

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

May 5, 2023

Phillip W. Clark, PE  
Clark Consulting Engineers  
19 Ryan Rd  
Edgewood, NM 87015

**RE: 1998 Cherokee Rd NW**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 04/26/23**  
**Hydrology File: F13D034**

Dear Mr. Clark:

Based upon the information provided in your submittal received 04/26/2023, the Grading & Drainage Plan is **not** approved for Grading Permit. The following comments need to be addressed for approval of the above referenced project:

1. As stated, this site follows Article 6-5 Valley Drainage Criteria of the DPM and the required retention volume is 1675 CF. There are two retention ponds shown on the plans. One to the northeast of the proposed house that will provide 358 cubic feet of volume and one to the southwest of the proposed house that will provide 1500 cubic feet of volume. Based on my measurements, the southwest pond has a top of pond area of 628 square feet. With a typical 3 to 1 side slope and a depth of 1 foot, the bottom of pond area is about 148 square feet. The volume that can be obtained in this pond is only about 388 cubic feet. Combined with the first pond, the provided volume is only 746 cubic feet. **This site is short 929 cubic feet of required retention volume.** This may have to be placed in an underground storage system. There are many products on the market that can be used. Please pick one and show that the required retention volume can be provided.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

DATE SUBMITTED: 4/26/23



