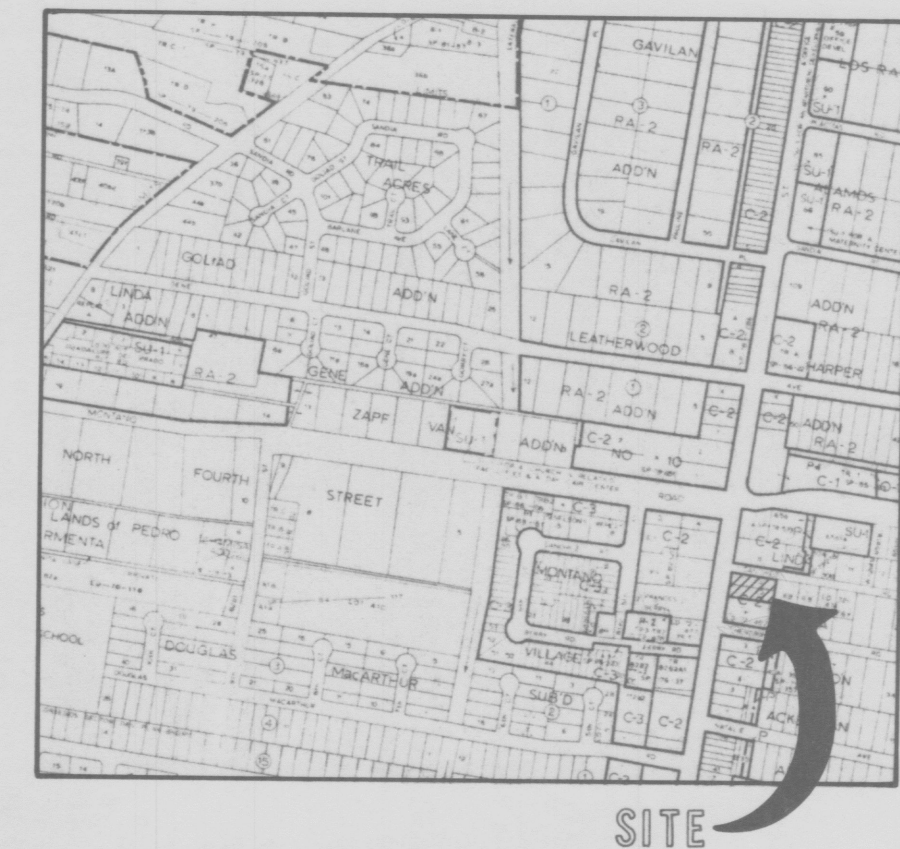


VICINITY MAP ZONE ATLAS MAP NO. F-14



NO 15
FLOOD HAZARD MAP
& OFF-SITE FLOWS FROM F.E.M.A.



NO 20 & 21
SOILS MAP SOIL SURVEY U.S.D.A., S.C.S.

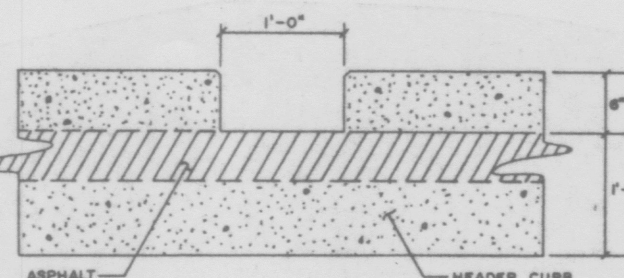


EXISTING CONDITIONS:

THE SITE IS 100% DEVELOPED WITH NO OFF-SITE FLOW ENTERING THE PROPERTY. RUNOFF FROM THIS SITE IS CURRENTLY ENTERING THE PIZZA HUT PARKING LOT TO THE SOUTH ON FOURTH STREET TO THE WEST AND ON SANCHEZ AVENUE TO THE NORTH.

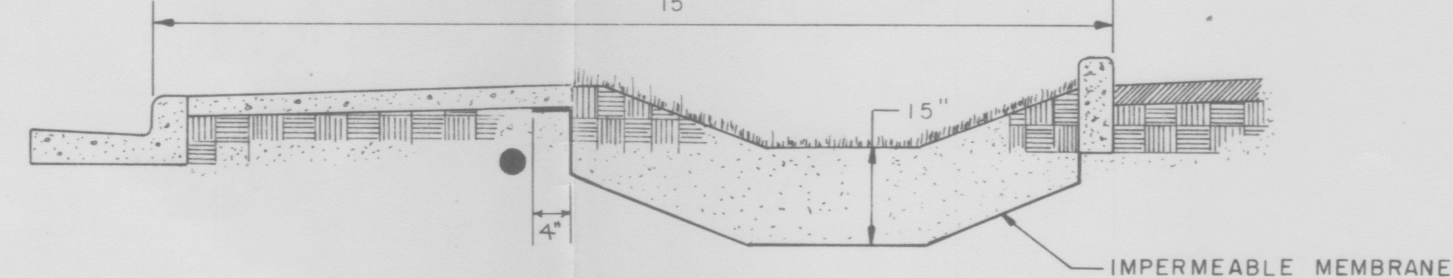
DEVELOPED CONDITIONS:

A PORTION OF THE RUNOFF GENERATED ON-SITE WILL BE DIRECTED TO TWO PONDS FRONTING ON FOURTH STREET. THE MAXIMUM AMOUNT FEASIBLE WILL BE PONDED WITH THE REMAINDER FLOWING INTO FOURTH STREET. THE REMAINING EASTERN PORTION WILL BE DRAINING INTO DEPRESSED LANDSCAPED AREAS BEFORE ENTERING SANCHEZ AVENUE. THERE ARE EXISTING STORM DRAINS IN FOURTH STREET AND SANCHEZ AVENUE.



CURB CUT DETAIL

NOT TO SCALE



SECTION

SCALE: 1"=3'

NOTE:
A POND WITHIN 15' OF ROADWAY OR 10' FROM PROPERTY LINE IS REQUIRED TO HAVE AN IMPERMEABLE MEMBRANE IN THAT PART CLOSER THAN REQUIREMENTS.

HYDROLOGY

	AP	DA	H	S	L	Tc	SOIL TYPE	% IMP.	C.N.	C.	P ₂	P ₁₀	P ₁₀₀	I ₂	I ₁₀	I ₁₀₀	VOL-2	VOL-10	VOL-100	Q ₂	Q ₁₀	Q ₁₀₀
EXISTING	1640	NA	NA	NA	NA	<10	B	99	98	.93	.93	1.45	2.20	2.07	3.06	4.64	470	732	1,173	.32	.47	.71
EXISTING	2603					<10	B	100	98	.95							746	1,162	1,861	.51	.76	1.15
DEVELOPED	1433					<10	B	92	95	.88							291	499	869	.26	.39	.59
DEVELOPED	0928					<10	B	87	93	.85							152	276	505	.16	.24	.37
DEVELOPED	1882					<10	B	88	94	.87							342	615	1,079	.34	.50	.76

POND VOLUMES	
POND 1A:	Volume Required: 869 C.F. Volume Provided: 134 C.F.
POND 1B:	Volume Required: 505 C.F. Volume Provided: 230 C.F.

SOILS INFORMATION FROM SOIL SURVEY U.S.D.A., S.C.S.

SOIL SERIES AND MAP SYMBOLS	DEGREE AND KIND OF LIMITATIONS FOR						SUITABILITY AS SOURCE OF —					SOIL FEATURES AFFECTING —			HYDROLOGIC SOIL GROUP
	SEPTIC TANK ABSORPTION FIELDS	SEWAGE LAGOONS	SHALLOW EXCAVATIONS	DWELLINGS WITHOUT BASEMENTS	SANITARY LANDFILL (TRENCH TYPE)	LOCAL ROAD AND STREETS	ROAD FILL	SAND	GRAVEL	TOPSOIL	POND RESERVOIR AREAS	DIKES, LEVEES, AND OTHER EMBANKMENTS			
*Gila: G.A, Gb, Gc, G,H----- For Hantz part of G,H, see Hantz series.	Moderate: peres slowly.	Moderate: seepage.	Slight.....	Slight.....	Slight.....	Moderate: low strength.	Fair: low strength.	Poor: excess fines.	Poor: excess fines.	Good.....	Seepage.....	Piping.....	B		

Gb—Gila loam. This level soil is in the irrigated Rio Grande Valley. It has the profile described as representative of the series. Slopes are 0 to 1 percent. Included in mapping are small areas of Gila clay loam and fine sandy loam, areas of Brazito soils, and, along the margin of the valley floor, a few small areas of Gila loam, 1 to 3 percent slopes.

Runoff is slow, and the hazard of water erosion is slight. This soil is used for irrigated alfalfa, row crops, and pasture. It is also used for wildlife habitat and community development. Irrigated capability unit 1.

LEGAL DESCRIPTION: LOTS 6A & 7A OF LINDA VISTA ADDITION #1 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

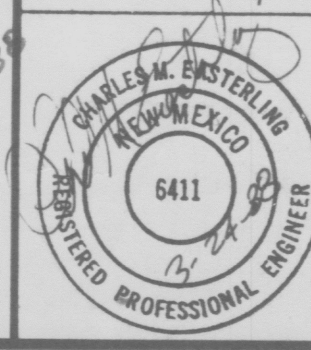
BENCHMARK INFORMATION: ACS "12-F14" LOCATED IN THE N.W. QUADRANT AT THE MONTANO RD & 4TH ST. N.W. ELEV 4974.33'

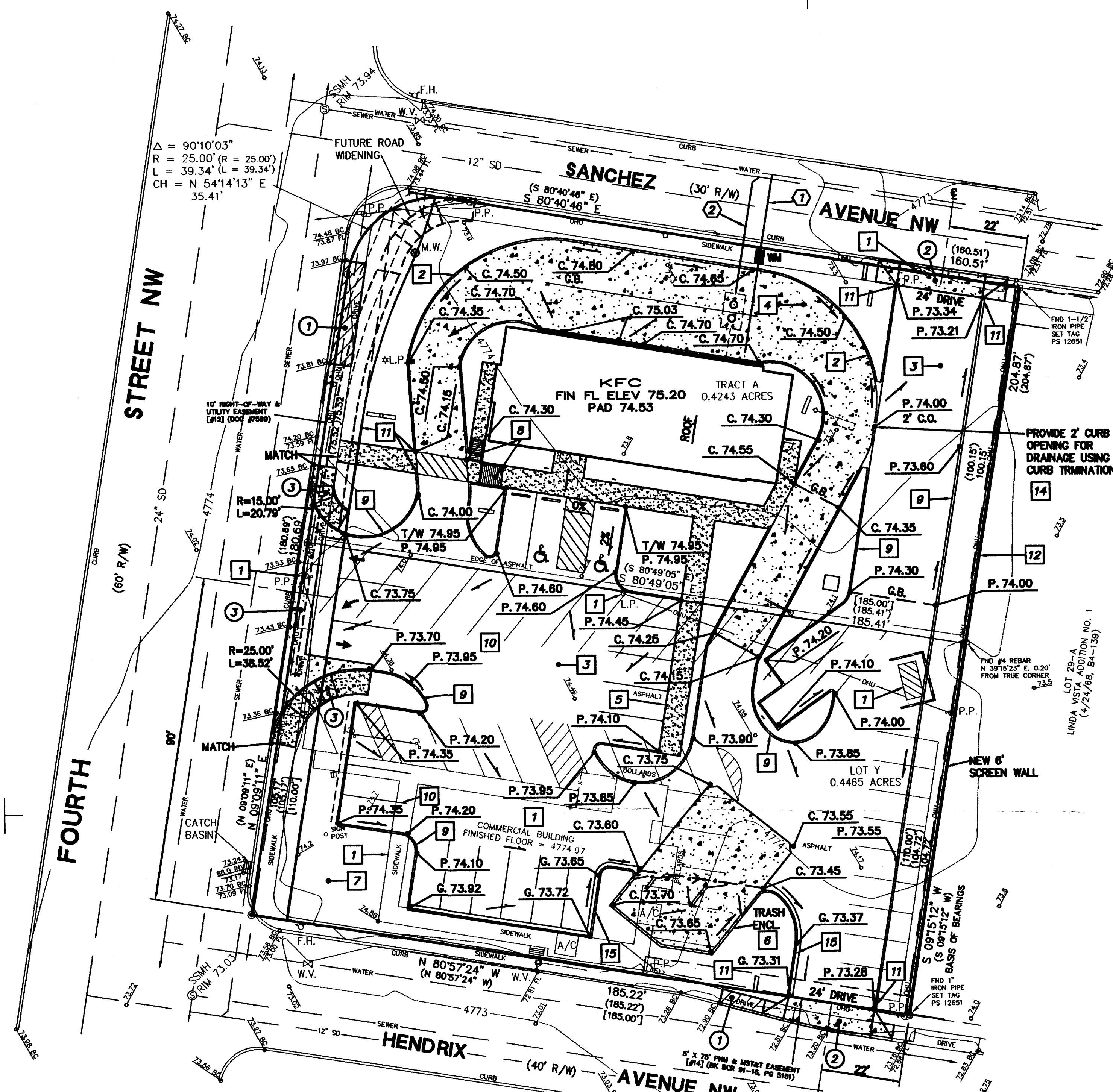
EL POLLO LOCO GRADING AND DRAINAGE PLAN

EASTERLING & ASSOCIATES, INC.
CONSULTING ENGINEERS

5643 Paradise Blvd. N.W.
Albuquerque, New Mexico 87114

Designed: DLS Drawn: JEL Checked: CME Sheet 1 of 1
Job No: 2071 Date: MAR 1988





ONSITE CONSTRUCTION NOTES -

- 1 CLEAR WORK AREA OF EXISTING IMPROVEMENTS, AND ANY MISCELLANEOUS ITEMS AS REQUIRED. COORDINATE ANY RELOCATIONS AND ABANDONMENTS OF UTILITIES WITH RESPECTIVE UTILITY COMPANIES. REFER TO ARCHITECT'S DEMOLITION PLANS.
- 2 CONSTRUCT 6" INTEGRAL CURB PER DETAIL THIS SHEET.
- 3 CONSTRUCT 2" A.C. / 5" AGG. BASE COURSE PAVEMENT.
- 4 CONSTRUCT 6" OF 3,500 P.S.I. CONCRETE OVER 4" COMPACTED AGGREGATE BASE. APPLY CURING MEMBRANE IMMEDIATELY AFTER TROWLING. THE PAVEMENT SHOULD BE CLOSED TO PASSENGER CAR TRAFFIC FOR AT LEAST THREE FULL DAYS OR UNTIL SUCH TIME THAT THE MINIMUM COMPRESSIVE STRENGTH OF THE CONCRETE IS AT LEAST 75% OF ITS DESIGN STRENGTH. TRAFFIC SHALL BE RESTRICTED TO PASSENGER CARS AND LIGHT TRUCKS FOR AT LEAST SEVEN DAYS AFTER CONCRETE IS PLACED. REINFORCEMENT & JOINTING AS PER ARCHITECTURAL PLANS/SOILS REPORT.
- 5 CONSTRUCT TURNDOWN SIDEWALK. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 6 CONSTRUCT TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 7 DEPRESS LANDSCAPE AREAS 1 FOOT.
- 8 CONSTRUCT ACCESSIBILITY RAMP PER A.D.A. AND CITY REQUIREMENTS/STANDARDS. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 9 CONSTRUCT 6" CONC. HEADER CURB PER CITY OF ALBUQUERQUE DRAWING NO. 2415. MODIFIED PER DETAIL THIS SHEET.
- 10 INSTALL ALL PARKING BAY STRIPING, ACCESSIBILITY AISLES AND SYMBOLS WITH THERMOPLASTIC STRIPING. INSTALL ALL SIGNAGE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 11 CONSTRUCT CURB TERMINATION PER DETAIL THIS SHEET.
- 12 MATCH EXISTING GRADES ALONG PROPERTY LINES.

- 13 SAWCUT CONTROL JOINTS 1-1/2" IN DEPTH, 1/4" MAX. WIDTH.
- 14 CONSTRUCT CURB OPENING WITH WIDTH PER PLAN USING CURB TERMINATION PER DETAIL THIS SHEET.
- 15 CONSTRUCT 6" MEDIAN CURB AND GUTTER PER CITY OF ALBUQUERQUE DRAWING NO. 2415 WITH STANDARD GUTTER SLOPE.

OFFSITE CONSTRUCTION NOTES -

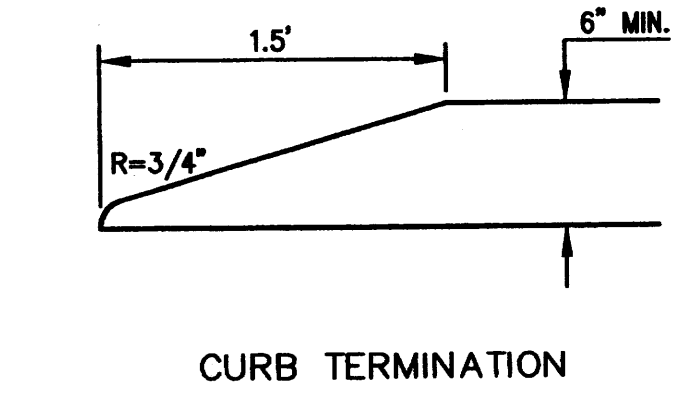
- 1 SAWCUT AND REMOVE EXISTING DRIVEWAY. INSTALL CURB, GUTTER, AND SIDEWALK TO MATCH EXISTING PER CITY STANDARDS.
- 2 SAWCUT AND REMOVE EXISTING SIDEWALK, CURB AND INSTALL NEW 24" DRIVEWAY PER C.O.A. STD. DWG. 2425.
- 3 SAWCUT AND REMOVE EXISTING DRIVEWAY, SIDEWALK AND CURB. CONSTRUCT NEW 36" DRIVEWAY PER C.O.A. STD. DWG. 2426 INCL. SIDEWALK CONNECTION AND RAMPS.

SEWER/WATER SERVICE CONSTRUCTION NOTES -

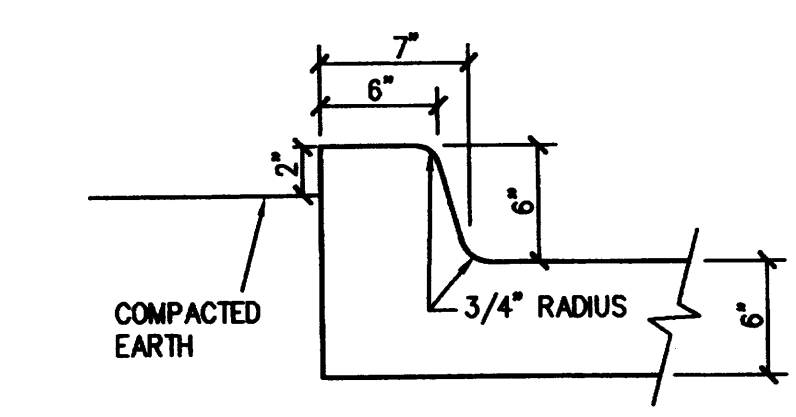
- 1 INSTALL 1-1/4" WATER SERVICE WITH 1-1/4" METER AND REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY. INSTALLATION PER C.O.A. STANDARDS. C.O.A. WILL INSTALL 1-1/4" METER AND TAP UPON PROPER APPLICATION AND PAYMENT OF PREVAILING FEES.
- 2 INSTALL 6" SEWER SERVICE @ 2.0% MINIMUM. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING SANITARY SEWER SERVICE LINE OR ON-SITE SYSTEM. IF NOT FOUND THEN USE SANCHEZ AVENUE SEWER. SEE PLUMBING PLANS FOR GREASE INTERCEPTOR AND CONNECTIONS THERETO. INSTALL CLEANOUTS AS SHOWN AND EVERY 120 FEET TO POINT OF CONNECTION.

GENERAL NOTES TO CONTRACTOR -

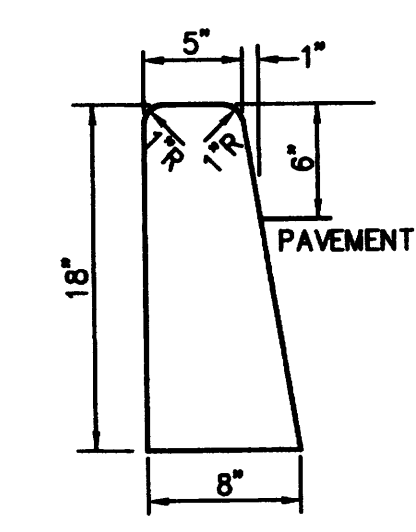
1. ALL WORK SHALL COMPLY WITH THE LATEST STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND ALL APPLICABLE ORDINANCES OF THE CITY OF ALBUQUERQUE AND TOGETHER WITH ANY AND ALL REGULATIONS OF ANY AUTHORITIES HAVING JURISDICTION. WHENEVER INCONSISTENCIES OR CONFLICTS ARISE THE MOST STRINGENT SHALL APPLY.
2. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL NOTIFY ALL REQUIRED AGENCIES AT LEAST 24 HOURS IN ADVANCE OF WORK.
3. CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS.
4. ALL GRADING, PAVING AND RELATED WORK SHALL BE DONE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS AND DETAILS, LATEST EDITION AND SOILS REPORT PREPARED BY TERRACON CONSULTANTS WESTERN, INC., DATED MARCH 11, 1998.
5. NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL, AND OTHER DELETERIOUS MATERIAL.
6. CONTRACTOR SHALL SCHEDULE ALL REQUIRED INSPECTIONS AND TESTING AND PROVIDE ALL NECESSARY SOILS TESTING TO VERIFY THAT ALL SITE WORK HAS BEEN COMPLETED IN COMPLIANCE WITH THE SOILS REPORT AND SOILS ENGINEER.
7. CALL NEW MEXICO ONE CALL HELP TWO WORKING DAYS BEFORE YOU DIG: 1-505-260-1990.
8. DURING ROUGH GRADING OPERATIONS AND PRIOR TO CONSTRUCTION OF PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL SHOULD BE PROVIDED TO PREVENT PONDING WATER AND DAMAGE TO ADJACENT PROPERTIES.
9. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
10. ALL EXISTING DRAINAGE COURSES ON THE PROJECT SITE MUST CONTINUE TO FUNCTION, ESPECIALLY DURING STORM CONDITIONS. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING OPERATIONS.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT AND MAKE NECESSARY ARRANGEMENTS WITH APPROPRIATE UTILITY COMPANIES PRIOR TO THE BEGINNING OF CONSTRUCTION.
12. ANY DEVIATION FROM THESE PLANS NOT APPROVED IN WRITING BY THE JURISDICTIONAL AUTHORITY, THE OWNER/DEVELOPER, OR THE DESIGN ENGINEER, SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR. IF THERE IS ANY QUESTION REGARDING THESE PLANS, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ALL WORK BY CALLING THE ENGINEER OF WORK AT 602-970-6862.
13. A THOROUGH ATTEMPT HAS BEEN MADE TO SHOW THE LOCATIONS OF ALL UNDERGROUND OBSTRUCTIONS AND UTILITY LINES IN THE WORK AREA. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO OBSTRUCTIONS AND UTILITY LINES ENCOUNTERED DURING CONSTRUCTION AND SHALL DETERMINE THE EXACT LOCATION OF UTILITIES IN ADVANCE OF HIS WORK. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, CONTRACTOR TO NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
14. NOTHING CONTAINED IN THE PLANS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE, ANY CONTRACTUAL RELATIONSHIP BETWEEN THE ENGINEER AND THE CONTRACTOR OR ANY SUBCONTRACTOR.
15. THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS, OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND HE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE PLANS.
16. ANY AND ALL EXISTING ITEMS, EXCEPT THOSE THAT ARE TO BE REMOVED, SHALL BE PROTECTED BY THE CONTRACTOR. CONTRACTOR SHALL REPLACE ANY AND ALL ITEMS THAT ARE REMOVED OR DAMAGED DURING THE COURSE OF HIS WORK TO THE SAME OR BETTER CONDITION AT HIS EXPENSE.
17. PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS, QUANTITIES, AND REQUIREMENTS OF THE WORK, AND EXCESS OR DEFICIENCY IN QUANTITIES, IF ANY, NO CLAIM SHALL BE MADE AGAINST THE OWNER/DEVELOPER OR ENGINEER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
18. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND THE ENGINEER FROM ALL SUITS, ACTIONS OR CLAIMS OF ANY CHARACTER BROUGHT FOR, OR ON ACCOUNT OF ANY INJURIES TO, OR DAMAGES RECEIVED BY ANY PERSON, PERSONS OR PROPERTY RESULTING FROM THE OPERATIONS OF THE CONTRACTOR OR ANY OF HIS SUBCONTRACTORS IN PROSECUTING THE WORK UNDER THIS PROJECT, EXCEPT ONLY SUCH DAMAGE, OR INJURY AS SHALL HAVE BEEN OCCASIONED BY THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
19. ALL TOP OF CURBS ARE 0.5' ABOVE GIVEN PAVEMENT GRADES UNLESS OTHERWISE NOTED.
20. REFER TO ARCHITECT'S PLANS FOR BUILDING DIMENSIONS, SITE LAYOUT AND COMPLETE SITE DIMENSIONS.
21. ALL ACCESSIBLE RAMPS AND PARKING SPACES SHALL COMPLY WITH A.D.A.A.G. AND CITY STANDARDS/REQUIREMENTS.
22. ALL PAVING AND CURBING MATERIALS AND CONSTRUCTION SHALL BE DONE IN CONFORMANCE WITH C. OF ALBUQUERQUE STANDARD SPECIFICATIONS AND DETAILS, LATEST EDITION AND SOILS REPORT PREPARED BY TERRACON CONSULTANTS AND DATED MARCH 11, 1998.
23. ALL HORIZONTAL AND VERTICAL CONTROL TAKEN FROM A.L.T.A. SURVEY PREPARED BY SOUTHWEST SURVEYING CO., INC. AND DATED MAY 12 1998. FOR COMPLETE TOPOGRAPHICAL INFORMATION REFER TO THIS DOCUMENT.
24. COMPACTED BUILDING PAD SHALL EXTEND 5 FEET BEYOND OUTER EDGE OF BUILDING AND BUILDING SIDEWALK.
25. PROPOSED SITE PLAN TAKEN FROM ELECTRONIC MEDIA PREPARED BY ARCHITEXTON.



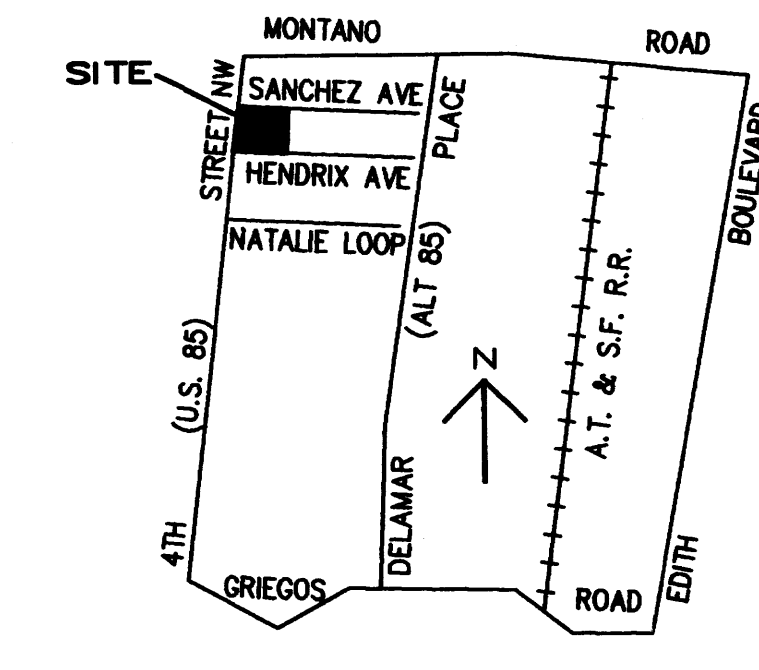
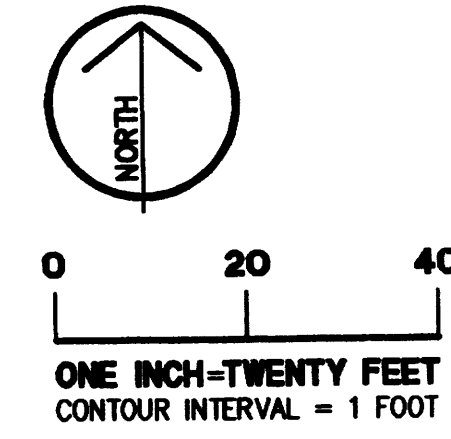
CURB TERMINATION



INTEGRAL CURB



HEADER CURB



VICINITY MAP
C. OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
N.T.S.

LEGEND -

BOTT.	BOTTOM
B/C	BACK OF CURB
B/W	BACK OF WALK
C.	CONCRETE
CO.	CONTROL JOINT
C.O.	CLEANOUT
□	CURB OPENING
□	DRAINAGE ARROW
□	ELECTRIC METER BOX
E	ELECTRIC LINE
E/P	EDGE OF PAVEMENT
F/C	FACE OF CURB
F.F.	FINISH FLOOR
F/G	FINISH GRADE
F.H.	FIRE HYDRANT
F/L	FLOW LINE
G.V.	GAS VALVE
G	GAS LINE
G.B.	GRADE BREAK
G	GUTTER
G.W.	GUY WIRE
H.W.	HIGH WATER LEVEL
IRR	IRRIGATION LINE
M.H.	MANHOLE
(M)	MEASURED DISTANCE
(R)	RECORD DISTANCE
DO	EXIST. CONTOUR
○	TREE
x 00.00	NATURAL GROUND
-O.H.-	OVERHEAD SERVICE
P.	PAVEMENT/GUTTER/CONCRETE
P.P.	POWER POLE
P.U.E.	PUBLIC UTILITY EASEMENT
R/W	RIGHT-OF-WAY
RIP-RAP	RIP-RAP
S	SEWER LINE
STM	STORM SEWER LINE
SD	STORM DRAIN LINE
S/W	STREET LIGHT
TEL	TELEPHONE RISER
T	TELEPHONE LINE
T/B	TOP OF BERM
T/C	TOP OF CURB
T/I	TOP OF ISLAND
T/W	TOP OF WALK
T.O.W.	TOP OF WALL
T	TRAFFIC SIGN
○	TRAFFIC SIGNAL
-U.G.-	UNDERGROUND SERVICE
V.G.	VALLEY GUTTER
W	WATER LINE
W.M.	WATER METER
W.V.	WATER VALVE
-00-	PROP. CONTOUR

OWNER/BUILDER -

KENTUCKY FRIED CHICKEN OF CALIFORNIA
1900 COLONEL SANDERS LANE
LOUISVILLE, KENTUCKY 40232
PHONE 502 / 456-8655

LEGAL DESCRIPTION -

PARCEL 1

TRACT "A" OF LINDA VISTA ADDITION NO. 1, A REPLAT OF LOTS 6A AND 7A, LINDA VISTA ADDITION NO. 1, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 8, 1988 IN MAP BOOK C36, FOLIO 62.

PARCEL 2

LOT LETTERED "Y" OF THE REPLAT OF LOTS 4A AND 5A OF LINDA VISTA ADDITION NO. 1, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 6, 1972 IN MAP BOOK B7, FOLIO 37.

BENCHMARK -

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 14-F14A 14/F14A, WHOSE PUBLISHED ELEVATION IS 4774.616, AND IS LOCATED IN THE NW QUADRANT OF FOURTH STREET NW, EPOXIED TO THE TOP OF THE CONCRETE CURB.

EARTHWORK QUANTITIES -

CUT	424 C.Y.
FILL	287 C.Y.

NOTE: THE QUANTITIES SHOWN ABOVE ARE FOR PERMIT AND/OR BONDING PURPOSES ONLY, AND ARE NOT TO BE USED FOR BIDDING OR FINAL PAY QUANTITIES.

DRAINAGE CHARACTERISTICS -

EXISTING CONDITIONS: THE SITE IS AN EXISTING FAST FOOD DRIVE-THRU RESTAURANT WITH OUTDOOR SEATING THAT IS PAVED WITH MINIMAL LANDSCAPING. THE NORTHERLY PORTION IS NOW VACANT BUT WAS FULLY DEVELOPED WITH AN AUTO PARTS STORE UNTIL DESTROYED BY FIRE. NO OFF-SITE STORM WATERS PASS THROUGH THE SITE.

FLOOD HAZARD: THE SITE IS IN ZONE X, AREAS DETERMINED TO BE OUTSIDE 500 YEAR FLOODPLAIN, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA ACCORDING TO PANEL 35001C0119 D, DATED SEPTEMBER 20, 1996.

ONSITE STORM WATER CALCULATIONS:
AREA = 0.881 ACRES = 37,505 S.F.
PRECIPITATION ZONE 2
PEAK DISCHARGE (100-YR, 6-HR)
 $Q_{pr} = (0.78)(5.05)(0.94) + (0.081)(5.05)(0.52) = 3.92$ CFS
 $Q_{pos} = (0.63)(5.05)(0.94) + (0.23)(5.05)(0.52) = 3.59$ CFS
VOLUME OF RUNOFF
 $V_{pr} = 0.14$ AC-FT = 6,098 C.F.
 $V_{pos} = 0.13$ AC-FT = 5,663 C.F.
ALL STORM RUNOFF FROM THE EXISTING SITE FOLLOWS THE EXISTING CONDITIONS AND DISCHARGES INTO FOURTH STREET, SANCHEZ AVENUE AND HENDRIX AVENUE VIA THE PARKING LOT AND DRIVEWAYS.

PROPOSED DRAINAGE CONDITIONS: THE IMPROVED SITE WILL CONSIST OF A RESTAURANT THAT WILL MATCH THE EXISTING SURROUNDING ELEVATIONS AND DISCHARGE THE STORM RUNOFF INTO FOURTH STREET, SANCHEZ AVENUE AND HENDRIX AVENUE AS IT DOES NOW. THE PROPOSED LANDSCAPED AREAS WILL BE DEPRESSED TO ALLOW FOR SOME RETENTION THAT WILL HELP MITIGATE THE RUNOFF. (NET DECREASE IN Q = 0.33 CFS AND V = 435 C.F.). ALL RUNOFF FLOWS WILL BE DIRECTED THROUGH THE RESTAURANT'S PARKING LOT TO FOURTH STREET, SANCHEZ AVENUE AND HENDRIX AVENUE. THE RECONSTRUCTION OF THIS PROPERTY WILL REDUCE RUNOFF FROM THE EXISTING AND PROVIDE FOR MORE RUNOFF BEING RETAINED IN LANDSCAPED DEPRESSIONS.

RECEIVED
AUG 21 1998
HYDROLOGY SECTION



ARCHITEXTON
398 S. Mill Avenue, Suite 301, Tempe, Arizona 85281
Telephone (602) 894-4637 Fax (602) 894-4638

5404 4TH STREET NW
ALBUQUERQUE, NEW MEXICO

SOUTHGATE ASSOCIATES, LIMITED
4385 N. 75th Street, Suite 100, Scottsdale, Arizona 85251
Telephone (602) 970-6862 Fax (602) 970-3984
Civil Engineering Consultants

PROJECT NO. 033-98GD2 REVISIONS AUGUST98
DATE MAY98

CIVIL -
GRADING AND DRAINAGE PLAN 1/1