

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

May 26, 2022

Mitchell Monnin
Burkhardt Engineers, Surveyors
28 north Cherry St.
Germantown, Ohio 45327

Re: Champion Xpress Car Wash
5307 4th St. NW
Traffic Circulation Layout
Engineer's Stamp 05-09-22 (F14-D036A)

Dear Mr. Merchant,

Based upon the information provided in your submittal received 05-25-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Provide existing sidewalk dimension.
2. Provide design details for both proposed drive accesses. And call out COA std. dwg.
3. Please specify the City Standard Drawing Number when applicable.
4. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the adjacent property owner.
5. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing 2415A for curb and gutter and 2430 for sidewalk.
6. Please Provide shared access agreement even if both lot belong to the same owner.
7. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

For log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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Mayor Timothy M. Keller

A handwritten signature in black ink, appearing to read 'Marwa Al-najjar', with a long horizontal line extending from the end.

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

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City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Champion Xpress Car Wash Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Legal Description: Lot 1, Block 2 Douglas MacArthur Subdivision and Tract 112-A-2 M.R.G.C.D Map 32.

City Address: 5307 4TH Street NW, Albuquerque NM, 87107

Applicant: Mitchell Monnin Contact: _____

Address: 28 North Cherry Street Germantown, OH 45327

Phone#: 937-388-0060 Fax#: _____ E-mail: mmonnin@burkhardtinc.com

Other Contact: Modulus Architects Contact: Regina Okoye

Address: 100 Sun Ave. NE, suite 600, Albuquerque, NM 87109

Phone#: 505-267-7686 Fax#: _____ E-mail: rokoye@modulusarchitects.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE X ADMIN SITE

IS THIS A RESUBMITTAL? X Yes _____ No

DEPARTMENT X TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
X TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY

_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL

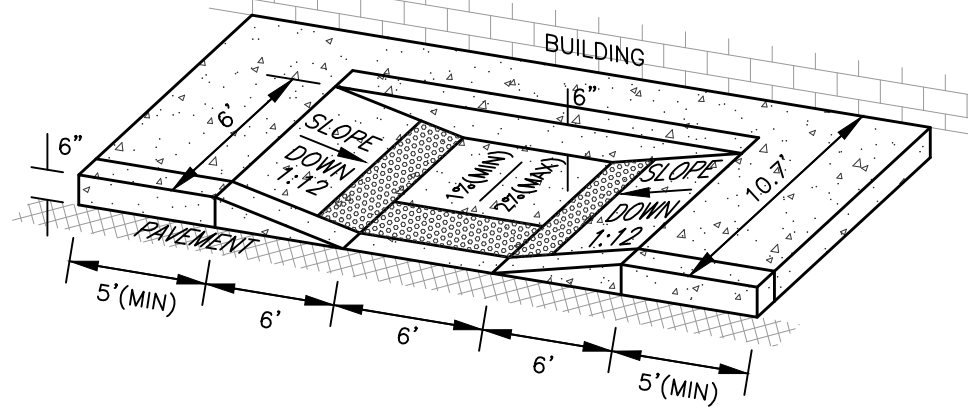
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: May 25, 2022 By: Mitchell Monnin

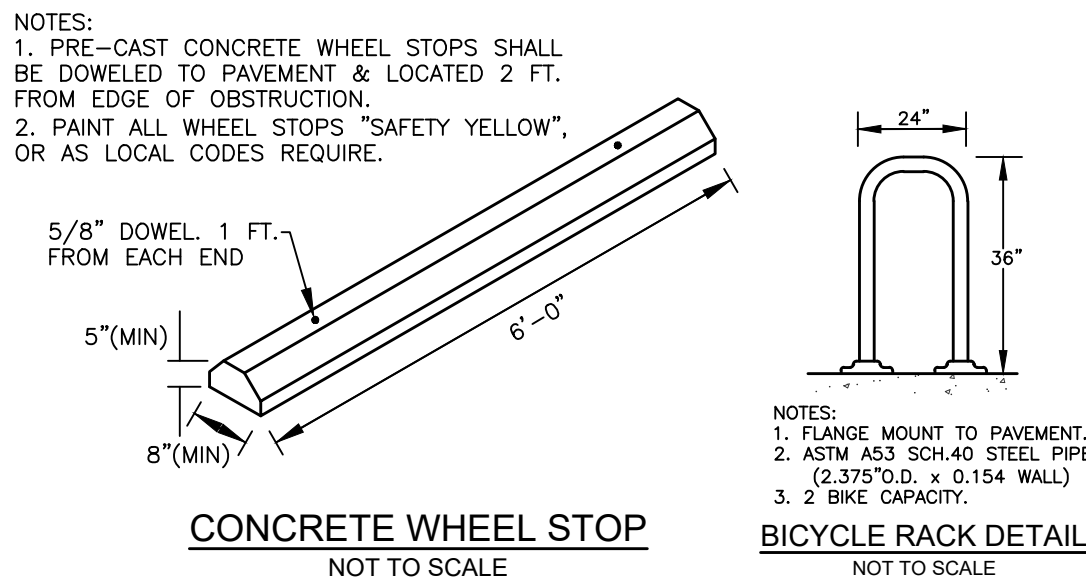
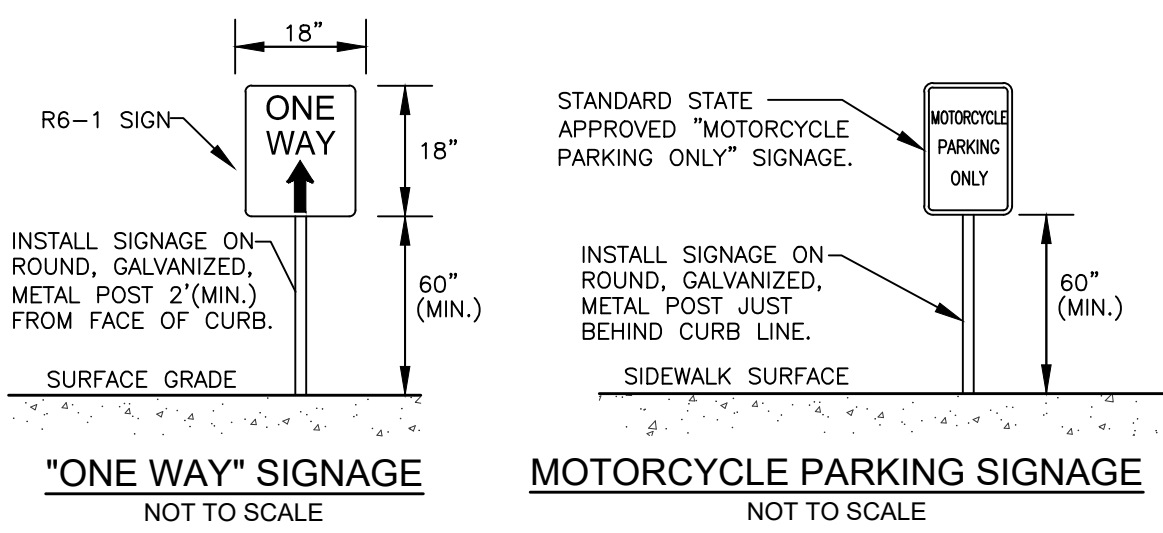
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



ADA ACCESSIBLE RAMP DETAILS
NOT TO SCALE



PARKING AND STACKING SUMMARY

CHAMPION XPRESS CAR WASH
Building Area = 2,450 sq-ft (1,090 sq-ft of non-wash bay/mechanical room)
Wash Bay Stacking Provided: 23 vehicles
Vacuum Parking Provided: 16 spaces (18'x12')
Employee/Standard Parking Provided: 7 spaces (18'x9')
Motorcycle Parking Provided: 1 Space (18'x6.5')
Bicycle Parking Provided: 4 Spaces (2 Racks)
ADA Parking Provided: 1 Space (18'x11')
ADA Vacuum Parking Provided: 1 Space (18'x12')

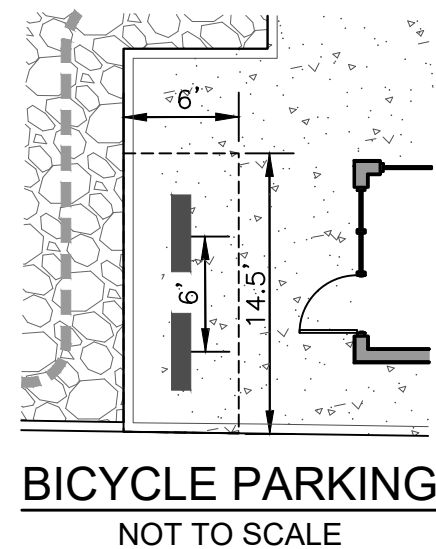
REQUIRED STANDARD PARKING = 2 Stalls
Use = Car Wash
2 spaces / 1,000 sq-ft GFA of retail, office, and waiting area (1090 sq-ft / 1000)
per IDO Table 5-5-1: Off-street Parking Requirements

REQUIRED STACKING SPACES = 3 (three) 20' spaces from end of washing bay
Activity = Car Wash
per IDO Table 5-5-8: Required Stacking Spaces

REQUIRED MOTORCYCLE PARKING = 1 Space
per IDO Table 5-5-4: Motorcycle Parking Requirements

REQUIRED BICYCLE PARKING = 3 Spaces
per IDO Table 5-5-5: Bicycle Parking Requirements

REQUIRED ADA PARKING = 1 Space
per ADA Table 208.2: Minimum Number of Accessible Parking Spaces



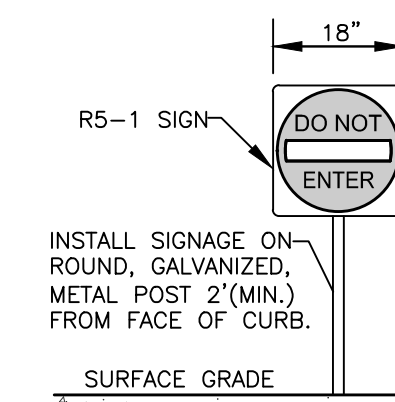
BICYCLE PARKING
NOT TO SCALE

STANDARD, STATE APPROVED
HANDICAPPED SIGNAGE WITH
"VIOLATORS ARE SUBJECT TO
A FINE AND/OR TOWING"

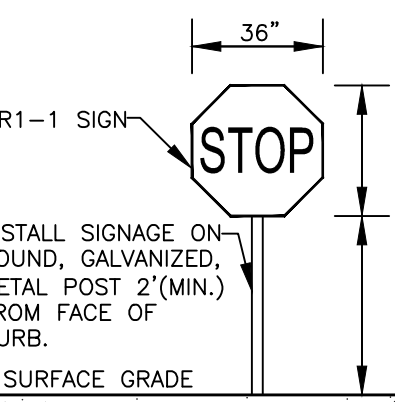
PROVIDE ADDITIONAL SIGNAGE
BELOW THE HANDICAPPED
SIGN AS REQUIRED.

INSTALL SIGNAGE ON ROUND,
GALVANIZED, METAL POST 2"(MIN.)
FROM FACE OF CURB LINE.

ADA PARKING SIGNAGE
NOT TO SCALE



"DO NOT ENTER" SIGNAGE
NOT TO SCALE



"STOP" SIGNAGE
NOT TO SCALE

- See Fire 1 Plan, sheet C-2.1 for Fire Marshal's Office Hydrant and fire Access approval.
- See Site Plan, sheet C-2.2 for detailed site installations.
- See Grading and Drainage Plan, sheet C-3.0 for pavement slope details.
- Access Drive area slope range = 1.0% minimum to 6.0% maximum
- Parking area slope range = 1.0% minimum to 8.0% maximum
- Handicap Parking area slope range = 1.0% minimum to 2.0% maximum

CITY STANDARD DETAILS

STANDARD DETAIL	DRAWING NUMBER
ROLL CURB	2415A
6" STANDARD C & G	2415A
DRIVEWAY APPROACH	2426

All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter per the City of Albuquerque Standard Drawing No. 2415 and No. 2430.

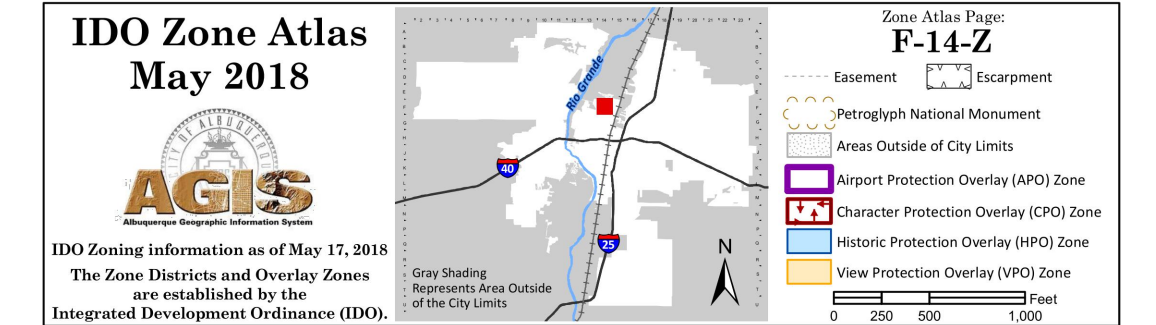
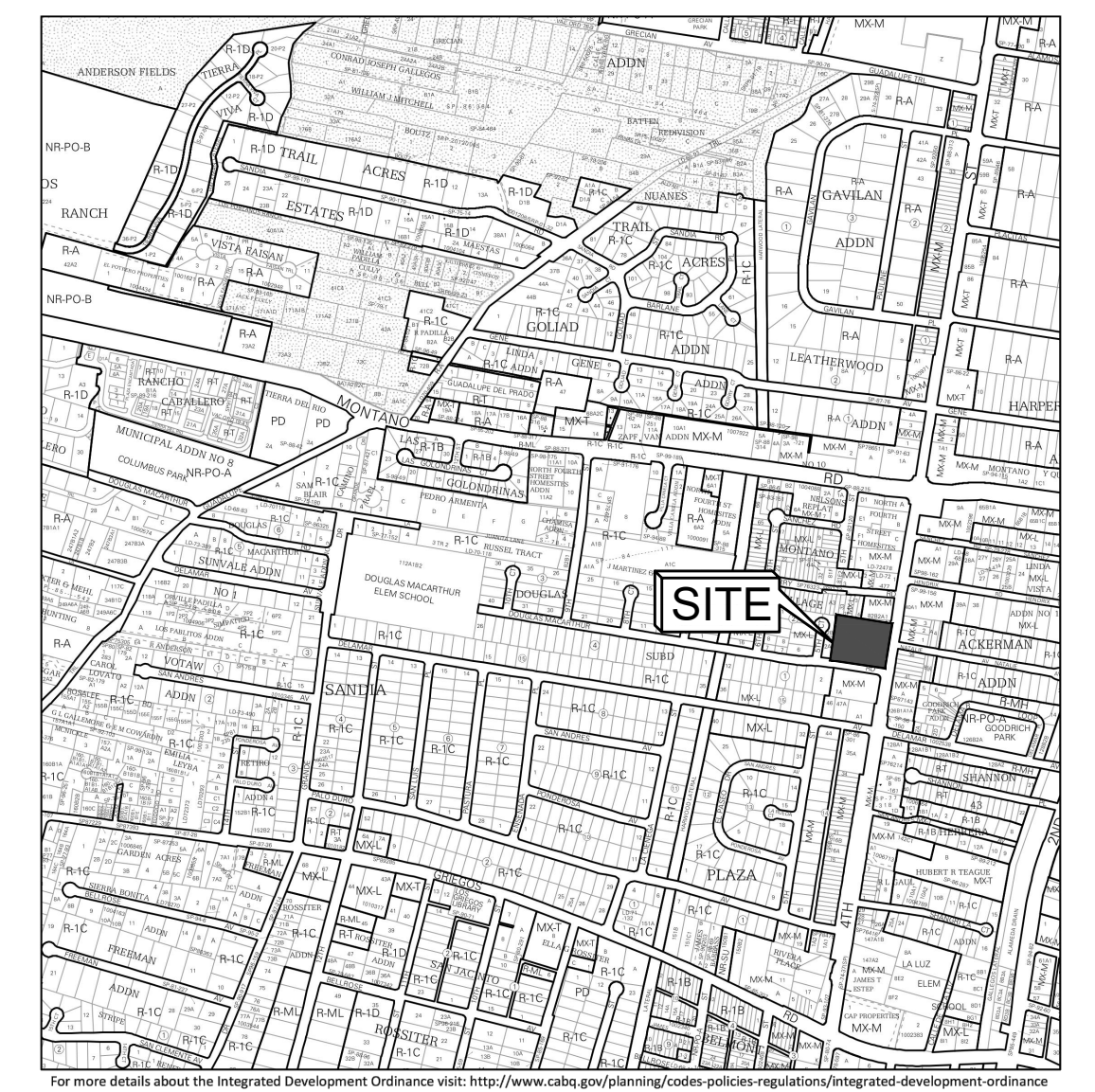
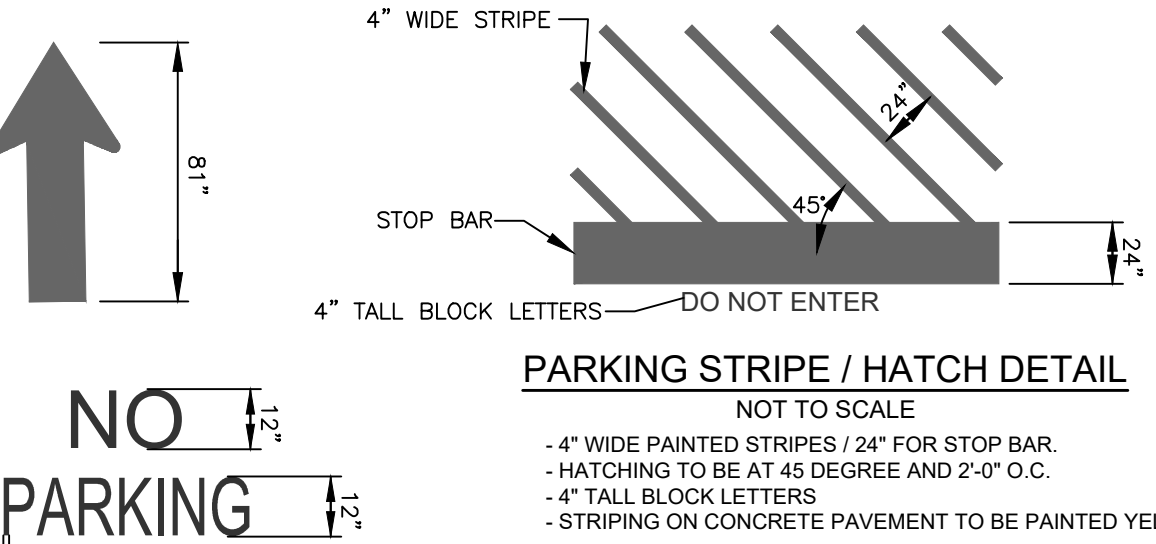
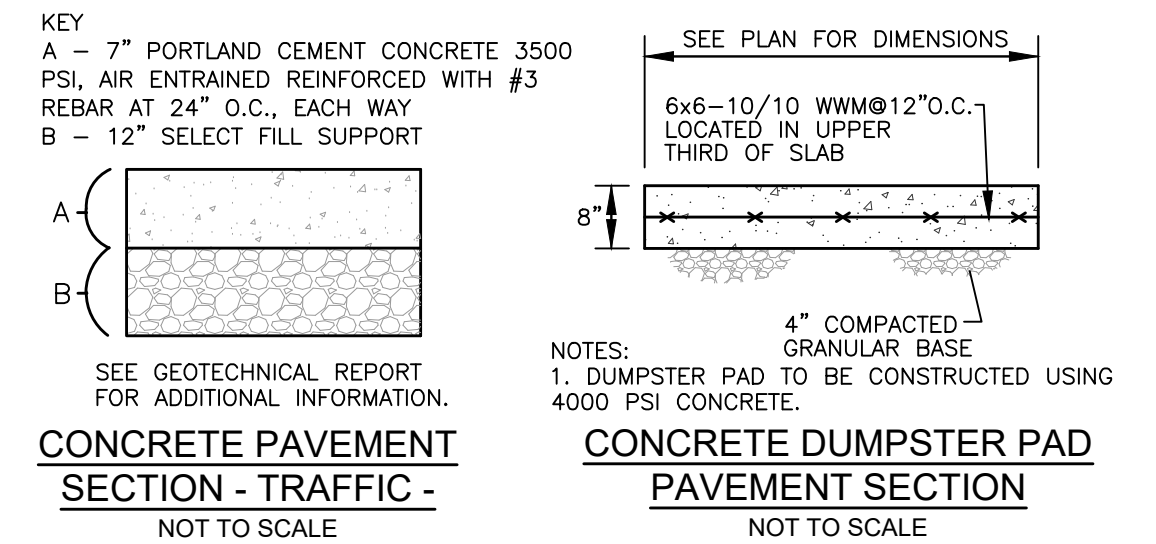
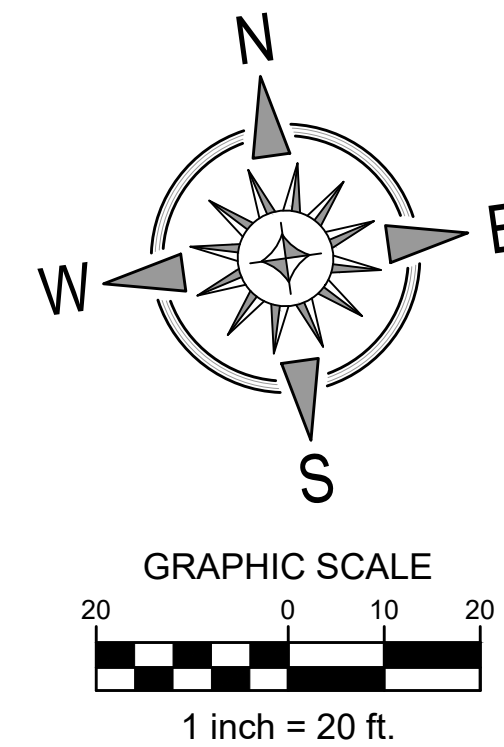
VERTICAL & HORIZONTAL CONTROL:

Reference - ALTA / NSPS Land Survey of the subject property prepared by CSI-Cartesian Surveys, Inc., dated, October 29, 2021.

CLEAR SITE TRIANGLE NOTE:
Landscaping, signage, walls, fences, trees, and shrubbery between 3 feet and 8 feet tall (as measured from the gutter pan) are not allowed within the clear site triangle.

ACCESSIBLE PARKING SYMBOL & MARKING NOTES

A paved accessible parking space must include:
- The International Symbol of Accessibility conspicuously on the surface in a color that contrasts the pavement.
- The words "NO PARKING" painted on any access aisle adjacent to the parking space.
Words must be painted in all capital letters with a letter height of at least twelve inches, a stroke width of at least two inches, and centered within each access aisle adjacent to the parking space.



PROJECT SUMMARY
Project will include the demolition and removal of existing structures, vegetation, pavement, etc. as necessary to construct a new Champion Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the site.

PROPERTY INFORMATION
Address: 5307 4th Street NW, Albuquerque NM, 87107
Legal Description: Lot 1, Block 2 Douglas MacArthur Subdivision and Tract 112-A-2 M.R.G.C.D Map 32
Area: 1.1155 acres
Zoning: Mixed Use - Moderate Intensity Zone District
Overlay District: CPO-9 Overlay & the UC-MS-PT Plan
Flood Zone Designation: FIRM # 35001C0119G., effective date: February 4, 2011
Zone "X": Areas of reduced flood risk due to levee.

SITE AND PAVEMENT LEGEND	
	CONCRETE WHEEL STOP
	ADA PARKING SYMBOL
	PROPOSED LIGHT POLE
	DIRECTIONAL PARKING LOT ARROW
	ADA ACCESSIBLE PEDESTRIAN PATHWAY
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	TRUNCATED DOMES



Date	
Description	
Item	

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
5307 4TH STREET NW
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM	Proj: 21.262
Draw: MCM	Dwg: 21-262.dwg
Check: RJM	Tab: C22-SP
Scale: 1" = 20'	
Date: 05.24.2022	
Sheet: TRAFFIC CIRCULATION LAYOUT PLAN	
Sheet No.: C-2.0	

May 25, 2022
City of Albuquerque
Attn: Nilo Salgado-Fernandez
PO Box 1293
Albuquerque, NM 87103

RE: Champion Xpress Car Wash – Traffic Circulation Review

Below are my responses to the Traffic Circulation Review dated May 12, 2022.

1. The existing Property line has been added and both lines are now labeled.
 2. The dimension on the 4th Street access has been added.
 3. The drive approach on Douglas Macarthur Rd has been revised to 24' wide to meet the maximum allowable width for a local street.
 4. Existing and proposed drive accesses have been labeled.
 5. A chart showing the city standard details, has the Driveway Approach called out and within that drawing the details for the approach are located.
 6. The words "NO PARKING" has been added to both ADA areas.
 7. The ADA ramp details have been revised to show the truncated domes.
 8. Sidewalk is placed along the East property line and the south sidewalk is placed within a sidewalk easement that will be recorded with the plat.
 9. See the attached Solid waste approval. Trash enclosure location has been revised per solid waste comments.
 10. See the attached Fire 1 Plan.
 11. See the chart "City Standard Details" for city standard drawing numbers.
 12. Both properties are being purchased by the developer, and as part of that they will be drafting up an Access Agreement for the lot in question once property is under their ownership.
 13. Notes have been added to the areas where new curb and gutter shall be installed per city standards.
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1. Please see attached Revised Traffic Circulation Layout.
 2. Please see attached Fire 1 Plan Approval & Solid Waste Approval
 3. An electronic copy of this submittal has been sent to the PLNDRS@cabq.gov email.
 4. Please provide additional information for payment of \$75.00 fee.

Please let me know if you have any questions regarding the above responses.

Sincerely,
Mitchell Monnin, E.I.T.
Graduate Engineer