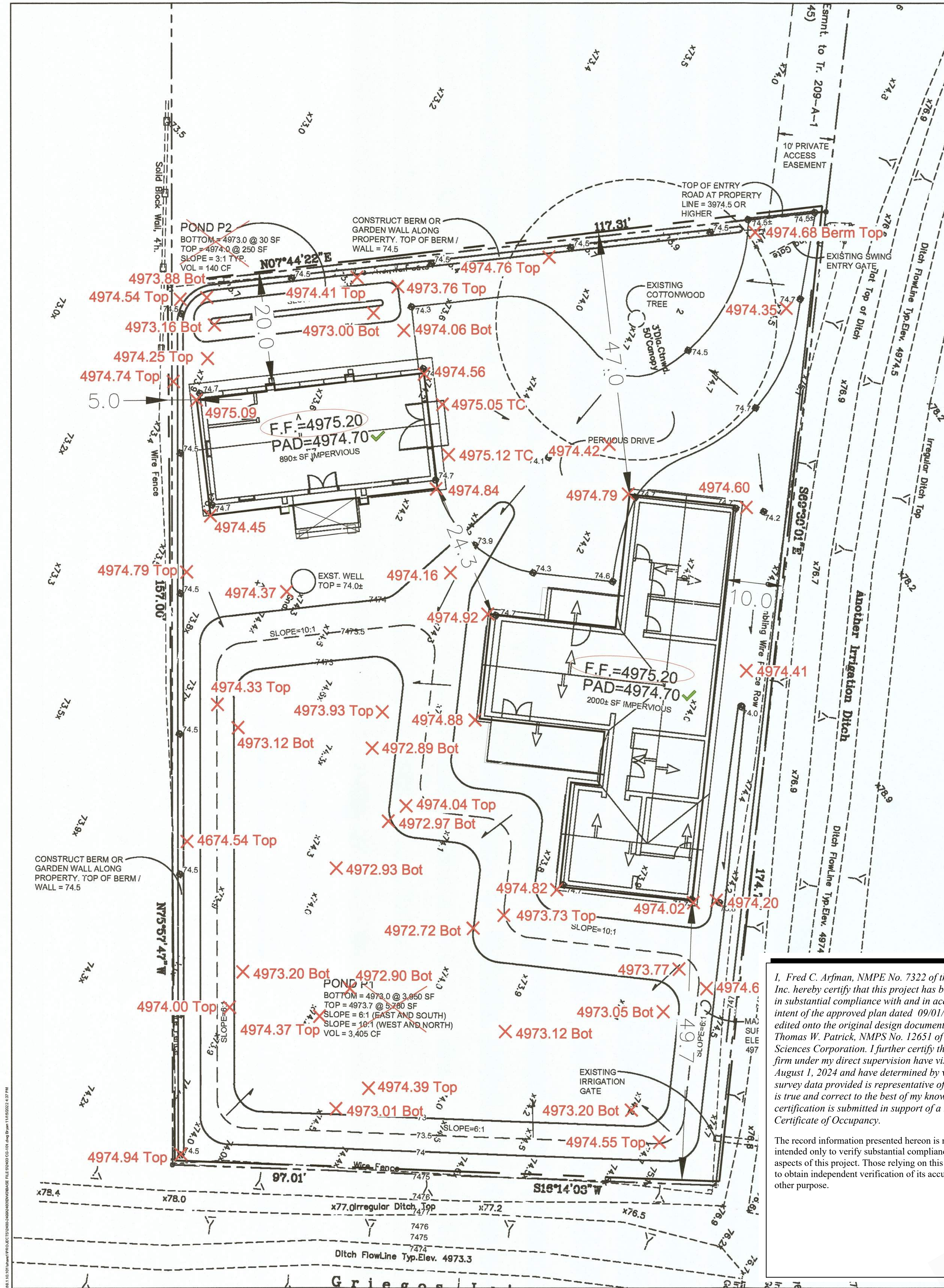
____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: Aug. 16, 2024 **By:** Fred C. Arfman

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



0 5 10 20 30
SCALE 1"=10'

BUILDING PAD GRADING CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR

I, FRED C. ARFMAN, NMPE 7322, OF THE FIRM ISAACSON & ARFMAN, INC., HEREBY CERTIFY THAT THIS PROJECT BUILDING PAD ELEVATION, AS OBTAINED AND DOCUMENTED BY REX J. VOGLER, NMPS, 10486, OF THE FIRM RIO GRANDE SURVEYING CO., HAS BEEN GRADED IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 09/01/22.

PHOTOGRAPHS ARE PROVIDED WITH THIS CERTIFICATION SHOWING THE GRADED PAD AND CONFIRMING THAT THE CERTIFICATION DOCUMENT PROVIDED BY THE SURVEYOR IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PAD CERTIFICATION AND BUILDING PERMIT APPROVAL.

APPROVED
DATE: 12/05/22
BY: R. Vogler
Hydrology # F13D031

SURVEYOR'S AS-BUILT CERTIFICATE:

I, THOMAS W. PATRICK, NEW MEXICO PROFESSIONAL SURVEYOR NO. 12651, DO HEREBY CERTIFY THAT THE AS-BUILT DATA SHOWN HEREON, COLLECTED BY ME OR UNDER MY DIRECT SUPERVISION, IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. COMMUNITY SCIENCES CORPORATION IS NOT RESPONSIBLE FOR ANY OF THE DESIGN CONCEPTS, CALCULATIONS, ENGINEERING AND/OR INTENT OF THE RECORD DESIGN DRAWINGS.

THOMAS W. PATRICK
NEW MEXICO PROFESSIONAL SURVEYOR NO. 12651
CSC S:\CERTS\SUBD\MRGCD\MAP 31\TRACT 209-A-1.dwg
Community Sciences Corporation
Land Surveying
(505) 897-0000

CALCULATIONS: 2403 Finch Residence : Feb. 2, 2021
Based on City of Albuquerque DMP, Article 6-2 Hydrology dated June 26, 2020

100-YEAR, 6-HOUR CALCULATIONS

AREA OF SITE:	17685.36	SF	=	0.41	ACRE
100-year, 6-hour DEVELOPED FLOWS: <td></td> <td></td> <td></td> <td></td> <td></td>					
Area A	0	0%			
Area B	12026	68%			
Area C	2122	12%			
Area D	3537	20%			
Total Area	17685	100%			

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

Weighted E = $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$

Developed E = 1.13 in.

On-Site Volume of Runoff: V₃₆₀ = $\frac{E \cdot A \cdot 12}{360}$

Developed V₃₆₀ = 1671 CF

On-Site Peak Discharge Rate: Q_p = $\frac{Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D}{A_A + A_B + A_C + A_D}$ 43.560

For Precipitation Zone 2

Q _{pA}	Q _{pB}	Q _{pC}	Q _{pD}
1.71	2.36	3.05	4.34

Developed Q_p = 1.2 CFS

100-year 10-day Storm Volume

V ₁₀₀ (from previous calculation)	1671
Area Treatment D (SF)	3537
Zone	2

For 100-year 10-Day Storms:

V ₁₀₀	1671
A _T (SF)	3537
Zone	2
P ₁₀₀	3.62
P ₁₀₀	2.29

V₁₀₀ = 1671
+ imp. area = 392
Total Volume (Volume) = 2063

POND P1

Contour	Area	Volume
4973.7	5780	
4973.0	3950	3405 CF

POND VOLUME: 3405 CF

POND P2

Contour	Area	Volume
4974.0	250	
4973.0	30	140 CF

POND VOLUME: 140 CF

LEGEND

- 7476 EXISTING CONTOUR
- x78.2 EXISTING SPOT ELEVATION
- 76 PROPOSED 1.0' CONTOUR
- 65.4 PROPOSED SPOT ELEVATION
- FF = 4975.2 FINISH FLOOR ELEVATION
- PAD = 4974.7 PAD ELEVATION
- COMPACTED EARTH BERM

PROJECT INFORMATION:

PROPERTY: THE SITE IS (AN UNDEVELOPED) PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP F-13. THE SITE IS BOUND TO THE NORTH BY AN IRRIGATION DITCH, TO THE EAST BY THE GRIEGOS LATERAL IRRIGATION DITCH, TO THE SOUTH BY DEVELOPED RESIDENTIAL AND TO THE WEST BY AN UNDEVELOPED PROPERTY AND AVENIDA CRISTO REY N.W.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A STUDIO/LOFT AND RESIDENCE WITH COMPACTED BASE COURSE ACCESS DRIVE PARKING AREA.

LEGAL: TR 209A1 MRGCD MAP 31, ALBUQUERQUE, NM

AREA: 0.406 ACRES

ADDRESS: 1330 AVENIDA CRISTO REY NW ALBUQUERQUE NM 87107

BENCHMARK: ACS BM '17_F13', A 1.75" DISK ON CURB AT NE QUADRANT OF GRIEGOS RD. & GUADALUPE TR. NW. ELEV. = 4973.249 (NAVD 1988)

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER FEMA FIRM MAP #35001C0118G, EFFECTIVE DATE 09/26/2008, THE SITE IS LOCATED WITHIN FLOODZONE 'X' SHADED - DESIGNATED AS AREAS OF 0.2 PERCENT ANNUAL-CHANGE FLOODPLAIN, AREAS OF 1 PERCENT ANNUAL-CHANGE (BASE FLOOD) SHEET FLOOD FLOODING WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT, AREAS OF BASE FLOOD STREAM FLOODING WITH A CONTRIBUTING DRAINAGE AREA OF LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE BASE FLOOD BY LEVEES. NO BFES OR DEPTHS ARE SHOWN IN THIS ZONE.

DRAINAGE PLAN CONCEPT:

THE SITE IS A SINGLE LOT RESIDENTIAL PROPERTY LOCATED IN THE VALLEY AND WILL BE DEVELOPED WITH A FLAT GRADING SCHEME AS FOLLOWS:

- THE PROPOSED PAD(S) ELEVATION WILL BE 1' ABOVE THE 100-YEAR 10-DAY WATER SURFACE ELEVATION.
- THE EXISTING IRRIGATION DITCH SYSTEM SERVING THE PROPERTY WILL CONTINUE TO BE UTILIZED.
- FLOW WILL BE DIRECTED TO THE STORMWATER RETENTION PONDS.
- BERMS WILL BE CONSTRUCTED ON THE PROPERTY LINES AS SHOWN TO CONTAIN THE 100-YEAR 10-DAY RETENTION VOLUME.
- POND VOLUME PROVIDED EXCEEDS THE REQUIRED VOLUME TO ACCOMMODATE FUTURE CONSTRUCTION WITHIN THE NON-PONDING AREAS.

SURVEYOR: REX J. VOGLER, N.M.P.S.
RIO GRANDE SURVEYING CO.

ENGINEER: ISAACSON & ARFMAN, INC.
FRED C. ARFMAN P.E.

PROPOSED IMPERVIOUS AREA

THE PROPOSED RESIDENCE = 2,000± SF IMPERVIOUS AREA.

THE PROPOSED LOFT = 890± SF IMPERVIOUS AREA.

TOTAL PLANNED IMPERVIOUS AREA = 2,890 SF.

CALCULATIONS FOR THE 100-YEAR 10-DAY STORM VOLUME ARE BASED ON 20% IMPERVIOUS AREA (3,537 SF) TO PROVIDE EXCESS VOLUME FOR ADDITIONAL IMPERVIOUS AREA.

REQUIRED 100-YEAR 10-DAY VOLUME = 2,063 CF

POND VOLUME PROVIDED
POND P1 = 3,405 CF
POND P2 = 140 CF

NOTE: FINAL POND CONFIGURATION MAY VARY BASED ON OWNER'S FINAL SITE LAYOUT (ORCHARD LOCATION, GUEST PARKING, ETC.) AND CUT/FILL BALANCE. TOP OF POND AND BOTTOM OF POND ELEVATIONS WILL BE ADHERED TO PER THIS PLAN.

LEGEND

- 7476 EXISTING CONTOUR
- x78.2 EXISTING SPOT ELEVATION
- 76 PROPOSED 1.0' CONTOUR
- 65.4 PROPOSED SPOT ELEVATION
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Isaacson & Arfman, Inc.
Civil Engineering Consultants
128 Monroe Street NE
Albuquerque, NM 87108
505-266-8828 | www.iaacv.com

City of Albuquerque
1330 Avenida Cristo Rey NW
Finch Residence

CONSTRUCTION DOCUMENT

PROJECT NUMBER: IA 2403
FILE
DRAWN BY: BJB
CHECKED BY: FCA
DATE: 09-01-2022

SHEET TITLE

SHEET NUMBER