

CITY OF ALBUQUERQUE



January 31, 2019

Wooten Engineering
1005 21st St. SE, Suite 13 Rio Rancho, NM 87124

Re: Site Improvements 1218 Griegos
1218 Griegos Rd. NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 11-22-2017 (F14-D025)
Certification dated 01-29-2019

Dear Mr. Wooten,

Based upon the information provided in your submittal received 01-29-2019, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3675.

Sincerely,

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

\MM via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11-2018)

Project Title: 1218 Griegos Rd NW Building Permit #: BP-2017-44081 Hydrology File #: E140025
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 67, Rossiter Addition
City Address: 1218 Griegos Rd NW

Applicant: Wooten Engineering Contact: Jeffrey T. Wooten, P.E.
Address: 1005 21st Street SE, Suite 13, Rio Rancho, NM 87124
Phone#: 505-980-3560 Fax#: N/A E-mail: jeffwooten.pe@gmail.com
Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL: _____ PLAT (____ # OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE
IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: ☒ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?



TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

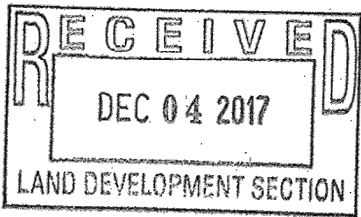
DATE SUBMITTED: January 29, 2019 By: Jeffrey T. Wooten, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Site Improvements
Partial Building and Site Demolition
Albuquerque, New Mexico



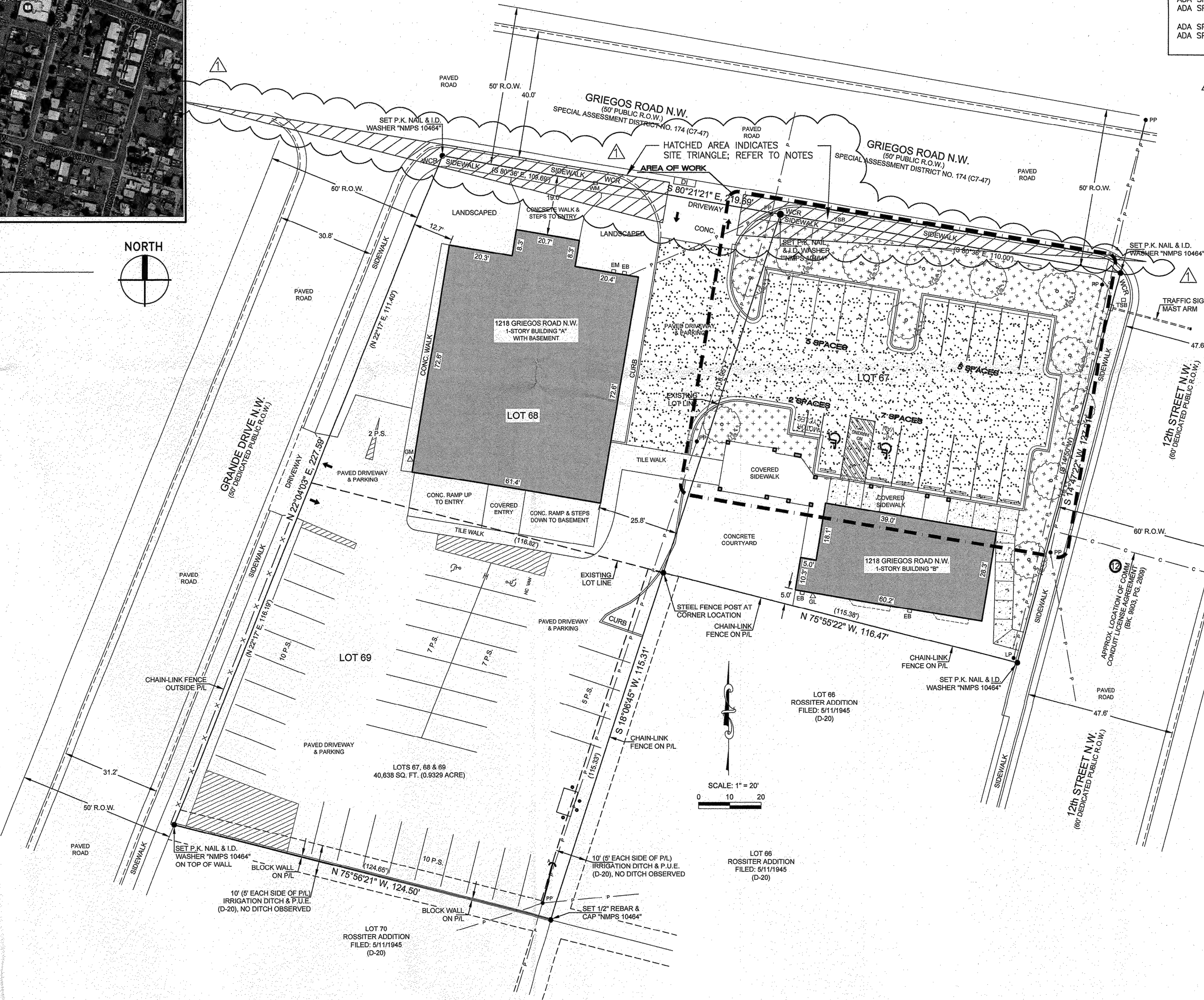
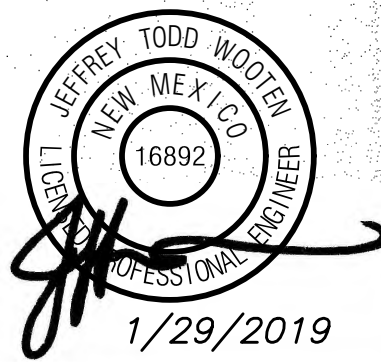
D1 VICINITY MAP
N.T.S.

SITE PLAN CERTIFICATION

I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE SITE PLAN PREPARED BY ARCHIS DESIGN DATED 11/22/2017. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 1/29/2019 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE IMPROVEMENTS BUILT ARE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY (PERMANENT C.O.).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE SITE IMPROVEMENTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY T. WOOTEN, NMPE 16892



A3 OVERALL SITE PLAN
1" = 20'-0"

SHEET INDEX

G-001 COVER SHEET / DESIGN INFORMATION
AD101 DEMOLITION SITE PLAN
AS101 ARCHITECTURAL SITE PLAN
AS501 SITE DETAILS
C1 CIVIL GRADING AND DRAINAGE PLAN

CODE INFORMATION

A. PROJECT LOCATION:
1218 GRIEGOS RD NW, ALBUQUERQUE NM 87107
SCOPE OF WORK: REMOVE CENTER AND NORTH PORTION OF THE BUILDING LOCATED ON LOT 67 AND PROVIDE NEW PARKING LOT PAVING, CURBS, SIDEWALK AND LANDSCAPE AREA.
B. ZONING: C-1
C. OCCUPANCY GROUP: (SECTION 304 IBC)
OCCUPANCY GROUP B (BOTH BUILDINGS)
D. AREAS
BUILDING "A" - 8870 SF
BUILDING "B" - 1619 SF
TOTAL EXISTING AREA - 10,489 SQUARE FEET
M. PARKING: (ABQ CODE OF ORDINANCES, 2009 EXISTING BUILDING CODE AND ANSI 117.1-2003 AMERICAN NATIONAL STANDARDS)
REQUIRED (BUSINESS): 1 SPACE PER 200SF = 53 SPACES (SUITES A,B,C)
PARKING REQUIRED: = 53 SPACES
EXISTING PARKING: = 47 SPACES
MINUS PARKING REMOVED: -6 SPACES
TOTAL PARKING PROVIDED: = 58 SPACES
ADA SPACES REQUIRED (BLDG "A"): = 1 ST, 1 VAN
ADA SPACES EXISTING: = 1 ST, 1 VAN
ADA SPACES PROVIDED: = 1 ST, 1 VAN
ADA SPACES REQUIRED (BLDG "B"): = 1 ST, 1 VAN
ADA SPACES PROVIDED: = 1 ST, 1 VAN

SITE TRIANGLE NOTES

A. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' IN HEIGHT (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

TRAFFIC CIRCULATION LAYOUT
APPROVED

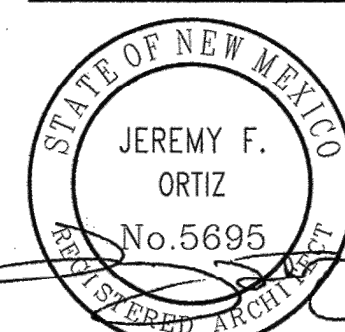
Logan
Signed
12-05-17
Date

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

DESIGN TEAM

ARCHITECT
ARCHIS DESIGN, LLC
CONTACT: JEREMY ORTIZ, RA
P.O. BOX 90218
ALBUQUERQUE, NM 87199
PH: (505) 948-8908

CIVIL
WOOTEN ENGINEERING
CONTACT: JEFF WOOTEN
1005 21ST ST SE, SUITE 13
RIO RANCHO, NM 87124
PH: (505) 980-3560



11-22-2017

relevant design solutions
ARCHIS design
LLC
P.O. BOX 90218 ALBUQUERQUE
NEW MEXICO 87199 (505) 948-8908



SITE IMPROVEMENTS
1218 GRIEGOS
ALBUQUERQUE, NEW MEXICO

Project No.
021817

Issue Date:
November 22, 2017

| Revisions: | Date: | 12/1/17 | REVISIONS |
|------------|-------|---------|-----------|
| 1 | | | |

Sheet Title:

Architectural
Site Plan

Sheet No.

G-001