

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

August 16, 2022

Mitchell Monnin  
Burkhardt Engineers & Surveyors  
28 North Cherry St.  
Germantown, OH 45327

**Re: Champion Xpress Car Wash**  
**5307 4<sup>th</sup> St. NW**  
**Traffic Circulation Layout**  
Architect's Stamp 05-31-2022 (F14-D036A)

Dear Mr. Monnin,

The TCL submittal received 06-01-2022 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Champion Xpress Car Wash Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Legal Description: Lot 1, Block 2 Douglas MacArthur Subdivision and Tract 112-A-2 M.R.G.C.D Map 32.

City Address: 5307 4TH Street NW, Albuquerque NM, 87107

**Applicant:** Mitchell Monnin Contact: \_\_\_\_\_

Address: 28 North Cherry Street Germantown, OH 45327

Phone#: 937-388-0060 Fax#: \_\_\_\_\_ E-mail: mmonnin@burkhardtinc.com

**Other Contact:** Modulus Architects Contact: Regina Okoye

Address: 100 Sun Ave. NE, suite 600, Albuquerque, NM 87109

Phone#: 505-267-7686 Fax#: \_\_\_\_\_ E-mail: rokoye@modulusarchitects.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE X ADMIN SITE

IS THIS A RESUBMITTAL? X Yes \_\_\_\_\_ No

**DEPARTMENT** X TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- \_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_ CLOMR/LOMR  
X TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- \_\_\_\_ BUILDING PERMIT APPROVAL  
X CERTIFICATE OF OCCUPANCY  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

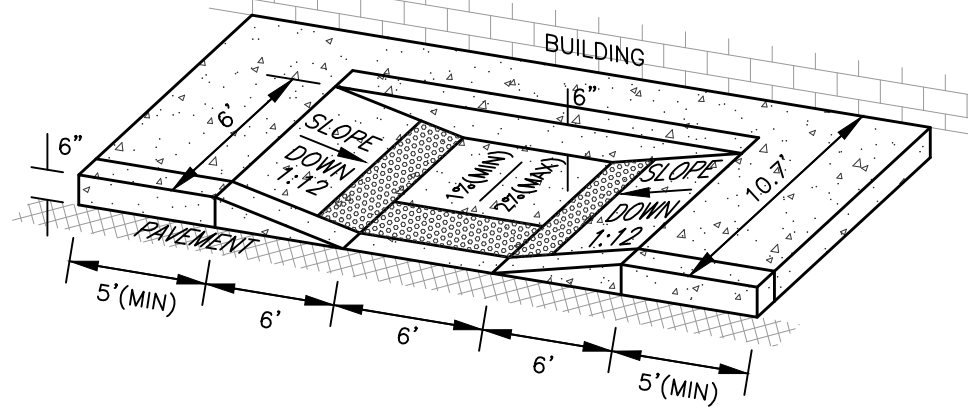
DATE SUBMITTED: June 01, 2022 By: Mitchell Monnin

COA STAFF:

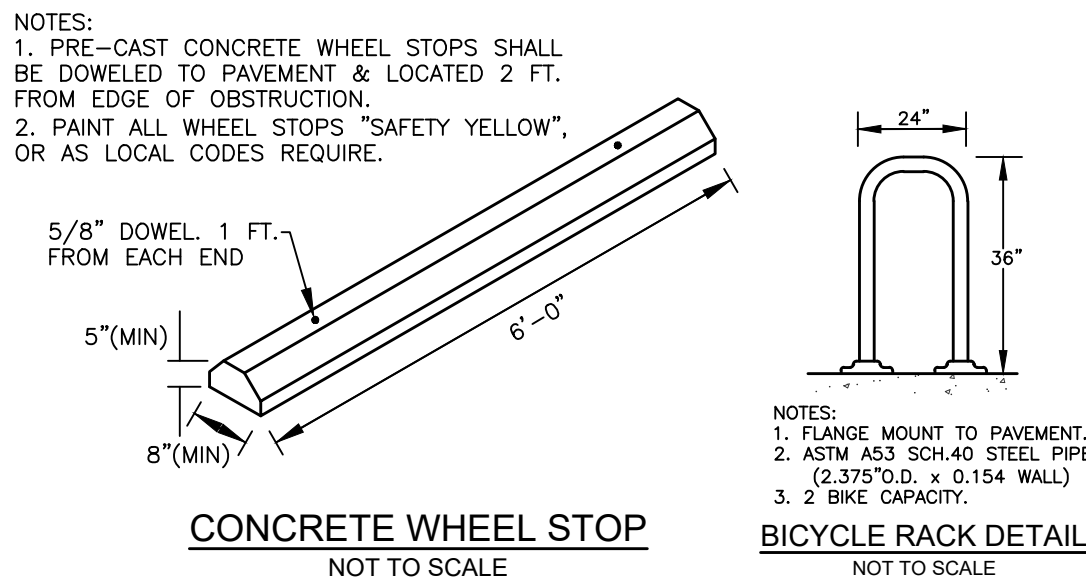
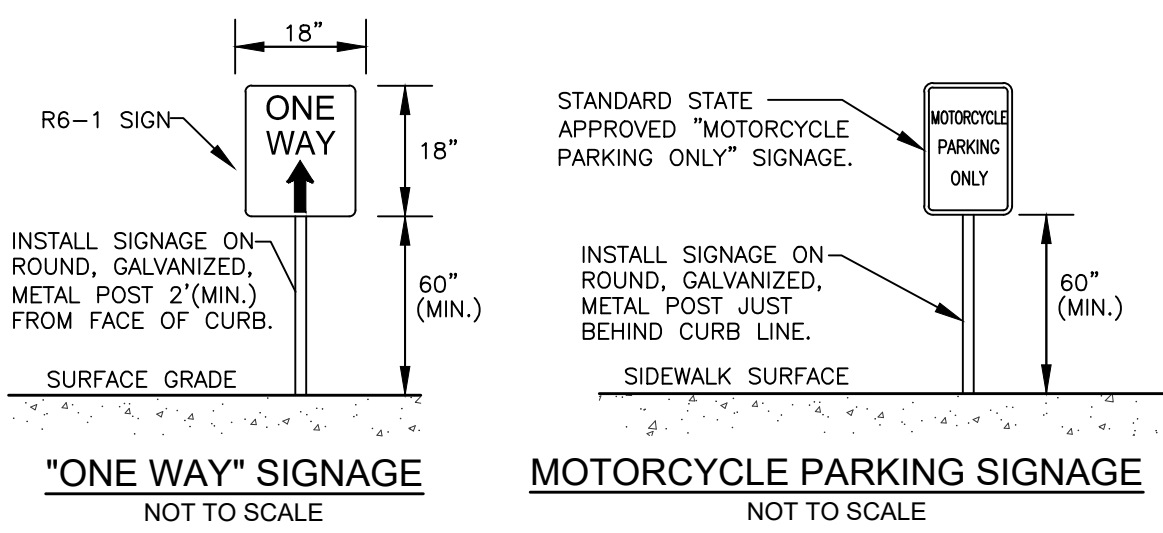
ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





ADA ACCESSIBLE RAMP DETAILS  
NOT TO SCALE



## PARKING AND STACKING SUMMARY

**CHAMPION XPRESS CAR WASH**  
Building Area = 2,450 sq-ft (1,090 sq-ft of non-wash bay/mechanical room)  
Wash Bay Stacking Provided: 23 vehicles  
Vacuum Parking Provided: 16 spaces (18'x12')  
Employee/Standard Parking Provided: 7 spaces (18'x9')  
Motorcycle Parking Provided: 1 Space (18'x6.5')  
Bicycle Parking Provided: 4 Spaces (2 Racks)  
ADA Parking Provided: 1 Space (18'x11')  
ADA Vacuum Parking Provided: 1 Space (18'x12')

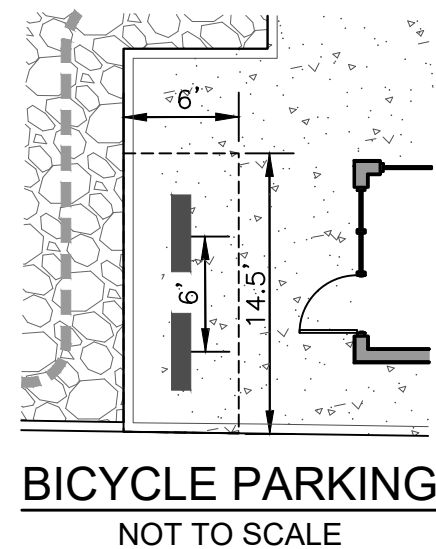
REQUIRED STANDARD PARKING = 2 Stalls  
Use = Car Wash  
2 spaces / 1,000 sq-ft GFA of retail, office, and waiting area (1090 sq-ft / 1000)  
per IDO Table 5-5-1: Off-street Parking Requirements

REQUIRED STACKING SPACES = 3 (three) 20' spaces from end of washing bay  
Activity = Car Wash  
per IDO Table 5-5-8: Required Stacking Spaces

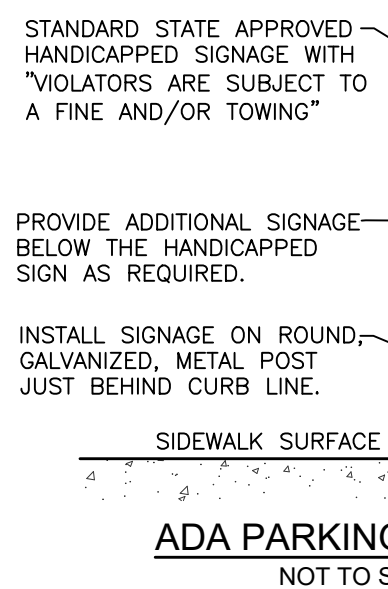
REQUIRED MOTORCYCLE PARKING = 1 Space  
per IDO Table 5-5-4: Motorcycle Parking Requirements

REQUIRED BICYCLE PARKING = 3 Spaces  
per IDO Table 5-5-5: Bicycle Parking Requirements

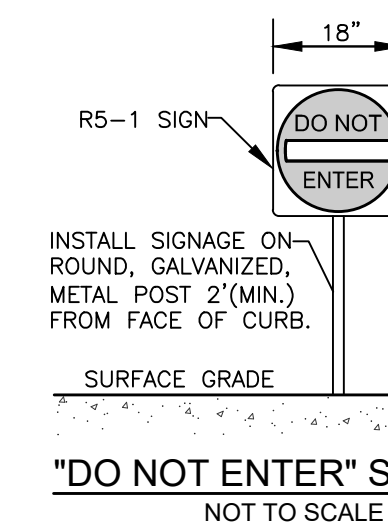
REQUIRED ADA PARKING = 1 Space  
per ADA Table 208.2: Minimum Number of Accessible Parking Spaces



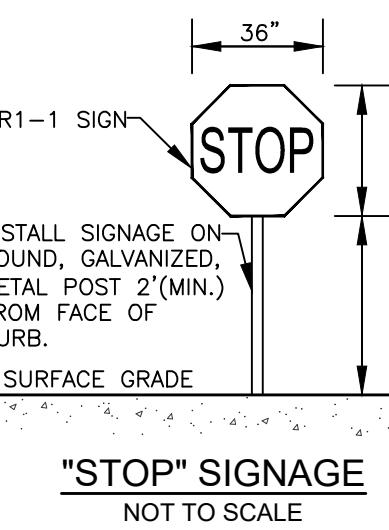
BICYCLE PARKING  
NOT TO SCALE



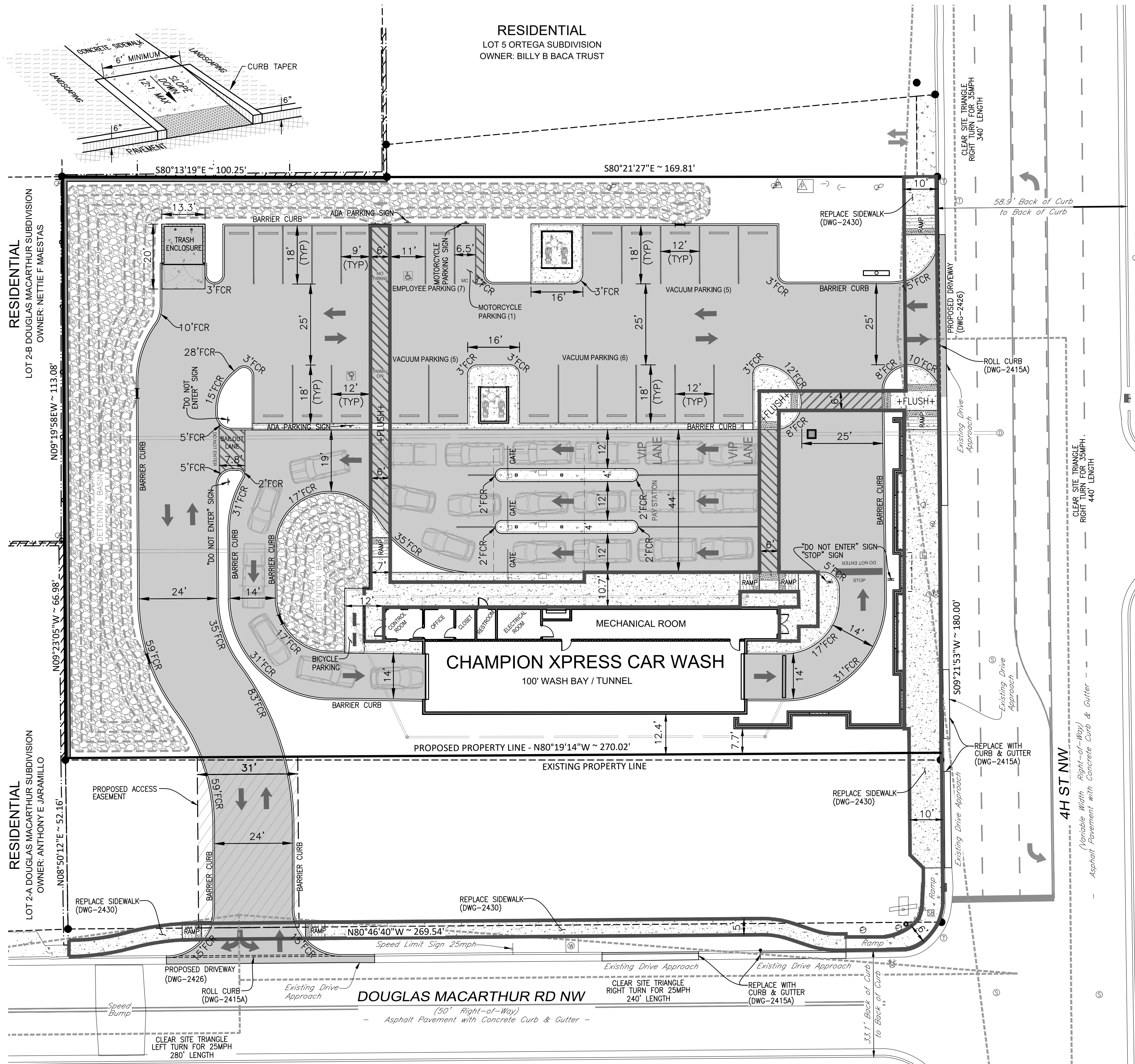
ADA PARKING SIGNAGE  
NOT TO SCALE



"DO NOT ENTER" SIGNAGE  
NOT TO SCALE



"STOP" SIGNAGE  
NOT TO SCALE



## CITY STANDARD DETAILS

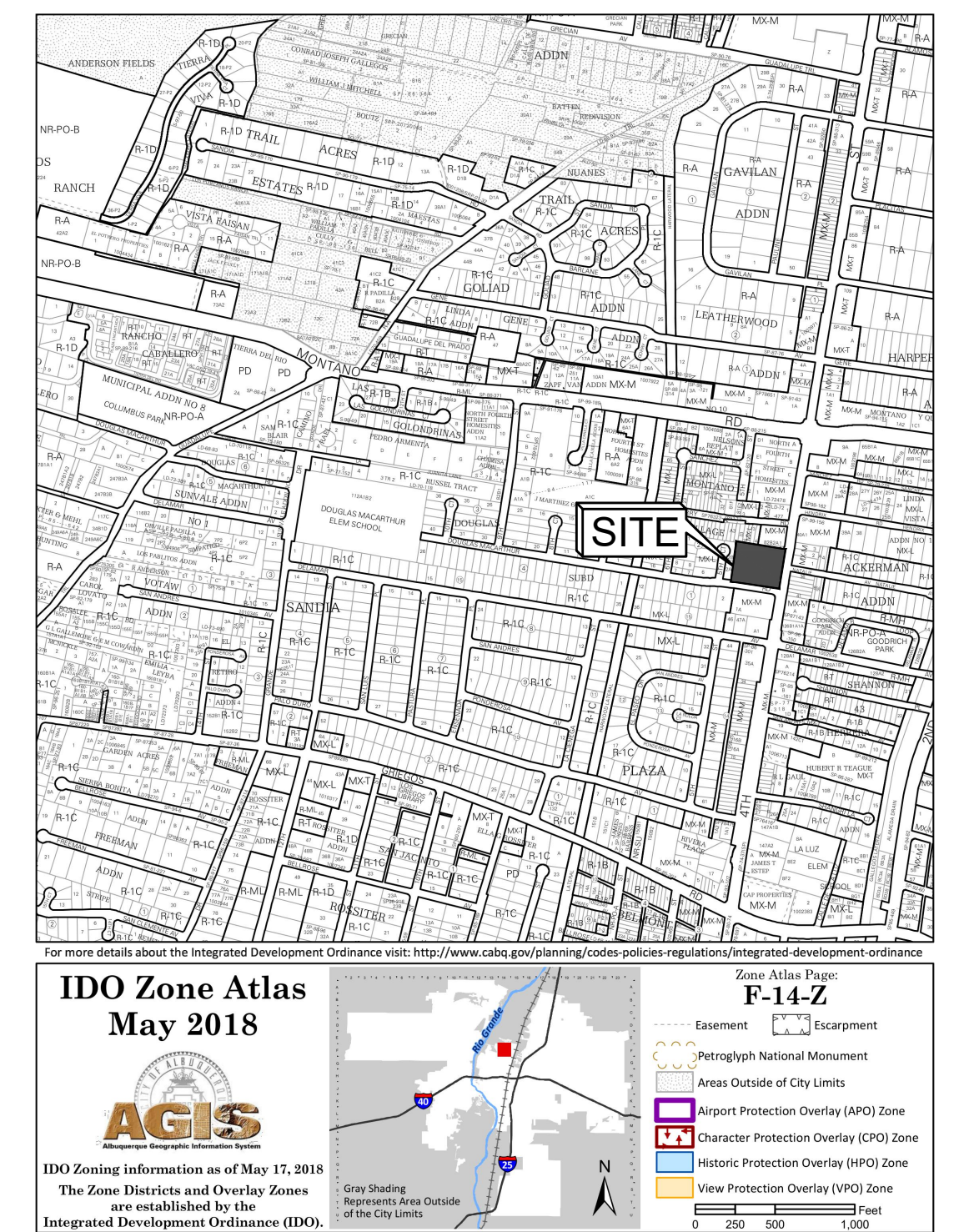
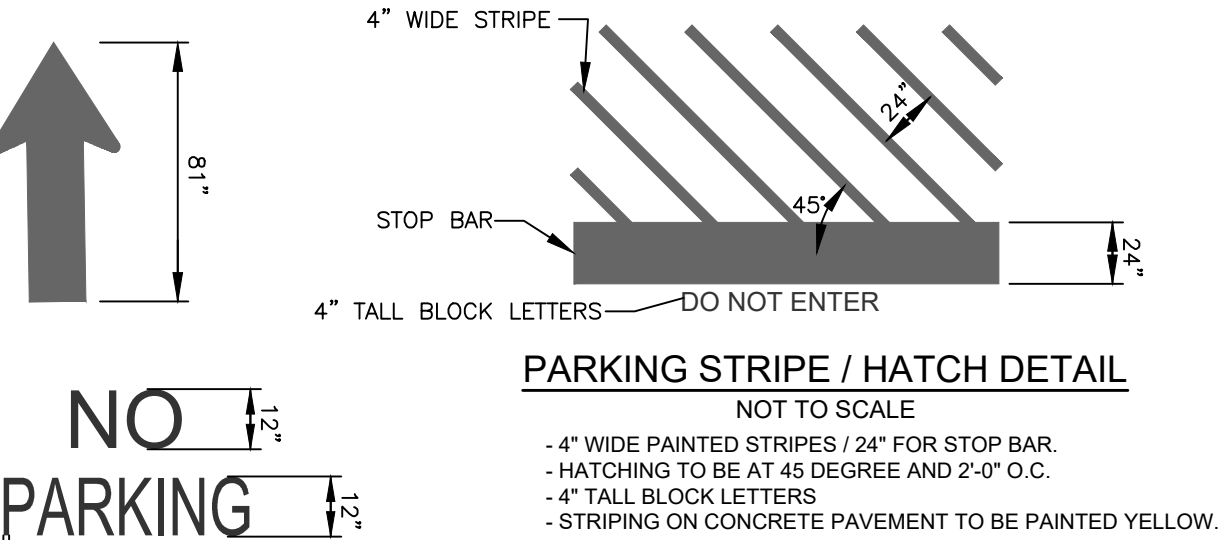
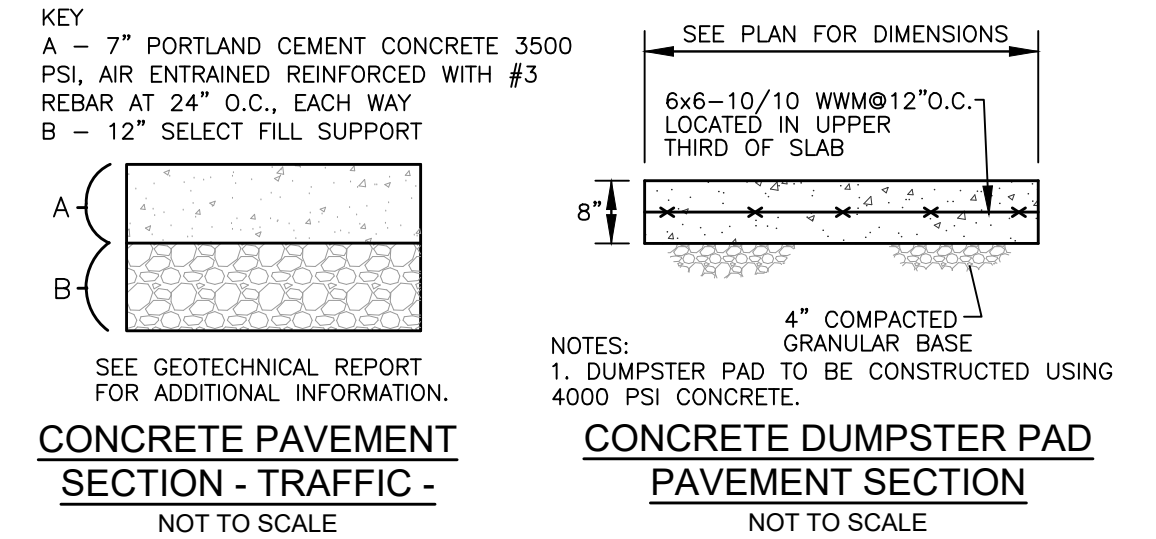
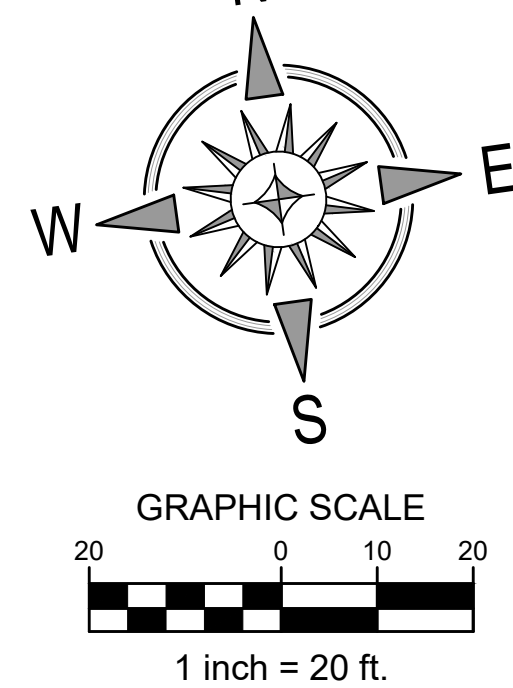
STANDARD DETAIL	DRAWING NUMBER
ROLL CURB	2415A
6" STANDARD C & G	2415A
DRIVEWAY APPROACH	2426
SIDEWALK	2430

**VERTICAL & HORIZONTAL CONTROL:**  
Reference - ALTA / NSPS Land Survey of the subject property  
prepared by CSI-Cartesian Surveys, Inc., dated, October 29, 2021.

All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter per the City of Albuquerque Standard Drawing No. 2415 and No. 2430.

CLEAR SITE TRIANGLE NOTE:  
Landscaping, signage, walls, fences, trees, and shrubbery between 3 feet and 8 feet tall (as measured from the gutter pan) are not allowed within the clear site triangle.

**ACCESSIBLE PARKING SYMBOL & MARKING NOTES**  
A paved accessible parking space must include:  
- The International Symbol of Accessibility conspicuously on the surface in a color that contrasts the pavement.  
- The words "NO PARKING" painted on any access aisle adjacent to the parking space.  
Words must be painted in all capital letters with a letter height of at least twelve inches, a stroke width of at least two inches, and centered within each access aisle adjacent to the parking space.



**PROJECT SUMMARY**  
Project will include the demolition and removal of existing structures, vegetation, pavement, etc. as necessary to construct a new Champion Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the site.

**PROPERTY INFORMATION**  
Address: 5307 4th Street NW, Albuquerque NM, 87107  
Legal Description: Lot 1, Block 2 Douglas MacArthur Subdivision and Tract 112-A-2 M.R.G.C.D Map 32  
Area: 1.1155 acres  
Zoning: Mixed Use - Moderate Intensity Zone District  
Overlay District: CPO-9 Overlay & the UC-MS-PT Plan  
Flood Zone Designation: FIRM # 35001C0119G, effective date: February 4, 2011  
Zone "X": Areas of reduced flood risk due to levee.

## SITE AND PAVEMENT LEGEND

- CONCRETE WHEEL STOP
- ADA PARKING SYMBOL
- PROPOSED LIGHT POLE
- DIRECTIONAL PARKING LOT ARROW
- ADA ACCESSIBLE PEDESTRIAN PATHWAY
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- TRUNCATED DOMES



Date	
Description	
Item	

SITE DEVELOPMENT PLANS FOR  
**CHAMPION XPRESS CAR WASH**  
5307 4TH STREET NW  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM	Proj: 21.262
Draw: MCM	Dwg: 21-262.dwg
Check: RJM	Tab: C22-SP
Scale: 1" = 20'	
Date: 05.31.2022	

Sheet:  
**TRAFFIC CIRCULATION LAYOUT PLAN**

Sheet No.:  
**C-2.0**

