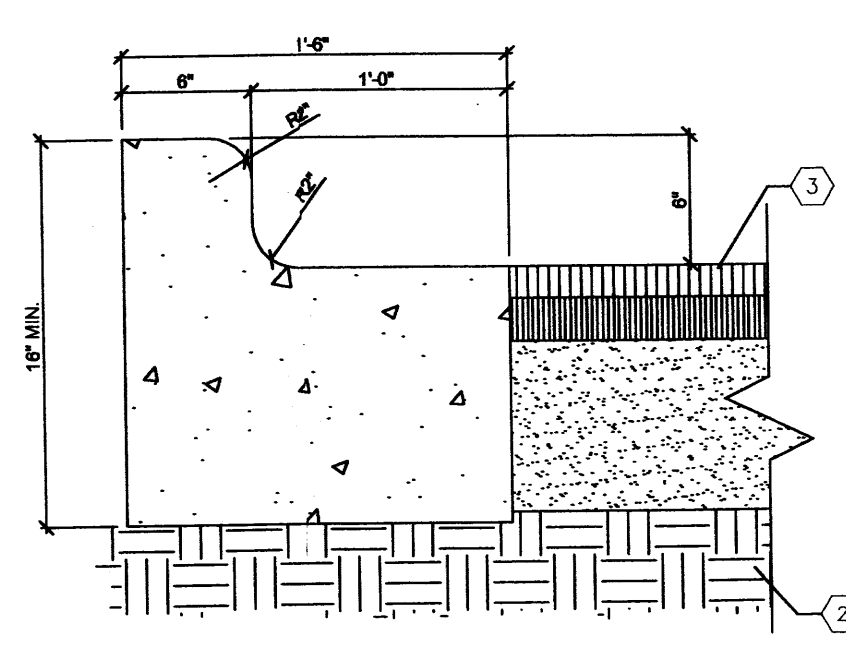


KEYED NOTES

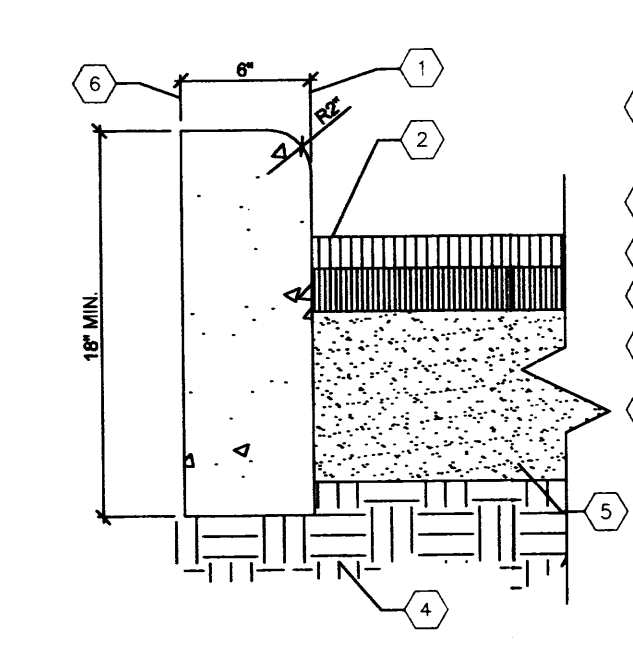
1. ACCESSIBLE RAMP.
2. TRANSFORMER LOCATION.
3. COMPACTOR LOCATION - PAD & ENCLOSURE TO CURRENT CITY OF ALBUQUERQUE REQUIREMENTS.
4. -NOT USED-
5. WHITE PAINTED ARROW.
6. WALGREENS STANDARD READER BOARD PYLON SIGN AND ACCESS PAVERS. SIGN SIZE AND TYPE PER APPROVAL FROM LOCAL GOVERNMENT AGENCY.
7. NEW LANDSCAPE BUFFERS/ISLANDS.
8. BYCYCLE RACK LOCATION - 4 BIKES.
9. PROPOSED NEW CURB CUT. SIZE AND FINAL LOCATION PER APPROVAL FROM LOCAL GOVERNMENT AGENCY.
10. NEW CONCRETE SIDEWALK.
11. PEDESTRIAN CROSS WALK.
12. STRIPING. WHITE. 4" WIDE (TYPICAL).
13. ACCESSIBLE SPACE WITH PAINTED SYMBOL AND SIGN PER CITY OF ALBUQUERQUE REQUIREMENTS.
14. ACCESSIBLE VAN SPACE.
15. -NOT USED-
16. STANDARD ASPHALT PAVING FOR CAR TRAFFIC - ASPHALTIC CONCRETE OVER SUBGRADE. SEE GEOTECHNICAL REPORT FOR THICKNESS AND ALL OTHER RECOMMENDATIONS.
17. THIS AREA OF WALK FLUSH WITH ASPHALT.
18. PHARMACY DRIVE-THRU.
19. 1:12 MAXIMUM SLOP ON ACCESSIBLE RAMP. RED STAINED CONCRETE.
20. NEW CONCRETE SIDEWALK SHALL TIE INTO EXISTING OR NEW CITY SIDEWALK AS REQUIRED PER LOCAL CODE.
21. 8'-0" X 20'-0" OR 18'-0" TYPICAL STRIPED ACCESSIBLE PARKING SPACE AND ACCESS AISLE.
22. 9'-0" X 18'-0" OR 19'-0" STALLS TYPICAL.
23. HEAVY DUTY ASPHALT PAVING FOR TRUCK TRAFFIC - ASPHALTIC CONCRETE OVER SUBGRADE. SEE GEOTECHNICAL REPORT FOR THICKNESS AND ALL OTHER RECOMMENDATIONS.
24. PRECAST CONCRETE PARKING BUMPER WITH 2 #6 PINS.
25. YELLOW PAINTED ARROW AND 24" HIGH LETTERS. SEE 5/C.O.D.
26. 9'-0" X 20'-0" STALLS TYPICAL.
27. WALGREEN'S CURB AND GUTTER. WAB 6-29-02
28. STANDARD CURB AND GUTTER.

RADIUS INFORMATION:

- |                   |                    |
|-------------------|--------------------|
| ① RADIUS = 2'-0"  | ⑦ RADIUS = 25'-0"  |
| ② RADIUS = 3'-0"  | ⑧ RADIUS = 30'-0"  |
| ③ RADIUS = 5'-0"  | ⑨ RADIUS = 40'-0"  |
| ④ RADIUS = 10'-0" | ⑩ RADIUS = 50'-0"  |
| ⑤ RADIUS = 15'-0" | ⑪ RADIUS = 60'-0"  |
| ⑥ RADIUS = 20'-0" | ⑫ RADIUS = 100'-0" |



2 COMBINED CURB & GUTTER  
1 1/2" = 1'-0"



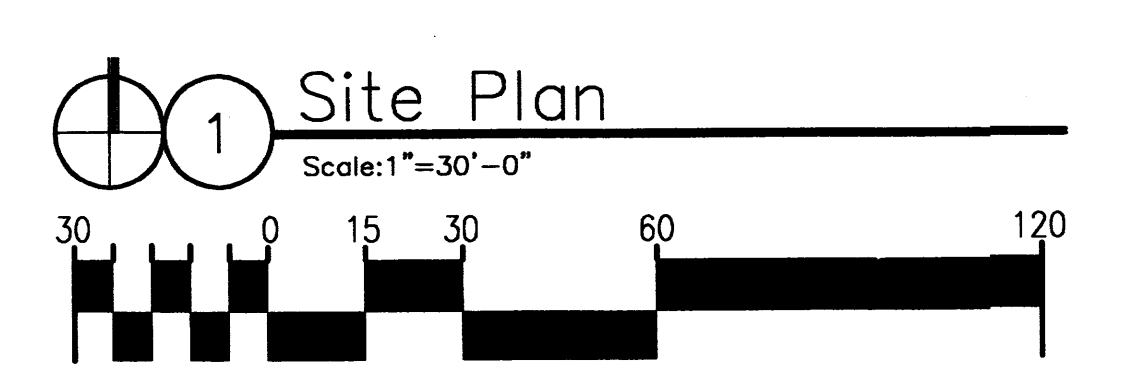
3 VERTICAL CURB  
1 1/2" = 1'-0"

KEYED NOTES  
1. N/A  
2. PREPARED SUB-GRADE.  
3. PAVEMENT.  
NOTE: ALL CURBS TO HAVE 1/4" EXPANSION JOINTS AT MAXIMUM 100 FEET WITH DOWELS AND CONTROL JOINTS AT MAX. 20 FEET.

KEYED NOTES  
1. LINE OF FACE OF CURB (CURB GRADE SHOWN ON PLAN).  
2. PAVEMENT AT GRADE SHOWN ON PLAN.  
3. N/A.  
4. PREPARED SUB-GRADE.  
5. STONE BASE.  
6. LINE FOR BACK OF CURB.  
NOTE: ALL CURBS TO HAVE 3/4" EXPANSION JOINTS AT MAXIMUM 100 FEET WITH DOWELS AND CONTROL JOINTS AT MAX. 20 FEET.

REV. #11 10/31/02  
1. ROTATE SITE 59° CW AND ADJUST BOUNDS TO MATCH PLAT.  
2. REVISE LOCATION OF EXISTING ELECTRICAL EASMT PER PLAT.

APPROVED  
ME  
8/29/02  
NBB



FACILITIES PLANNING AND DESIGN  
200 WILMOT ROAD  
706-940-2500  
DEERFIELD, IL 60015

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:  
☒ WALGREENS' CONSULTANT  
☐ LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:  
☐ WALGREENS' CONTRACTOR  
☒ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW..... <input checked="" type="checkbox"/>	NEW..... <input checked="" type="checkbox"/>
REMODELING..... <input type="checkbox"/>	EXISTING..... <input type="checkbox"/>
RELOCATION..... <input type="checkbox"/>	NEW SHELL ONLY..... <input type="checkbox"/>
OTHERS..... <input type="checkbox"/>	

PROJECT INFORMATION

LOCATION: DEVELOPMENT IS LOCATED AT THE NORTHEAST CORNER OF FOURTH STREET AND GRIEGOS ROAD ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:  
A CERTAIN TRACT OF LAND SITUATE WITHIN SECTION 12, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BEING AND COMPRISING TRACTS A-1 AND A-2 OF THE REPLAT OF BLOCK SIXTEEN (16) OF MIRAMONTES PARK, UNIT ONE, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

ARCHITECTS:  
GEORGE RAINHART ARCHITECT & ASSOCIATES, P.C.  
2325 SAN PEDRO NE. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110

ZONING: C-2

OCCUPANT LOAD: 381 OCCUPANTS

OCCUPANCY GROUP: M (MERCANTILE)

TOTAL ACREAGE: ± 2.52 ACRES

CONSTRUCTION TYPE: V-N SPRINKLERED

TOTAL BUILDING AREA: 14,490 SQUARE FEET

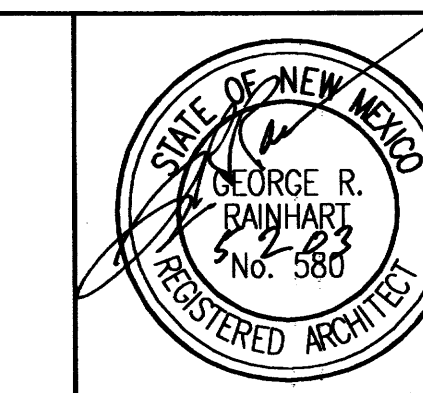
PARKING ANALYSIS:  
70 REQUIRED PARKING SPACES  
74 PROVIDED PARKING SPACES  
INCLUDING 70 STANDARD PARKING SPACES  
& 4 ACCESSIBLE SPACES (1 VAN ACCESSIBLE SPACE)

NO.	DATE	BY	DESCRIPTION	CONST.
11	10/31/02	BJ	REVISE BOUNDS PER PLAT	
10	9/10/02	BJ	PER WALGREEN COMMENTS	
9	8/8/02	AOB	PER CITY/WALGREEN COMMENTS	
8	6/4/02	AOB	PER WALGREENS COMMENTS/SURVEYOR	
7	4/15/02	AOB	UPDATED TO D-1 FOOTPRINT	
6	3/11/02	FAW	PER WALGREENS COMMENTS	
5	2/2/02	FAW	PER WALGREENS COMMENTS	
4	1/29/02	FAW	PER WALGREENS COMMENTS	
3	1/21/02	FAW	PER WALGREENS COMMENTS	
2	1/14/02	FAW	PER SURVEYOR INFO	
1	11/16/01	FAW	PER WALGREENS COMMENTS	

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SHOWN BY MY HAND AND SEAL.



PROJECT NAME:  
WALGREENS STORE  
(NE) FOURTH ST. & GRIEGOS  
ALBUQUERQUE, NEW MEXICO

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.  
2325 SAN PEDRO NE., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877  
www.gra-arch.com

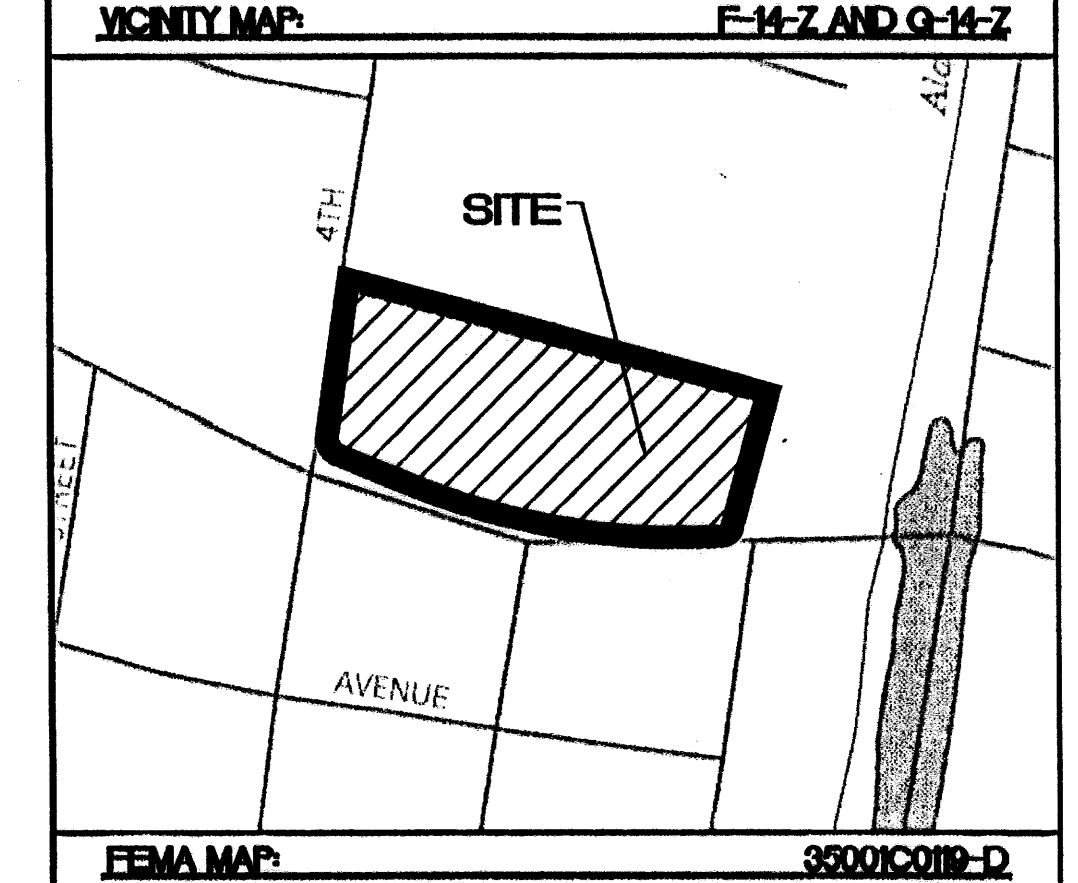
DRAWING TITLE  
SITE PLAN

DATE 9/13/01	STORE NO. 7351	DRAWING NO. 7351
DRAWN BY: FAW	SCALE: 1"=30'-0"	A1.0
REVIEWED BY:	RELEASED TO CONSTRUCTION:	
		OF DWGS.



# NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



## NOTES

1. ALL SPOT ELEVATIONS REPRESENT TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "18-G14", HAVING AN ELEVATION OF 4970.28. DESCRIBED AS AN ACS 1-3/4" ALUMINUM DISK, STAMPED "ACS BM, 18-G14", EPOXIED ON TOP OF THE CONCRETE CURB, CENTERED ON A DROP INLET, NNW QUADRANT OF FOURTH ST. AND GRIEGOS RD. NW.
3. EXISTING SIDEWALK CULVERTS AND PARKING ISLANDS TO BE REMOVED UNLESS OTHERWISE NOTED.
4. EAST LOT (0.78 ACRES) IS AN EXISTING DEVELOPED AREA. THE GRADING IS TO REMAIN AS IT EXISTS.

DRAINAGE CERT W/SURVEY WORK BY OTHERS  
12/28/01

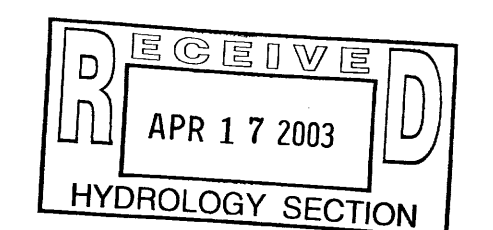
## DRAINAGE CERTIFICATION

I, RONALD R. BOHANNAN, NMPE 7868, OF THE FIRM TERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 7/1/02. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY DAVID CLAUSEN, NMPS 6547, OF THE FIRM DAVID C. CLAUSEN P.L.S. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4/17/03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR WALGREENS AT 4TH AND GRIEGOS. FINAL CERTIFICATION OF DRAINAGE FOR CERTIFICATE OF OCCUPANCY.

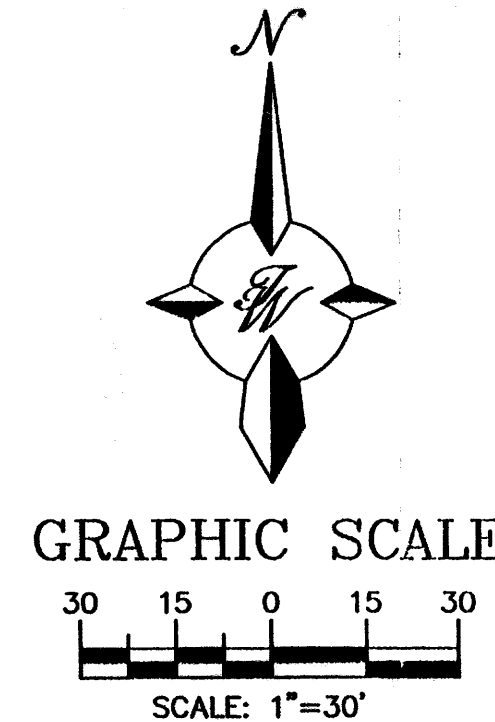
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

RONALD R. BOHANNAN, PE  
DATE 4/17/03  
7868 NMPE

LEGEND	DESCRIPTION
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	EXISTING WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	FLOW ARROW
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	DROP INLET
	SIDEWALK CULVERT

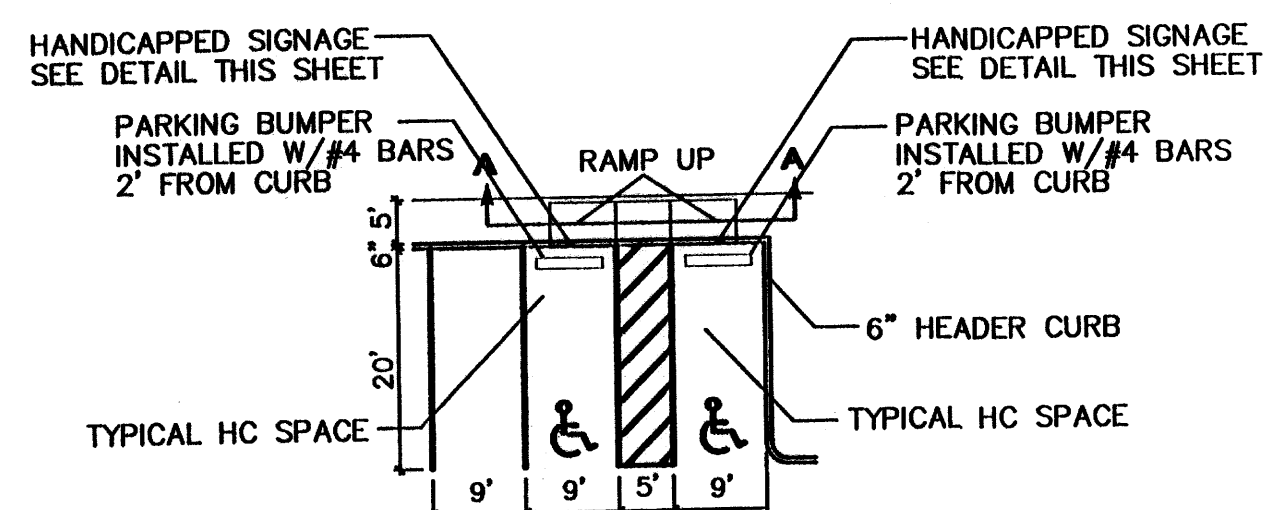
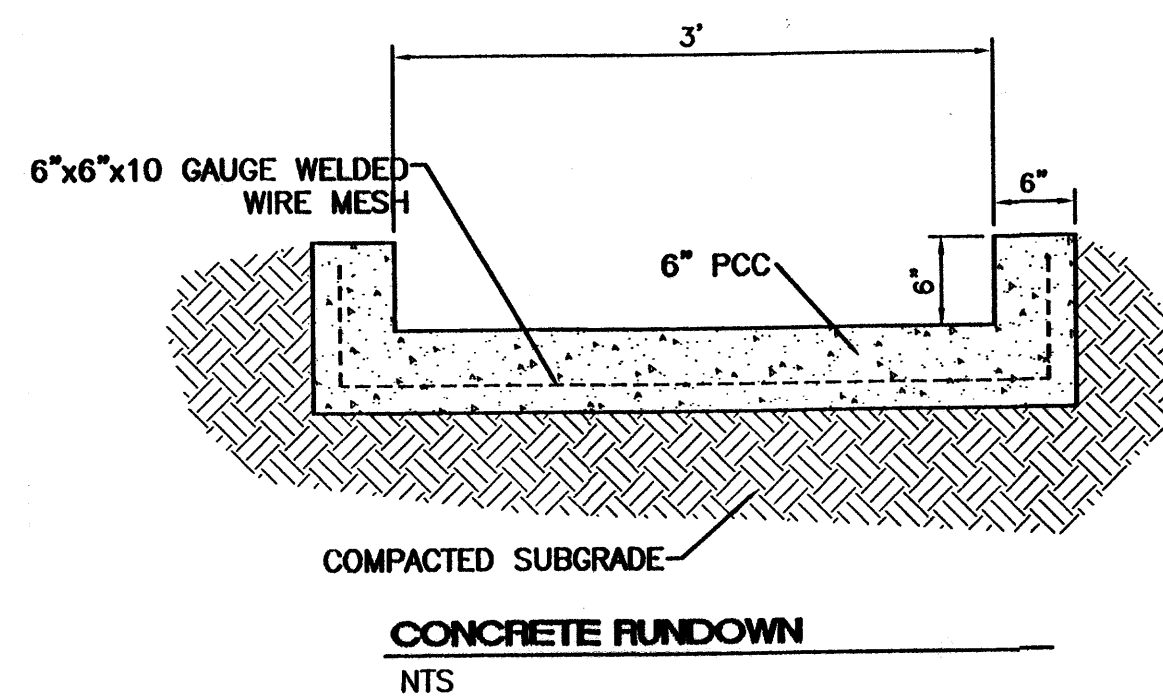


ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	WALGREENS 4TH AND GRIEGOS GRADING AND DRAINAGE PLAN TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DRAWN BY BMP DATE 8/13/02 2221GR2.DWG SHEET # 3 JOB # 220021
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## EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE.



HC PARKING DETAIL  
NTS

HC PARKING DETAIL SECTION A-A  
NTS

