

CITY OF ALBUQUERQUE



October 24, 2018

Buffalo Design Architects
Marc Gonzales
1113 Rhode Island NE
Albuquerque, NM 87110

Re: Bob's Burger Drive thru Restaurant
5307 4th street N.W. ALB NM 87107
Traffic Circulation Layout
Engineer's/Architect's Stamp **10-12-18 (F14-D036)**

The TCL submittal received 10-23-18 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

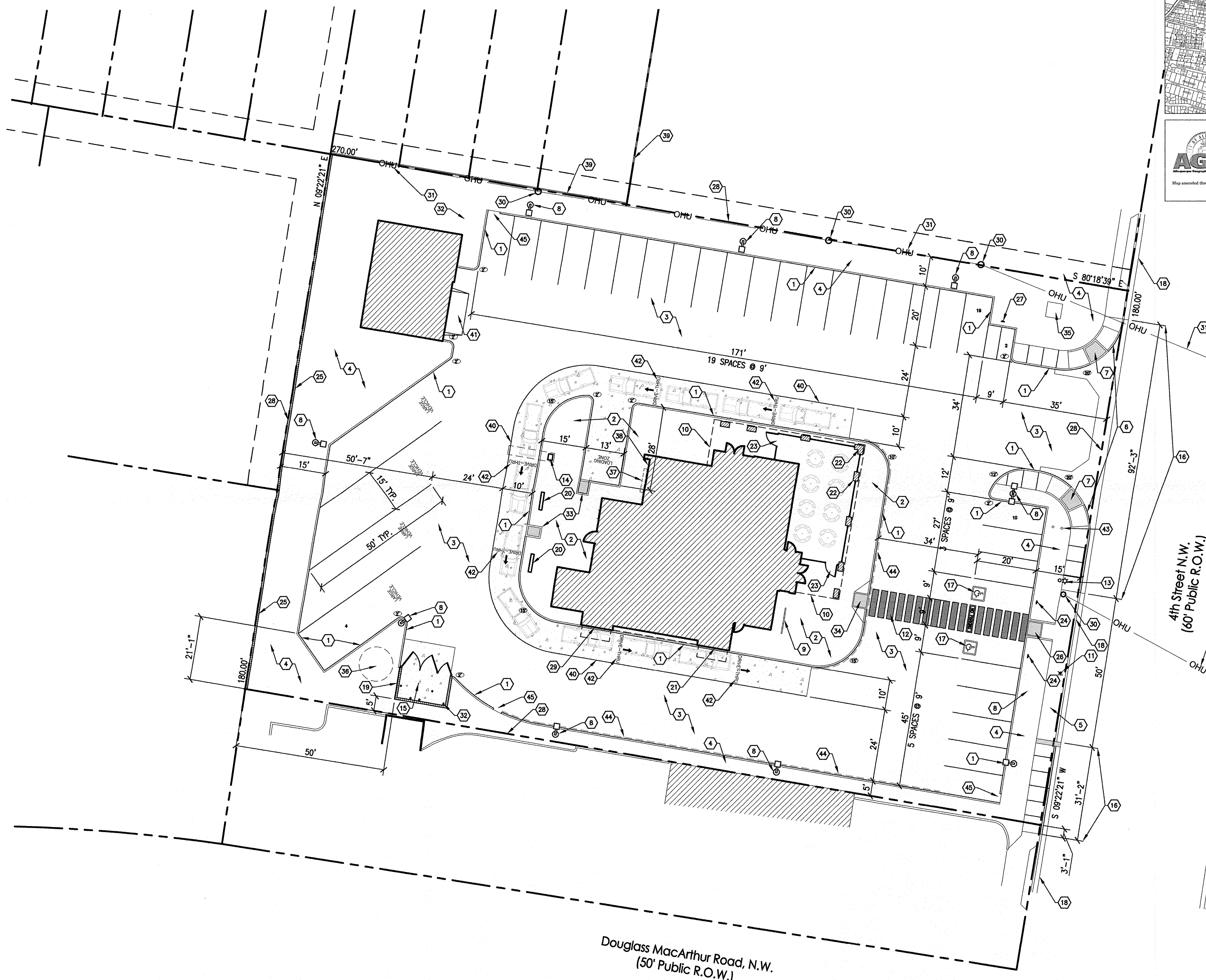
MM via: email
C: File

D

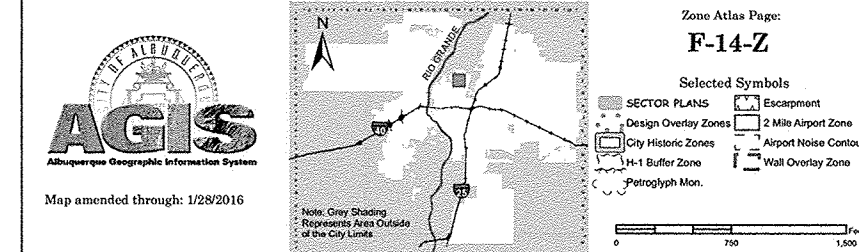
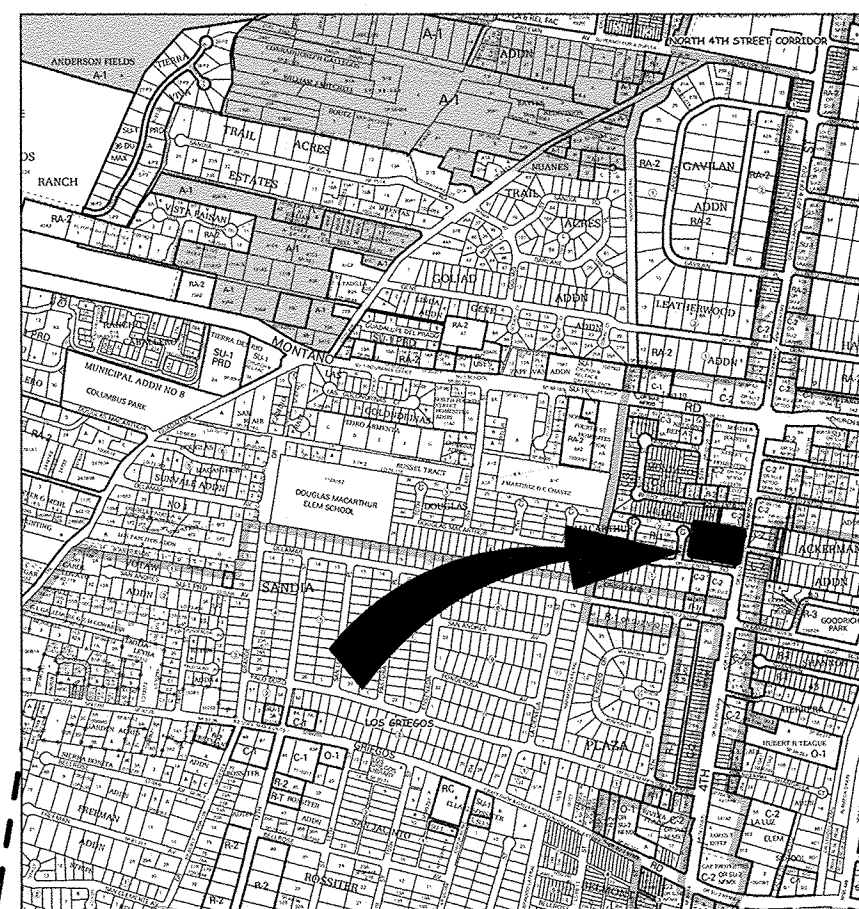
C

B

A



A1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'
TRUE NORTH



GENERAL NOTES

- PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- REFER TO ELECTRICAL FOR VACATION OF EXISTING OVERHEAD UTILITY WIRES AND POLES.
- REFER TO MECHANICAL FOR SITE UTILITIES.

KEYED NOTES

- NEW 6" CONCRETE CURB.
- NEW CONCRETE FLATWORK.
- NEW ASPHALT PAVING. SEE GEOTECHNICAL REPORT FOR PAVING SECTION.
- LANDSCAPE AREA. REFER TO LS-101.
- EXISTING CITY OF ALBUQUERQUE SIDEWALK TO REMAIN.
- NEW CURB CUT. CITY OF ALBUQUERQUE STANDARD DRIVEPAD DETAIL #2420.
- NEW WHEELCHAIR CURB ACCESS RAMP. CITY OF ALBUQUERQUE STANDARD DETAIL 2441.
- NEW SIGHT LIGHT. SEE A1/AS-501.
- BICYCLE RACK. SEE D3/AS-501.
- LINE OF ENTRY CANOPY ABOVE.
- EXISTING FIRE HYDRANT.
- HANDICAP ACCESS AISLE STRIPING. SEE A2/AS-501.
- EXISTING STREET LIGHT TO REMAIN.
- MAXIMUM HEIGHT VEHICLE RESTRICTOR. SEE A2/A-543.
- AREA DRAIN FOR DUMPSTER ENCLOSURE.
- EXISTING CURB CUTS TO BE REMOVED AND INFILLED TO BE FLUSH WITH ADJACENT CONCRETE C.O.A. SIDEWALK. NEW CURB AND GUTTER TO C.O.A. STANDARDS.
- NEW PAVEMENT HANDICAP SIGN. SEE C3/AS-501.
- EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
- NEW 6' HIGH CMU DUMPSTER ENCLOSURE WITH A 4' WIDE x 10' DEEP INSIDE CLEAR RECYCLING AREA. GATES TO BE PAINTED TUBE STEEL WITH METAL PANEL INSERTS. SEE A4/AS-501.
- NEW DRIVE-UP ORDER MENU. CONTRACTOR SHALL COORDINATE POWER AND DATA REQUIREMENTS WITH OWNER.
- DRIVE-UP FOOD PICK-UP WINDOW.
- NEW 4' HIGH PATIO/YARD WALL. SEE A4/AS-502.
- NEW CUSTOM GATE TO OUTDOOR DINING. SEE C3/AS-502.
- NEW POLE MOUNTED ACCESSIBLE PARKING SIGNAGE. SEE C2/AS-501.
- NEW 6' HIGH CMU SCREEN WALL. SEE D2/AS-502.
- NEW RAMP FOR HC ACCESS FROM CITY SIDEWALK. SEE D4/AS-501.
- NEW POLE MOUNTED MOTORCYCLE PARKING SIGNAGE. SEE C1/AS-501.
- EXISTING PROPERTY LINES.
- NEW DRIVE-UP PAY WINDOW.
- EXISTING POWER POLE TO REMAIN.
- EXISTING OVERHEAD UTILITY LINES TO REMAIN.
- NEW YARD HYDRANT. REFER TO CIVIL DRAWINGS.
- NEW HC RAMP. SEE D4/AS-501.
- NEW HC RAMP. SEE D5/AS-501.
- ELECTRICAL TRANSFORMER BOX. REFER TO ELECTRICAL.
- NEW GREASE TRAP. COORDINATE WITH CIVIL AND PLUMBING.
- NEW BUILDING MOUNTED ELECTRICAL GEAR. REFER TO ELECTRICAL.
- NEW BUILDING MOUNTED GAS METER. REFER TO PLUMBING.
- EXISTING 6' HIGH CMU SCREEN WALL TO REMAIN.
- CONCRETE DRIVE PAD WITH TURN DOWN EDGES. STRIPE OUTSIDE LANE LIMITS AT EDGE BETWEEN ASPHALT AND CONCRETE.
- CONCRETE VEHICLE RAMP. 1:12 SLOPE MINIMUM. 14' WIDE CENTERED ON OVERHEAD DOOR.
- DRIVE-THRU PAVEMENT PAINTING. REFER TO C2/AS-502.
- POWER AND DATA STUB FOR FUTURE MONUMENT SIGN BY OWNER.
- CURB TO BE PAINTED PER COA-APD REQUIREMENTS FOR FIRE LANE.
- OPENING IN CURB FOR DRAINAGE. REFER TO CIVIL.

RADIUS INFO:

TURNING RADIUS @ EACH CURB LOCATION

DESIGN CRITERIA

CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE

MX-M (MIXED USE - MODERATE INTENSITY)

MAXIMUM BUILDING HEIGHT:		=	45' BUILDING HEIGHT
MINIMUM BUILDING SETBACKS:	NORTH	=	5' PER IDO 5-1(D)(1)
	EAST	=	5' PER IDO 5-1(D)(1)
	WEST	=	15' PER IDO 5-1(D)(1)
	SOUTH	=	5' PER IDO 5-1(D)(1)

PARKING CALCULATIONS

PARKING REQUIRED:

PER CITY OF ALBUQUERQUE I.D.O. 5-5(C)(2)	
RESTAURANT:	8 SPACES/1,000sf GFA
WAREHOUSE:	3,563sf
	1 SPACE/3,000sf GFA
	1,008sf

TOTAL PARKING REQUIRED: = 33 SPACES

PER CITY OF ALBUQUERQUE I.D.O. 5-5(D) MOTORCYCLE PARKING = 2 SPACES

PER CITY OF ALBUQUERQUE I.D.O. 5-5(C)(7) ADAAG HANDICAP PARKING = 2 (1 VAN)

PER CITY OF ALBUQUERQUE I.D.O. 5-5(E) BICYCLE SPACES 10% OF REQUIRED OFF STREET = 4 SPACES

PARKING REDUCTIONS:

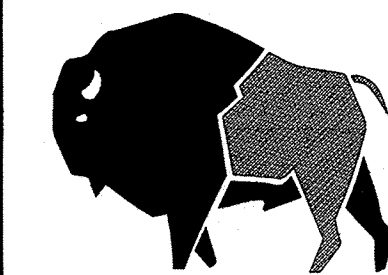
PER CITY OF ALBUQUERQUE I.D.O. 5-5(C)(5) NONE TAKEN

PARKING PROVIDED = 35 SPACES

MOTORCYCLE PARKING PROVIDED = 2 SPACES

HANDICAP PARKING PROVIDED INCLUDING = 2 SPACES

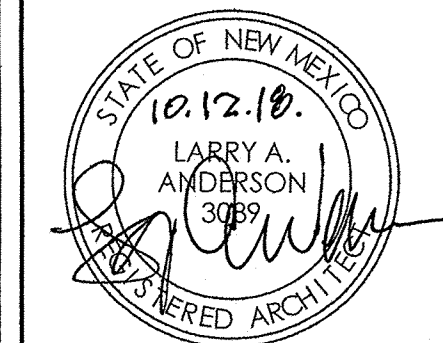
BICYCLE SPACES PROVIDED = 7 SPACES



buffalodesign
architects

1113 rhode island st ne
albuquerque, nm 87110

SEAL



PROJECT

Bob's Burgers
Drive Thru Restaurant

5307 4th Street N.W.
Albuquerque, NM 87107

REVISIONS	DATE	DESCRIPTION
0		

CLIENT PROJ #:
ARCHT PROJ #: A18.02
DRAWN BY: MAG
CHECKED BY: MAG
DATE: OCTOBER 12, 2018

SHEET TITLE

ARCHITECTURAL
SITE
PLAN

AS-101