

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 26, 2022

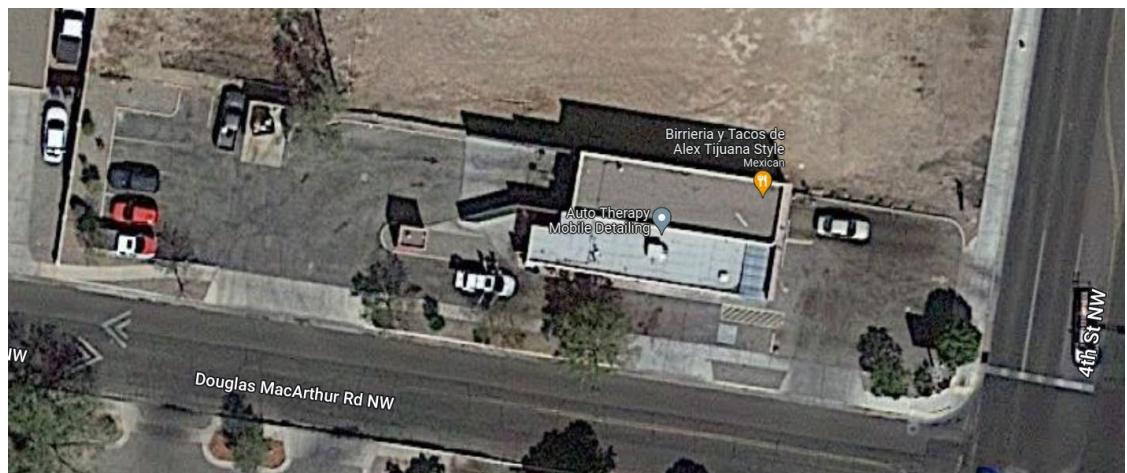
Ryan Morrissey, P.E.
Burkhardt Engineering
28 North Cherry St.
Germantown, OH, 45327

**RE: Champion Xpress Car Wash
5307 4th Street NW
Grading and Drainage Plan
Engineer's Stamp Date: 05/09/22
Hydrology File: F14D036A**

Dear Mr. Morrissey:

Based upon the information provided in your submittal received 05/09/2022, the Grading & Drainage Plan **is not** approved for Building Permit and SO19 Permit. The following comments need to be addressed for approval of the above referenced project:

1. The property to the southwest currently has a building, sidewalks and landscaping within Douglas MacArthur Rd R.O.W. None of this existing information is shown and there is shown proposed new sidewalk and an access road through this property.



2. I know that the owner of the property to the southwest and this project's tract is the same, Hydrology still needs a written consent to do grading and construction on that property.
3. Per the IDO § 6-4(Q), the property owner of the property is responsible for building sidewalk along the adjacent R.O.W. of the project. This project is only adjacent to 4th Street, which already has a sidewalk. Not sure why any of this work is being done.

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Please contact Transportation to confirm the need of replacing the existing sidewalk along 4th Street and the work along Douglas MacArthur which is not adjacent to this project.

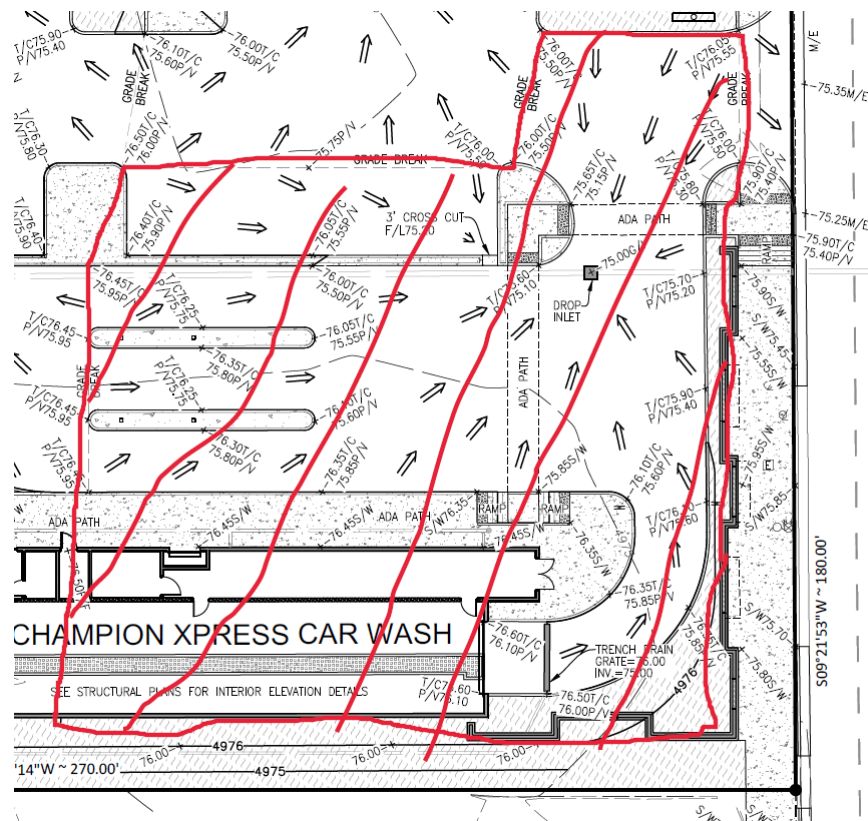
4. The calculations provided for the management onsite for the Stormwater Quality Volume (SWQV) is incorrect. The calculations used the number for a redevelopment and this site is new development. Therefore, per DPM Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. To calculate the required SWQV, multiply the impervious area draining to the BMP by 0.42 inches for new development sites.
5. Please provide the weir calculations, per DPM Article 6-16(A), for the curb cuts and sidewalk culverts. A coefficient of 2.7 is typically used for the weir equation $Q = CLH^{2/3}$.
6. Please show all storm pipe sizing, inlet grate elevations and inverts on the Grading & Drainage Plan.
7. The shown drainage area appears to not get discharged into a stormwater quality pond prior to leaving the property. This cannot directly discharge into the City's storm drain system without doing so. This site has lots of landscape areas to provide the required SWQV.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



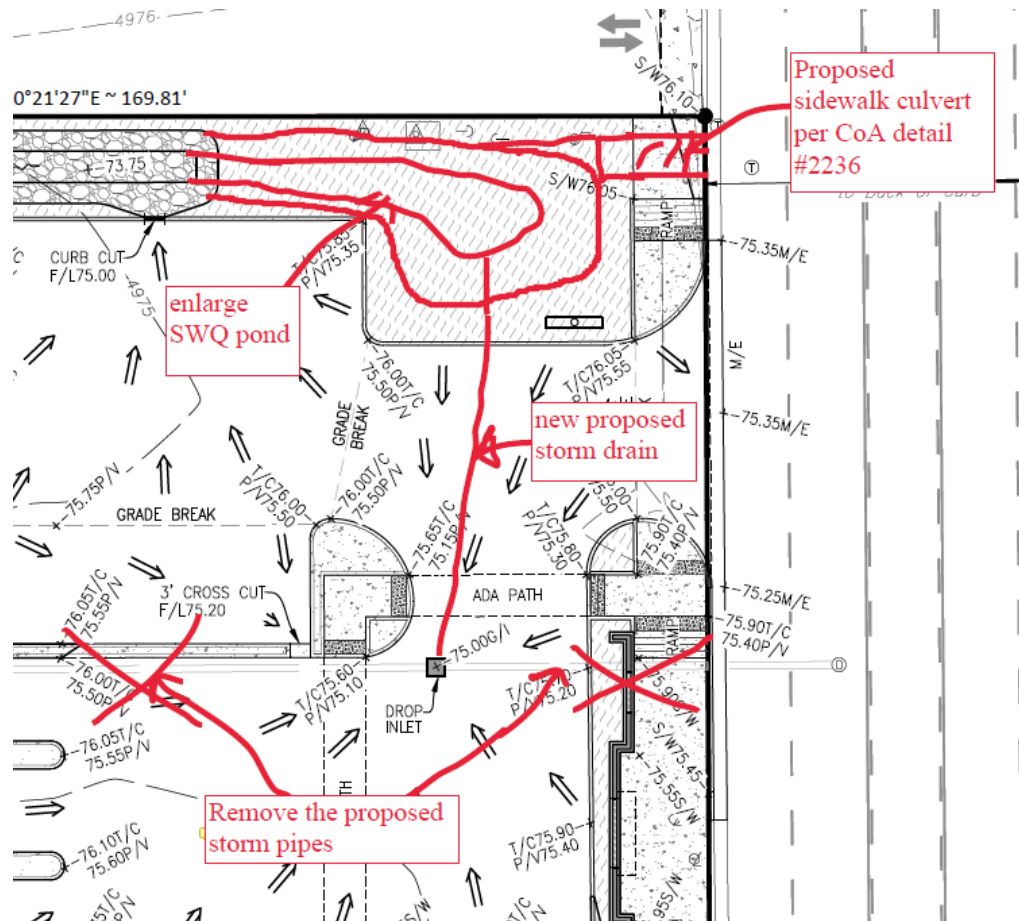
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8. A possible solution to Comment #7 is to direct the inlet to the landscape area and enlarge the stormwater quality pond. Also, the outlet for the pond can be a sidewalk culvert on 4th Street.



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As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Champion Xpress Car Wash Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Legal Description: Lot 1, Block 2 Douglas MacArthur Subdivision and Tract 112-A-2 M.R.G.C.D Map 32.

City Address: 5307 4TH Street NW, Albuquerque NM, 87107

Applicant: Mitchell Monnin Contact: _____

Address: 28 North Cherry Street Germantown, OH 45327

Phone#: 937-388-0060 Fax#: _____ E-mail: mmonnin@burkhardtinc.com

Other Contact: Modulus Architects Contact: Regina Okoye

Address: 100 Sun Ave. NE, suite 600, Albuquerque, NM 87109

Phone#: 505-267-7686 Fax#: _____ E-mail: rokoye@modulusarchitects.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

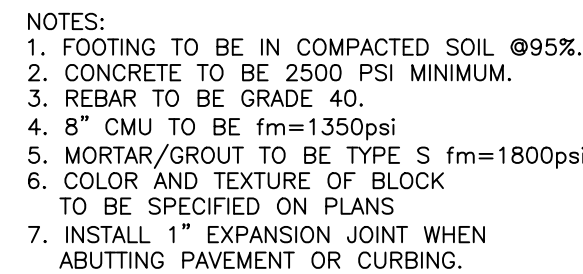
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: May 09, 2022 By: Mitchell Monnin

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



A cross-sectional diagram of a curb and gutter. On the left, a horizontal line represents the 'PAVEMENT' with an arrow labeled 'FLOW' pointing to the right. A vertical line represents the 'CONCRETE CURB'. To the right of the curb is a 'DEPRESS CURB' with a width of '24" FLOW WIDTH'. The top of the curb is labeled 'TOP OF STONE TO BE 1" LOWER THAN CURB DEPRESSION.' Below the curb, the 'DEPRESSION' is shown with a width of '5' and a depth of '6"/12" DEEP STONE'. An arrow labeled 'FLOW' points to the right within the depression area.

PLANNING AND ZONING REQUIREMENTS
Reference: City of Albuquerque Integrated Development
Zone: "MX-M" Mixed Use - Medium Intensity Zone District
Proposed Use: Car Wash

Front: 5 ft. (min.)
Side, Interior: 0 ft. (min.)
Side, Street: 5 ft. (min.)
Rear: 15 ft. (min.)

PLANNING / ZONING / BUILDING
City of Albuquerque - Planning Department
Contact: Brennon Williams
Telephone: 505.924.3860
Email: bnwilliams@cabq.gov

City of Albuquerque - Traffic Department
Contact: MARWA AL NAJJAR
Telephone: 505.924.3675
Email: malnajjar@cabq.gov

SANITARY SEWER / WATER
Albuquerque Bernalillo County Water Utility Authority
Contact: Robert Strong
Telephone: 505.261.4429
Email: rstrong@abcwua.org

City of Albuquerque - Planning Hydrology Department
Contact: Renee Brissette
Telephone: 505.924.3995
Email: rbrissett@cabq.gov

New Mexico Gas Company
Contact: Jacob Gallegos
Telephone: 505.697.3120
Email: Jacob.Gallegos@nmgco.com

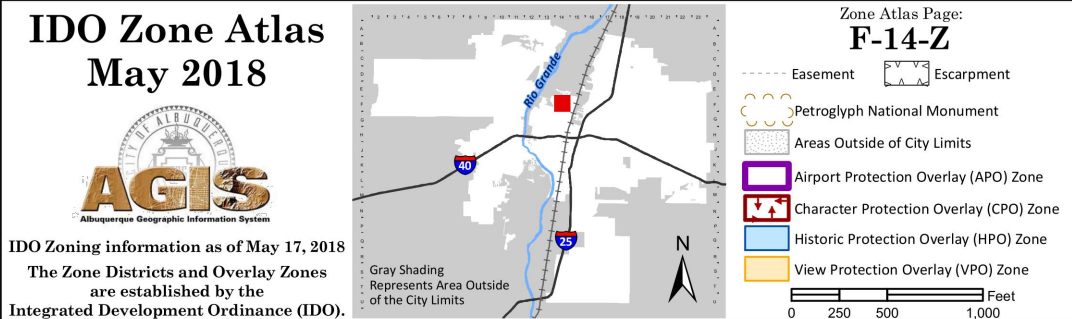
PNM (Public Service
Company of New Mexico)
Contact: Chase LeJeune
Telephone: 505-362-4180
Email: Chase.LeJeune2@pnm.com

CenturyLink
Contact: Customer Service
Telephone: 865.465.2313



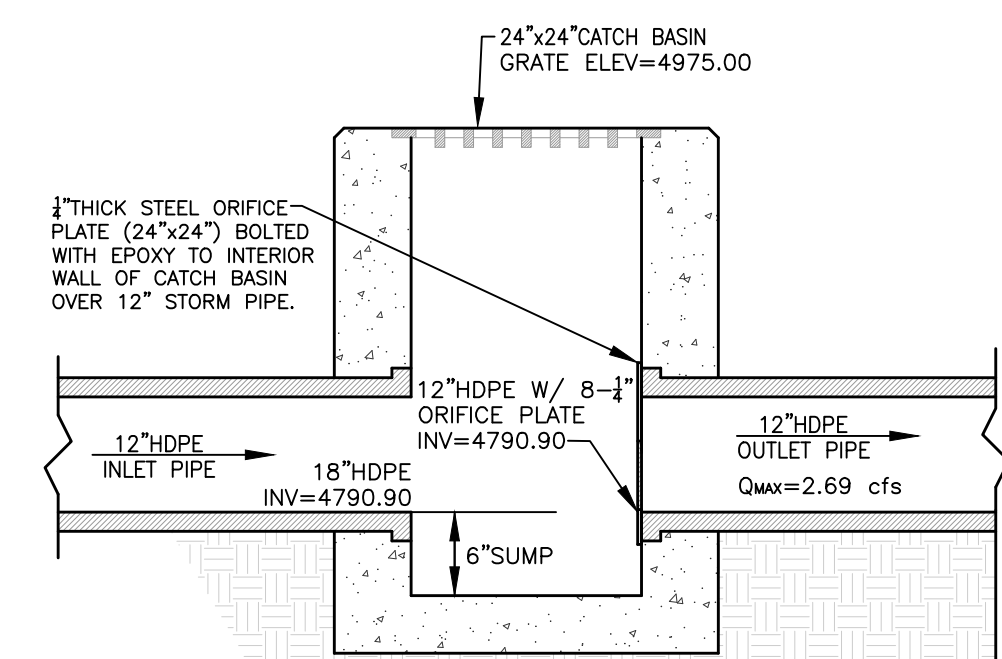
The site plan illustrates the layout of the Douglas MacArthur Rd NW project. The central feature is the **CHAMPION XPRESS CAR WASH**, which includes a ramp, drop inlet, and various ADA paths. The plan is bounded by Douglas MacArthur Rd NW to the south and 4th St NW to the east. Surrounding the site are several residential lots, including Lot 1 Ortega Subdivision, Lot 2 Ortega Subdivision, Lot 3 Ortega Subdivision, Lot 4 Ortega Subdivision, Lot 5 Ortega Subdivision, Lot 6 Ortega Subdivision, Lot 7 Ortega Subdivision, Lot 8 Ortega Subdivision, Lot 9 Ortega Subdivision, Lot 10 Ortega Subdivision, Lot 11 Ortega Subdivision, Lot 12 Ortega Subdivision, Lot 13 Ortega Subdivision, Lot 14 Ortega Subdivision, Lot 15 Ortega Subdivision, Lot 16 Ortega Subdivision, Lot 17 Ortega Subdivision, Lot 18 Ortega Subdivision, Lot 19 Ortega Subdivision, Lot 20 Ortega Subdivision, Lot 21 Ortega Subdivision, Lot 22 Ortega Subdivision, Lot 23 Ortega Subdivision, Lot 24 Ortega Subdivision, Lot 25 Ortega Subdivision, Lot 26 Ortega Subdivision, Lot 27 Ortega Subdivision, Lot 28 Ortega Subdivision, Lot 29 Ortega Subdivision, Lot 30 Ortega Subdivision, Lot 31 Ortega Subdivision, Lot 32 Ortega Subdivision, Lot 33 Ortega Subdivision, Lot 34 Ortega Subdivision, Lot 35 Ortega Subdivision, Lot 36 Ortega Subdivision, Lot 37 Ortega Subdivision, Lot 38 Ortega Subdivision, Lot 39 Ortega Subdivision, Lot 40 Ortega Subdivision, Lot 41 Ortega Subdivision, Lot 42 Ortega Subdivision, Lot 43 Ortega Subdivision, Lot 44 Ortega Subdivision, Lot 45 Ortega Subdivision, Lot 46 Ortega Subdivision, Lot 47 Ortega Subdivision, Lot 48 Ortega Subdivision, Lot 49 Ortega Subdivision, Lot 50 Ortega Subdivision, Lot 51 Ortega Subdivision, Lot 52 Ortega Subdivision, Lot 53 Ortega Subdivision, Lot 54 Ortega Subdivision, Lot 55 Ortega Subdivision, Lot 56 Ortega Subdivision, Lot 57 Ortega Subdivision, Lot 58 Ortega Subdivision, Lot 59 Ortega Subdivision, Lot 60 Ortega Subdivision, Lot 61 Ortega Subdivision, Lot 62 Ortega Subdivision, Lot 63 Ortega Subdivision, Lot 64 Ortega Subdivision, Lot 65 Ortega Subdivision, Lot 66 Ortega Subdivision, Lot 67 Ortega Subdivision, Lot 68 Ortega Subdivision, Lot 69 Ortega Subdivision, Lot 70 Ortega Subdivision, Lot 71 Ortega Subdivision, Lot 72 Ortega Subdivision, Lot 73 Ortega Subdivision, Lot 74 Ortega Subdivision, Lot 75 Ortega Subdivision, Lot 76 Ortega Subdivision, Lot 77 Ortega Subdivision, Lot 78 Ortega Subdivision, Lot 79 Ortega Subdivision, Lot 80 Ortega Subdivision, Lot 81 Ortega Subdivision, Lot 82 Ortega Subdivision, Lot 83 Ortega Subdivision, Lot 84 Ortega Subdivision, Lot 85 Ortega Subdivision, Lot 86 Ortega Subdivision, Lot 87 Ortega Subdivision, Lot 88 Ortega Subdivision, Lot 89 Ortega Subdivision, Lot 90 Ortega Subdivision, Lot 91 Ortega Subdivision, Lot 92 Ortega Subdivision, Lot 93 Ortega Subdivision, Lot 94 Ortega Subdivision, Lot 95 Ortega Subdivision, Lot 96 Ortega Subdivision, Lot 97 Ortega Subdivision, Lot 98 Ortega Subdivision, Lot 99 Ortega Subdivision, Lot 100 Ortega Subdivision.

Reference - ALTA / NSPS Land Survey of the subject property prepared by CSI-Cartesian Surveys, Inc., dated, October 29, 2021.



Project will include the demolition and removal of existing structures, vegetation, pavement, etc. as necessary to construct a new Champion Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the site.

Address:5307 4th Street NW, Albuquerque NM, 87107
Legal Description: Lot 1, Block 2 Douglas MacArthur Subdivision and Tract 112-A-2
M.R.G.C.D Map 32
Area: 1.1155 acres
Zoning: Mixed Use - Moderate Intensity Zone District
Overlay District: CPO-9 Overlay & the UC-MS-PT Plan
Flood Zone Designation: FIRM # 35001C0119g, effective date: February 4, 2011
Zone "X": Areas of reduced flood risk due to levee..



OUTLET STRUCTURE SECTION

[illegible]

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
5307 4TH STREET NW
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BURKHARDT
ENGINEERS ▸ SURVEYORS



Design: RJM	Proj: 21.262
Draw: MCM	Dwg: 21-262.dwg
Check: RJM	Tab: C3.0-GP
Scale: 1" = 20'	

Date: 05.09.2022

GRADING PLAN

Sheet No.:

C-3.0

Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ~ "SO-19")

1. Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services Division.
2. An excavation permit will be required before beginning any work within City Right-of-Way.
3. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
4. Prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [of (505) 260-1990] for the location of existing utilities.
5. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
6. Backfill compaction shall be 95%.
7. Maintenance of the facility shall be the responsibility of the owner of the property being served.
8. Work on arterial streets may be required on a 24-hour basis.
9. For excavation and barricading inspections, contact DMD Construction Services Division.

STORM WATER MANAGEMENT NOTES:

Existing Lot Coverage - 100% pervious
Proposed Lot Coverage - 72% impervious / 28% landscaping

Net Increase in Storm Water Runoff due to Development

Methodology:
Albuquerque Development Process Manual
Chapter 6, Section 2, Part A;

"A simplified procedure for projects with sub-basins smaller than 40 acres has been developed based on initial abstraction / uniform infiltration precipitation losses and Rational Method procedures."

The proposed detention basin outlets to 4th St. NW at lower release rates than the existing conditions as shown in the table below. The Access road from the South partially drains into the Basin and the area south of the building does not. In calculating the Tributary area of the Basin, these two areas were considered offsetting.

Precipitation Zone:
Precipitation Zone 2: "Between the Rio Grande and San Mateo"

Drainage Summary:
Area = 1.06 acre (Tributary Area to Basin)
Treatment C (Desert Landscaping Area) - 28% = 0.30 acres
Treatment D (Impervious Area) - 72% = 0.76 acres
100-year peak Discharge Rate = 4.05 cfs/acre (Table 6.2.14)

$Q_{100} = 4.05$ cfs (Proposed)
 $Q_{100} = 2.71$ cfs (Existing 100-year Discharge Rate)

Provided Detention Storage Volume:			
Elevation	Contour Area	Incremental Vol.	Σ Volume
(ft)	(sq-ft)	(cu-ft)	(cu-ft)
4,972	340	0	0
4,973	1,695	1,017	1,017
4,974	3,942	2,818	3,836
4,975	6,649	5,295	9,131

Average End Area Method used to calculate storage volumes.

$V_{100} = 7,581$ cu-ft (6-hour 100-year Storage Volume)
*Table 6.2.13 & Equation 6.1

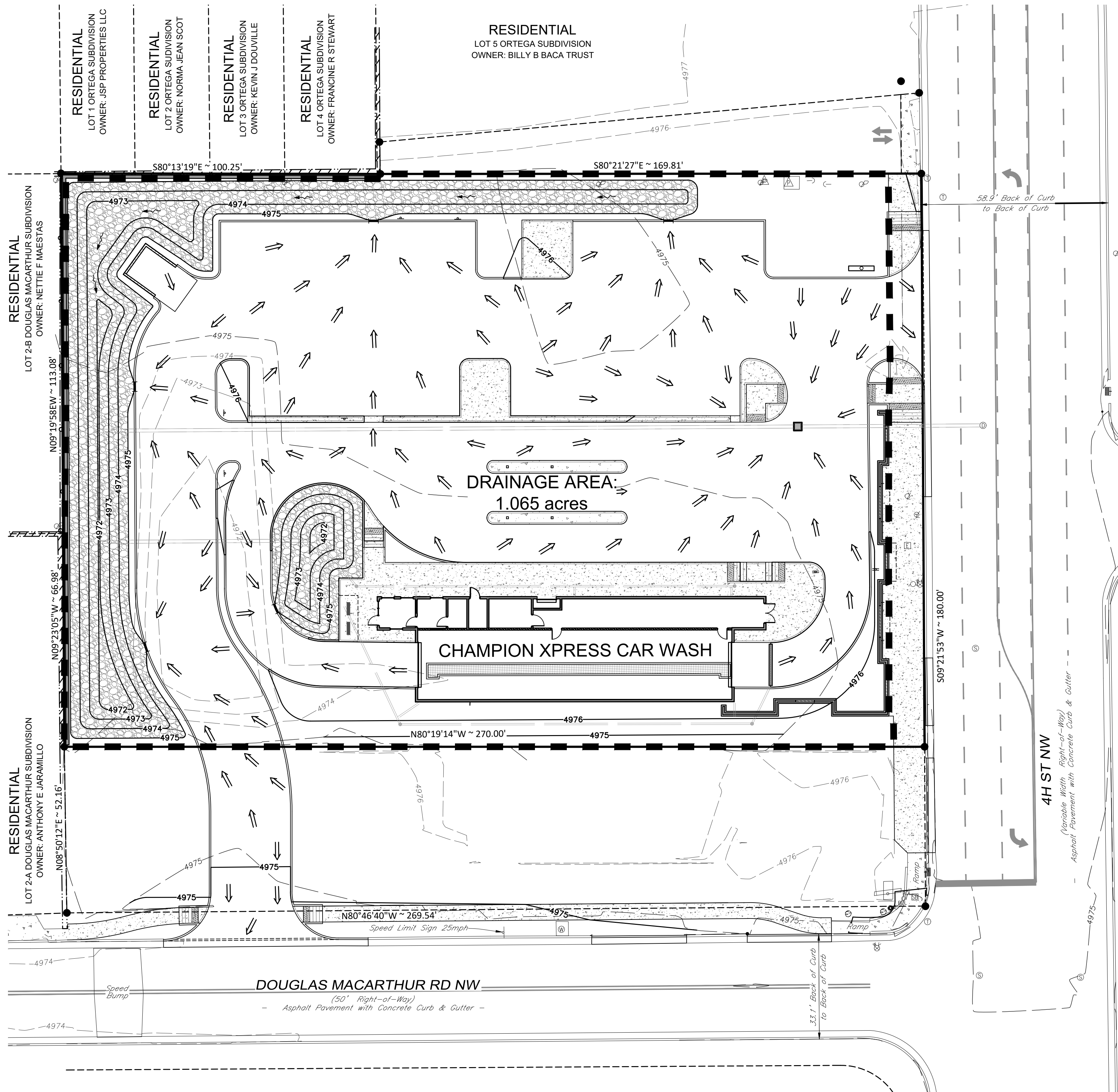
Provided Volume exceeds Required Volume (min.)

Stage Storage Discharge Summary:		
Elevation	Storage Volume	Discharge
(ft)	(sq-ft)	(cu-ft)
4,972	340	0.00
4,972.45	806	0.00
4,973	1,017	0.80
4,974	3,836	1.96
4,975	9,131	2.66

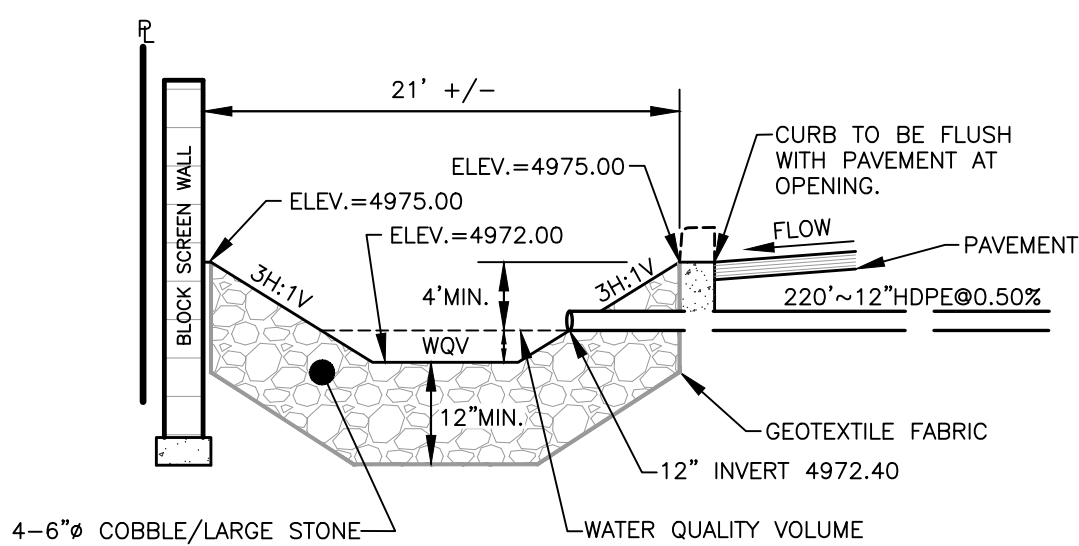
Storm Water Quality Volume (WQV) = Impervious Area x 0.26 inches
WQV = 750 cu-ft (Required)
WQV = 806 cu-ft (Provided)

$Q_{Discharge} = 2.66$ cu-ft < 2.71 cu-ft = $Q_{Existing}$

No adverse effects to neighboring properties or public right-of-way is anticipated due to site development.

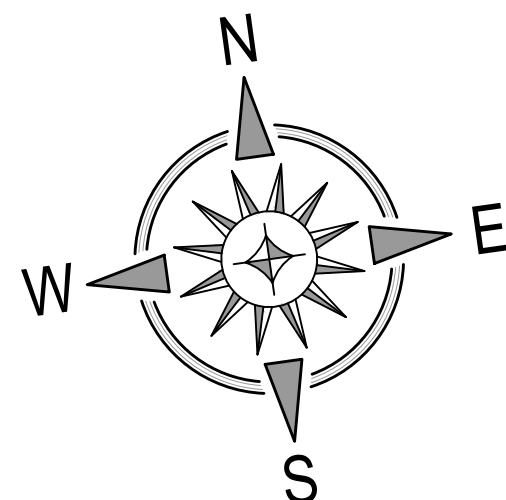
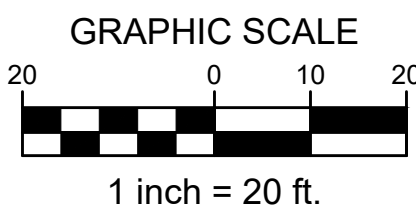


VERTICAL & HORIZONTAL CONTROL:
Reference - ALTA / NSPS Land Survey of the subject property prepared by CSI-Cartesians Surveys, Inc., dated, October 29, 2021.



NOTES:
1. GRADE OR EXCAVATE CROSS SECTION TO LINES AND GRADES SHOWN ON THE PLANS ACCORDING TO REQUIREMENTS IN THE GEOTECHNICAL REPORT.
2. PLACE RIPRAP PROTECTION TO THE THICKNESS, DEPTH, AND ELEVATIONS PER FINISHED GRADE.

DETENTION BASIN TYPICAL SECTION
NOT TO SCALE



GENERAL GRADING, EARTHWORK & DRAINAGE NOTES

1. All spot elevations indicated in pavement areas are at bottom face of curb and/or finished pavement grade unless noted otherwise. All spot elevations indicated in grass or landscape areas are finished grade unless noted otherwise.
2. The Contractor shall be responsible for the removal and disposal of all vegetation and organic materials from the site that results from clearing & grubbing activities.
3. The Contractor shall be responsible for stripping and removal of all excess topsoil from the site. All topsoil that cannot be used on site shall be removed from the site at the Contractor's expense. The Contractor may dispose of excess topsoil by burying topsoil in landscape areas only at the direction of the Owner or the Owner's Representative.
4. The Contractor will be responsible for all safety requirements and for the protection of all existing and proposed utilities or structures during earthwork procedures.
5. The Contractor shall be responsible for the import of structural fill materials if suitable material is not available on site. The location and testing of suitable material shall be the Contractor's responsibility. The Contractor shall be responsible for the export and disposal of all excess or unsuitable materials.
6. The Contractor shall provide construction dewatering as necessary to complete construction as outlined in plans.
7. The Contractor shall exercise extreme care in establishing all grades and slopes in pavement areas, ramps and sidewalks in the vicinity of handicap parking and access areas and shall comply with Federal, State, and Local Codes.
8. In areas where sheet drainage flows from grass or landscape areas onto paved areas, the finished grade in grass or landscape areas shall be 1/2 inch above the top of curb or above the pavement in areas without curb. In areas where sheet drainage flows from pavement to grass or landscaped areas, the finished grade in grass or landscape areas shall be 1/2 inch below the pavement.
9. The Contractor shall provide positive drainage in all areas and away from all buildings.
10. All pavement shall be laid on a straight, even, and uniform grade with a minimum of 1:100 (1.0%) slope toward the collection points unless otherwise specified on plans. Cut or fill slopes in unpaved areas shall not exceed 3:1 (33.3%) maximum grade unless otherwise noted on plans.
11. ADA accessible areas shall not exceed the following slopes:
Ramps - 1:12 (8.3%) max.
Routes - 1:20 (5.0%) max.
Parking - 1:50 (2.0%) max.
Cross Slopes - 1:50 (2.0%) max.
12. The Contractor shall adjust tops/lids/grates of all cleanouts, manholes, inlets, valves, etc. to match final grade.
13. Following grading of subsoil to subgrade elevations, the Contractor shall provide 4" of topsoil (minimum) in all disturbed areas which are not to be paved. Final grades should be smoothly finished to surrounding areas and ensure positive drainage. Stockpiled topsoil shall be screened prior to respreading and should be free of subsoil, debris, and stones.
14. The Contractor shall be responsible for determining exact quantities of cut and/or fill for estimating and construction and should alert the Engineer of any excessive cut and/or fill, especially if additional cut and/or fill will be required due to poor existing soil conditions discovered during earthwork operations.
15. Refer to the Architectural and Structural Plans for information regarding any perimeter foundation drains.
16. The Contractor shall obtain a copy of the Geotechnical / Soils Report and become thoroughly familiar with site and subgrade information and fully implement recommendations given therein.

GRADING LEGEND

M/E	MATCH EXISTING PAVEMENT GRADE
E/P	EDGE-OF-PAVEMENT (NO CURB)
S/P	SIDEWALK PAVEMENT
T/C	TOP-OF-CURB
C/P	CONCRETE PAVEMENT
G/T	GUTTER FLOW LINE
F/F	FINISHED FLOOR GRADE
T/G	CONVEYOR TRENCH GRATE ELEVATION
F/L	FLOW LINE OF 3' CURB CUT
←	SHEET FLOW
↔	GUTTER FLOW
+00.00	PROP. SPOT ELEVATION
-0000	PROP. CONTOUR
[Pattern]	LANDSCAPE AREA
[Pattern]	ROCK LINER / RIP-RAP



SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
5307 4TH STREET NW
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM Proj: 21.262
Draw: MCM Dwg: 21-262.dwg
Check: RJM Tab: C3.1-GP

Scale: 1" = 20'
Date: 05.09.2022

Sheet:

GRADING PLAN

Sheet No.:

C-3.1



Know what's below.
Call before you dig.

TAKE CAUTION DURING EXCAVATION:
THERE ARE UNDERGROUND UTILITY LINES IN THE CONSTRUCTION AREA WHICH MAY NOT HAVE BEEN LOCATED ACCURATELY BY THE SURVEYOR / UTILITY OWNERS. NOTIFY "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.