

FIRE PLAN NOTES

- Existing fire hydrant North of the site meets spacing requirements as determined by IFC Table C102.1 -- hose lay from hydrant to fire apparatus road does not exceed 250'. The fire hydrant is assumed to meet fire flow requirements as determined by IFC Table B105.1.
- Fire apparatus route shown per IFC 503.2.1 requirements -- 20' wide & 28' radii. Route is within 150' of all portions of the building. Route is less than 150' -- no turn around required.
- The Fire Apparatus Access Road shall have a minimum of 13'-6" unobstructed height clearance.
- Public water main sizes not shown on plans due to lack of information provided from ALTA survey and City of Albuquerque GIS.
- Contractor / Geotechnical Engineer shall confirm pavement installation within the Fire Apparatus Access Road to support imposed load of fire apparatus weighing at least 75,000 lbs.
- Pavement grades do not exceed 10% along Fire Apparatus Route.
- Fire lane to be designated by curb painted red with "NO PARKING" and "FIRE LANE" text spaced per City of Albuquerque standards.
- See Fire 2 Plan for information regarding building address location and Knox Box.
- Premise ID: Building shall have approved address numbers or building identification placed in a position plainly legible and visible from the street or road fronting the property.

CODE CRITERIA

BUILDING AREA: 3,529 sq. ft.
BUILDING HEIGHT: 1 Story 18'-0"
PROPERTY LINE WALL: 20'-0"
OCCUPANCY TYPE: Business - Car Wash
CONSTRUCTION TYPE: V-B
OCCUPANT LOAD: 6 people
EXITS PROVIDED: 3
EXITS REQUIRED: 2
ZONING ORDINANCE: City of Albuquerque Integrated Zoning Code
ZONE: "MX-M" - Moderate Intensity Zone District
USE CATEGORY: Car Wash
SPRINKLER SYSTEM: Non-sprinklered

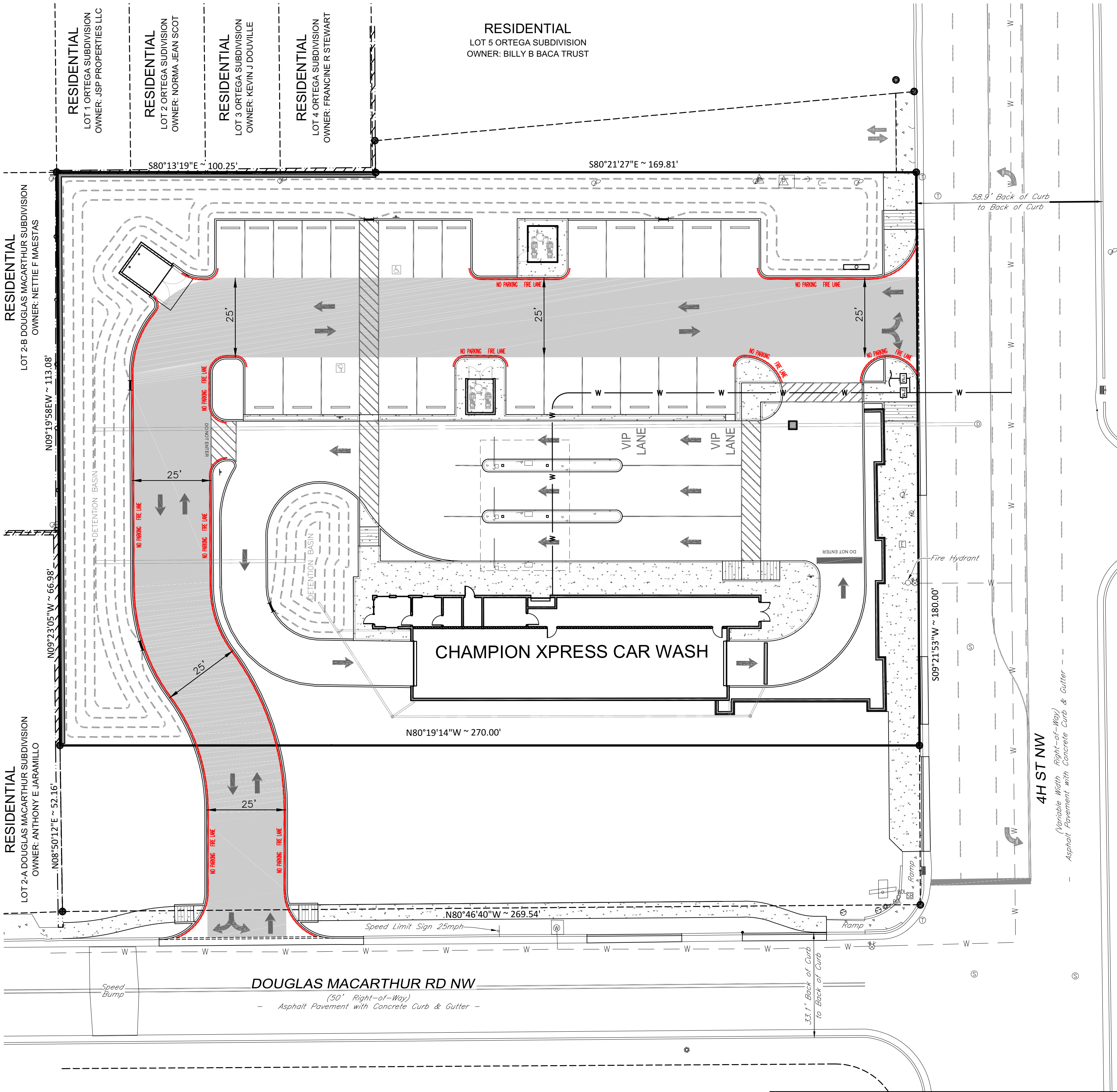
DEVELOPMENT / DESIGN TEAM

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VERTICAL & HORIZONTAL CONTROL:
Reference - ALTA / NSPS Land Survey of the subject property
prepared by CSI-Cartesian Surveys, Inc., dated, October 29, 2021.



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: FP-22-009600
APPROVED DATE: 04/08/22
APPROVED
THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE
ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY
ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS
PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 3,529 sqft VB 1500gpm, 1 Hydrant Non-sprinklered



Date	
Description	
Item	

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS
CAR WASH
5307 4TH STREET NW
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM Proj: 21.262
Draw: MCM Dwg: 21-262.dwg
Check: RJM Tab: C22-SP
Scale: 1" = 20'

Date: 04.07.2022

Sheet:

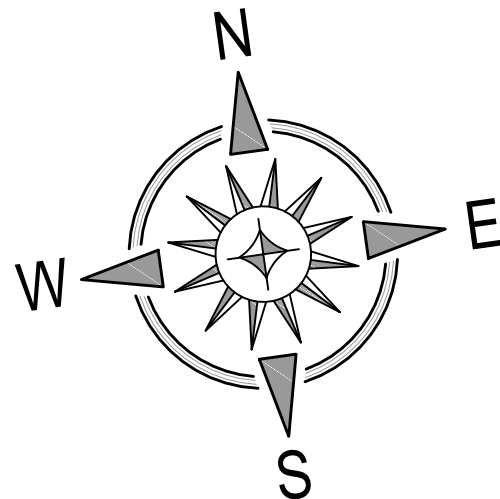
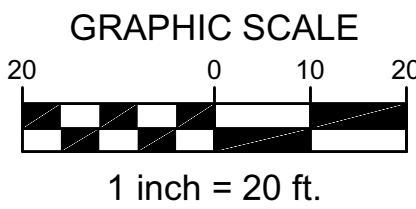
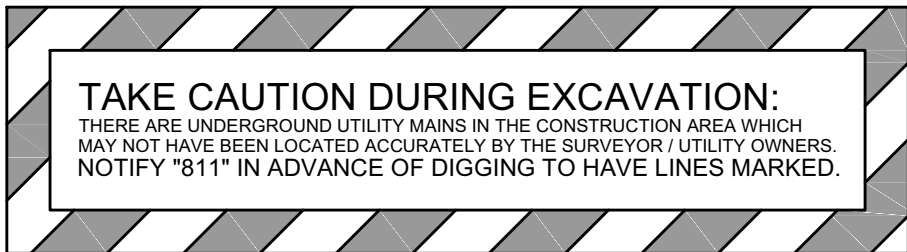
FIRE 1 PLAN

Sheet No.:

C-2.1



Know what's below.
Call before you dig.



FIRE 1 LEGEND

- DIRECTIONAL PARKING LOT ARROW
- EXISTING FIRE HYDRANT
- FIRE ACCESS ROUTE
- RED FIRE LANE PAINT ON CURB FACE