

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

November 30, 2018

Richard Dourte, P.E.
RHD Engineering, LLC
4305 Purple Sage Ave NW
Albuquerque, NM, 87120

RE: Burger King – 5508 4th Street NW
Permanent C.O. - Accepted
Engineer's Stamp Date: 11/09/17
Engineer's Certification Date: 11/29/18
Hydrology File: F14D055

Dear Mr. Dourte:

PO Box 1293

Based on the Certification received 11/29/18 and site visit on 11/29/18, this certification is approved in support of Permanent Release of Occupancy by Hydrology.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Burger King Restruant Building Permit #: _____ Hydrology File #: F14D055

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 19A Loma Vista Addition

City Address: 5508 4th Street NW

Applicant: RHD Engineering, LLC Contact: Richard Dourte

Address: 4305 Purple Sage Ave. NW, Alb. NM, 87120

Phone#: 505.288.1621 Fax#: _____ E-mail: rhengineering@outlook.com

Other Contact: Joe Simons Architecture Contact: Joe Simons

Address: PO Box 67408, Albuquerque NM, 87193-7406

Phone#: _____ Fax#: _____ E-mail: joe@simonsarchitecture.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No ☒ Commercial

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 11-29-18 By: Richard Dourte

COA STAFF:

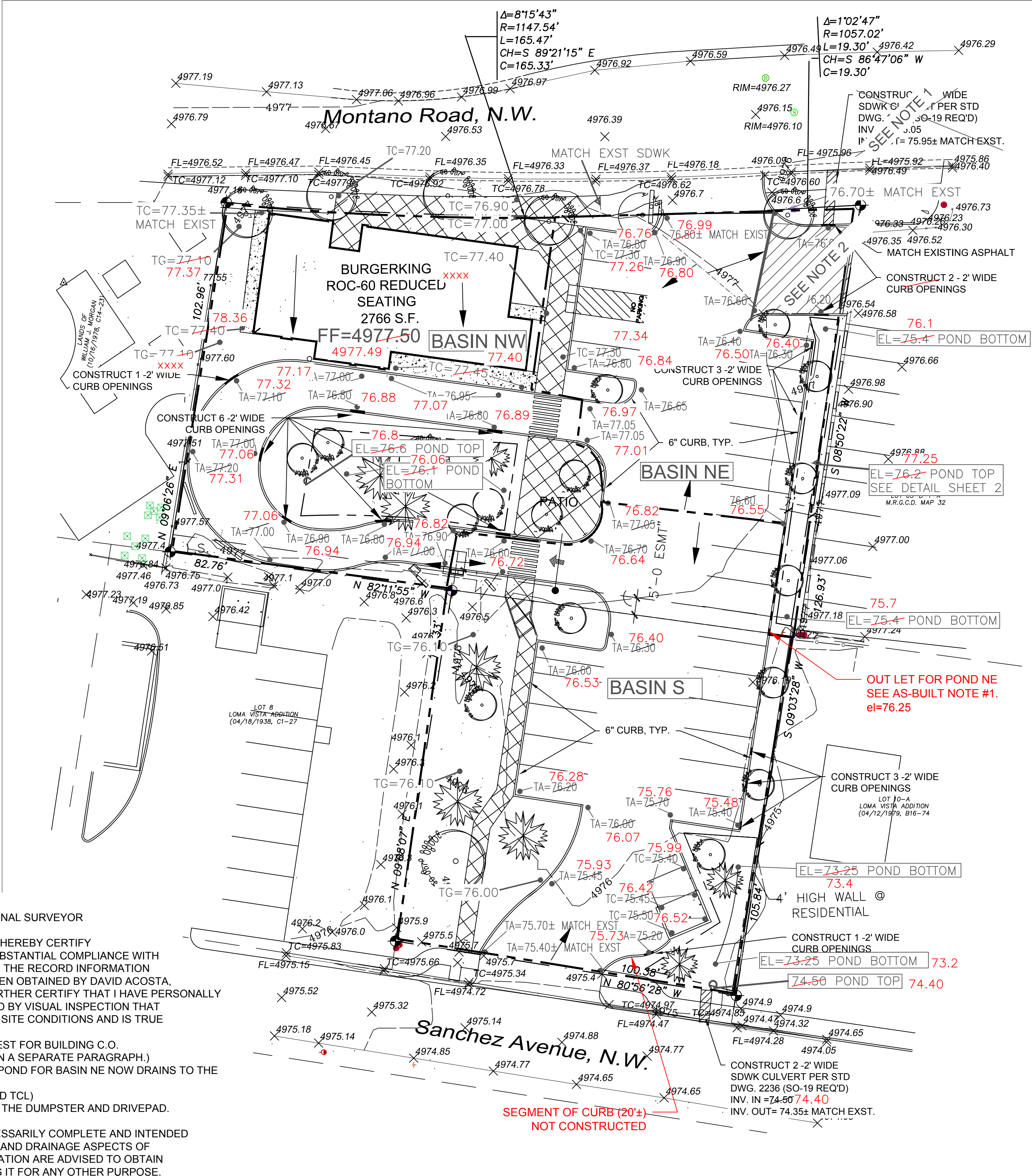
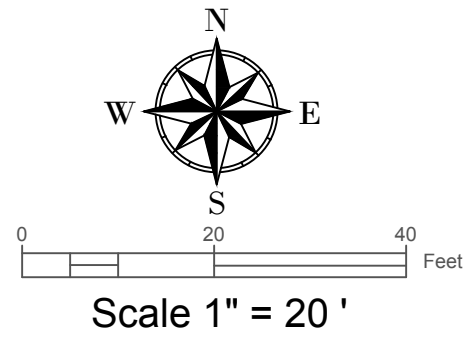
ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

DRAINAGE NARRATIVE:

1. THIS SITE IS NOT LOCATED IN A FEMA FLOOD HAZARD ZONE (REFER
TO THE FIRM MAP 35043C1700D, EXCERPT ATTACHED).
2. RHD ENGINEERING, LLC RECOMMENDS THAT THE OWNER OBTAIN A GEOTECHNICAL
REPORT PRIOR TO DESIGN OF BUILDING FOOTING/FOUNDATION.



DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR
DRAINAGE CERTIFICATION
I, Richard Dourte, NMPE 10854 OF THE FIRM RHD Engineering, LLC HEREBY CERTIFY
THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH
THE DESIGN INTENT OF THE APPROVED PLAN DATED 11-09-17. THE RECORD INFORMATION
EDITED ONTO THE ORIGINAL DESIGN DOCUMENTATION HAS BEEN OBTAINED BY DAVID ACOSTA,
NMPS 21082 OF THE FIRM CONSTRUCTION SURVEY TECH. I FURTHER CERTIFY THAT I HAVE PERSONALLY
VISITED THE PROJECT SITE ON 11/28/18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT
THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE
AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF THE REQUEST FOR BUILDING C.O.
(DESCRIBE ANY EXCEPTIONS AND /OR QUALIFICATIONS HERE IN A SEPARATE PARAGRAPH.)
1. THE SIDEWALK CULVERT ON MONTANO WAS DELETED, THE POND FOR BASIN NE NOW DRAINS TO THE
SOUTH TO SANCHEZ ROAD, VIA POND POND FOR BASIN S.
2. THE DRIVEWAY CONNECTION WAS REMOVED (SEE APPROVED TCL)
3. A 20 SEGMENT OF CURB WAS NOT CONSTRUCTED BETWEEN THE DUMPSTER AND DRIVEPAD.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED
ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF
THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENTATION ARE ADVISED TO OBTAIN
INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Richard Dourte
Richard Dourte, NMPE 10854
(seal)
11-29-18
Date



EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE
PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING
CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS
INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT
ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE
RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND
WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

GENERAL NOTES:

1. THIS SITE IS LOCATED IN A ZONE X, FEMA FLOOD HAZARD ZONE (REFER
TO THE FIRM MAP 35041C0119G, EXCERPT ATTACHED).
2. RHD ENGINEERING, LLC RECOMMENDS THAT THE OWNER OBTAIN A GEOTECHNICAL
REPORT PRIOR TO DESIGN OF BUILDING FOOTING/FOUNDATION.
3. ALL SWPPP REQUIREMENTS SHALL BE ADHERED TO.
7. ALL WORK ON THIS PLAN SHALL BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE
STANDARDS. ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO WORK COMMENCING.
8. ALL WORK IN THE RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH CITY OF
ALBUQUERQUE STANDARDS.
9. THE SURVEY INFORMATION WAS PROVIDED BY PRECISION SURVEYS.
10. THE RUNOFF FROM THE BUILDING SHALL DRAIN TO THE SOUTH.
11. LANDSCAPING WITHIN THE PONDING AREAS SHALL BE SUFFICIENT TO KEEP EROSION TO
A MINIMUM.

WEIR CALCULATIONS

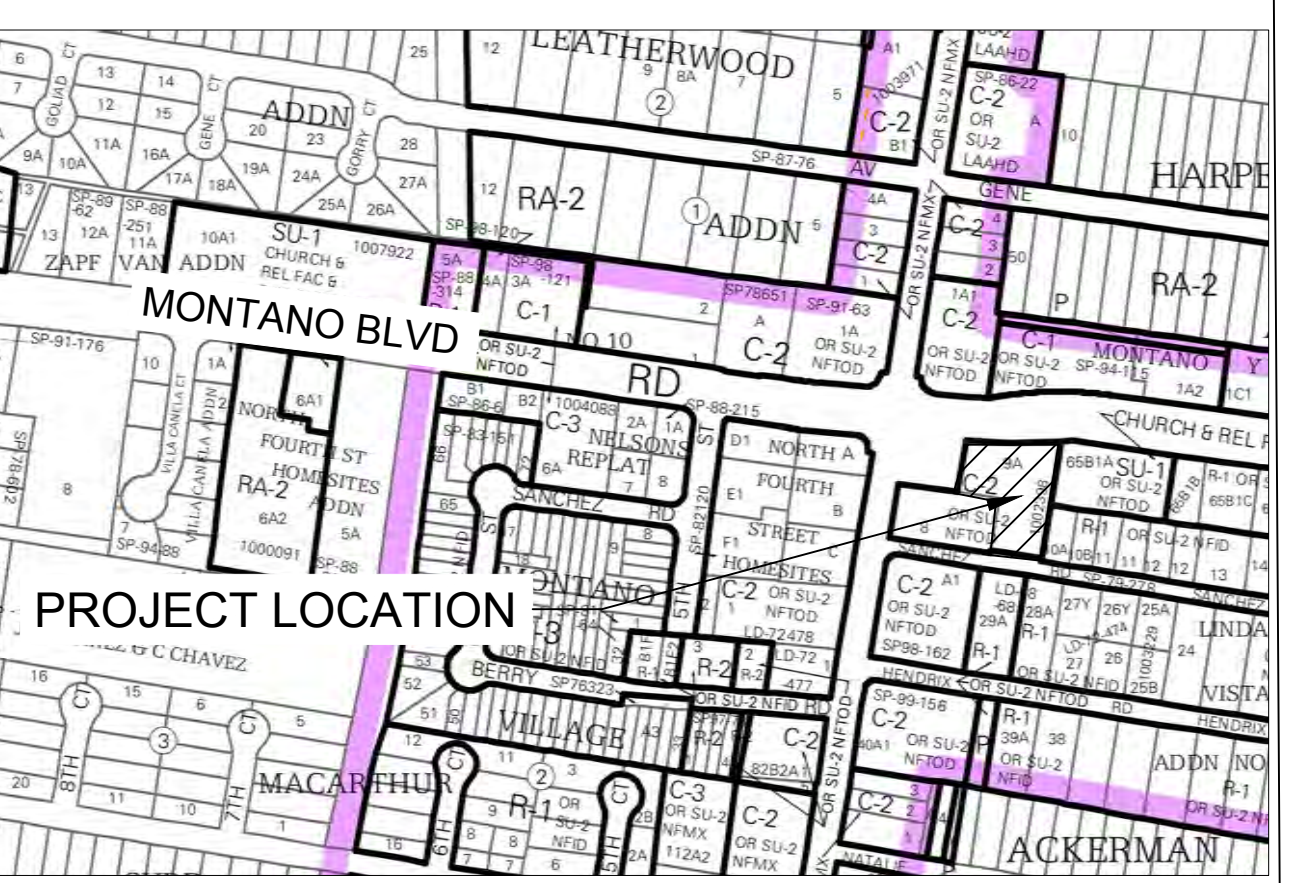
$Q = CLH^{3/2}$
 $C = 3.2$
 $L = 2.0'$
 $H = 0.5'$
 $Q = 3.2(2.0)((0.5)^{1.5}) = 2.3CFS \text{ PER SIDEWALK CULVERT}$

BASIN NW (35%) AND BASIN S (44%) FOR A TOTAL OF 79% DRAIN TO THE SOUTH. THE ENTIRE
SITE GENERATES 3.0CFS, THUS, $79(3.0CFS) = 2.4CFS$ DRAINS TO THE SOUTH. 2 SIDEWALK
CULVERTS ARE NEEDED.

BASIN NE (21%) DRAINS TO THE NORTH. THE ENTIRE SITE GENERATES 3.0CFS, THUS
 $21(3.0) = 0.63CFS$ DRAINS TO THE SOUTH. 1 SIDEWALK CULVERT IS NEEDED.

S.O.19 : NOTICE TO CONTRACTORS

1. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED
BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT
AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE
CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE
STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION,
1986 EDITION AS REVISED THRU UPDATE #8.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR
MUST CONTACT NEW MEXICO ONE CALL SYSTEM (CALL 811) FOR
LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND
VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL
CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR
SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE
RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL SOMPACTATION SHALL BE ACCORDING TO TRAFFIC / STREET
USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY
OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR
BASIS.
8. THE WORK IN THE CITY ROW MUST BE INSPECTED AND ACCEPTED.
THE CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8016
AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE
INSPECTIONS.



VICINITY MAP:

F-14-Z



FIRM MAP:

FM35001C0119G

LEGAL DESCRIPTION:

LOT 9-A, LINDA VISTA ADDITION
ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO

NOTES:

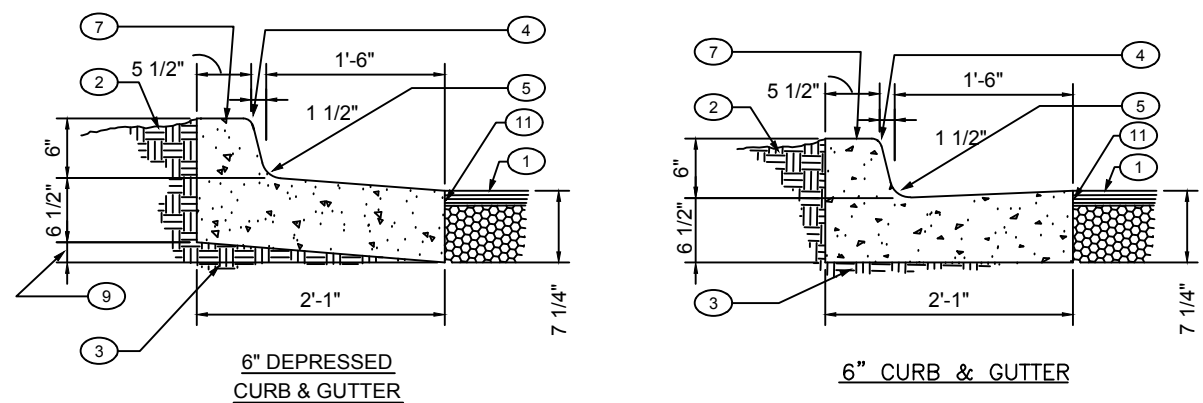
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE
NOTED.

LEGEND

- 46.00
x 44.00
- — — — — 5601 — — — — — EXISTING CONTOUR
— — — — — 5600 — — — — — EXISTING INDEX CONTOUR
— — — — — 5601 — — — — — PROPOSED CONTOUR
— — — — — 5600 — — — — — PROPOSED INDEX CONTOUR
- — — — — LOT LINE
— — — — — CENTERLINE
— — — — — RIGHT-OF-WAY
- — — — — PROPOSED RETAINING WALL
— — — — — PROPOSED ROCK FACE WALL
= = = = = EXISTING CURB AND GUTTER
= = = = = PROPOSED CURB AND GUTTER
— — — — — PROPOSED EDGE OF CONCRETE
- — — — — PROPOSED FLOWLINE
— — — — — EXISTING WALL
- — — — — PROPOSED BASIN BOUNDARY

I HAVE PERSONALLY INSPECTED THE PROPERTY ON 10-30-17. NO
EARTHWORK HAS BEEN PERFORMED AND THE SITE IS CONSISTENT WITH THE
TOPO SHOWN.
Richard Dourte
Richard Dourte P.E. #10854
10-30-17
DATE

 11-09-17 Richard Dourte P.E. #10854	Title BURGER KING 4TH ST. AND MONTANO RD 5508 4th Street NW	DRAWN BY DATE OCT. 2017
	GRADING AND DRAINAGE PLAN	
	RHD Engineering, LLC 4305 Purple Sage Ave. NW ALBUQUERQUE, NM 87120 (505) 288-1621	SHEET # 1 of 2 JOB #



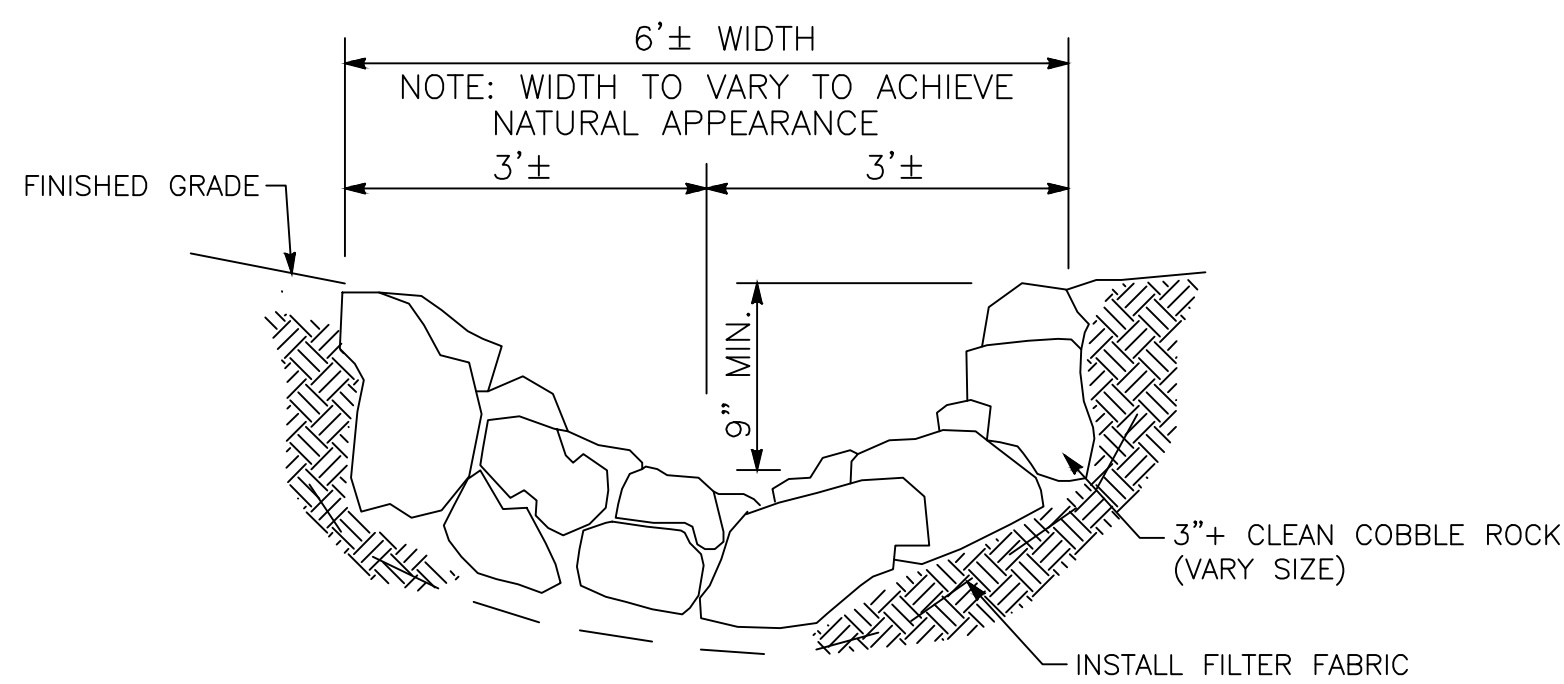
KEYED NOTES:

1. Pavement section per drawings and specs.
2. Finished grade.
3. Prepared subgrade.
4. 3/4" radius.
5. 1 1/2" radius.
6. Not used.
7. Concrete curb.
8. Not used.
9. Varies, depress as needed.
10. Not used.
11. Tack coat.

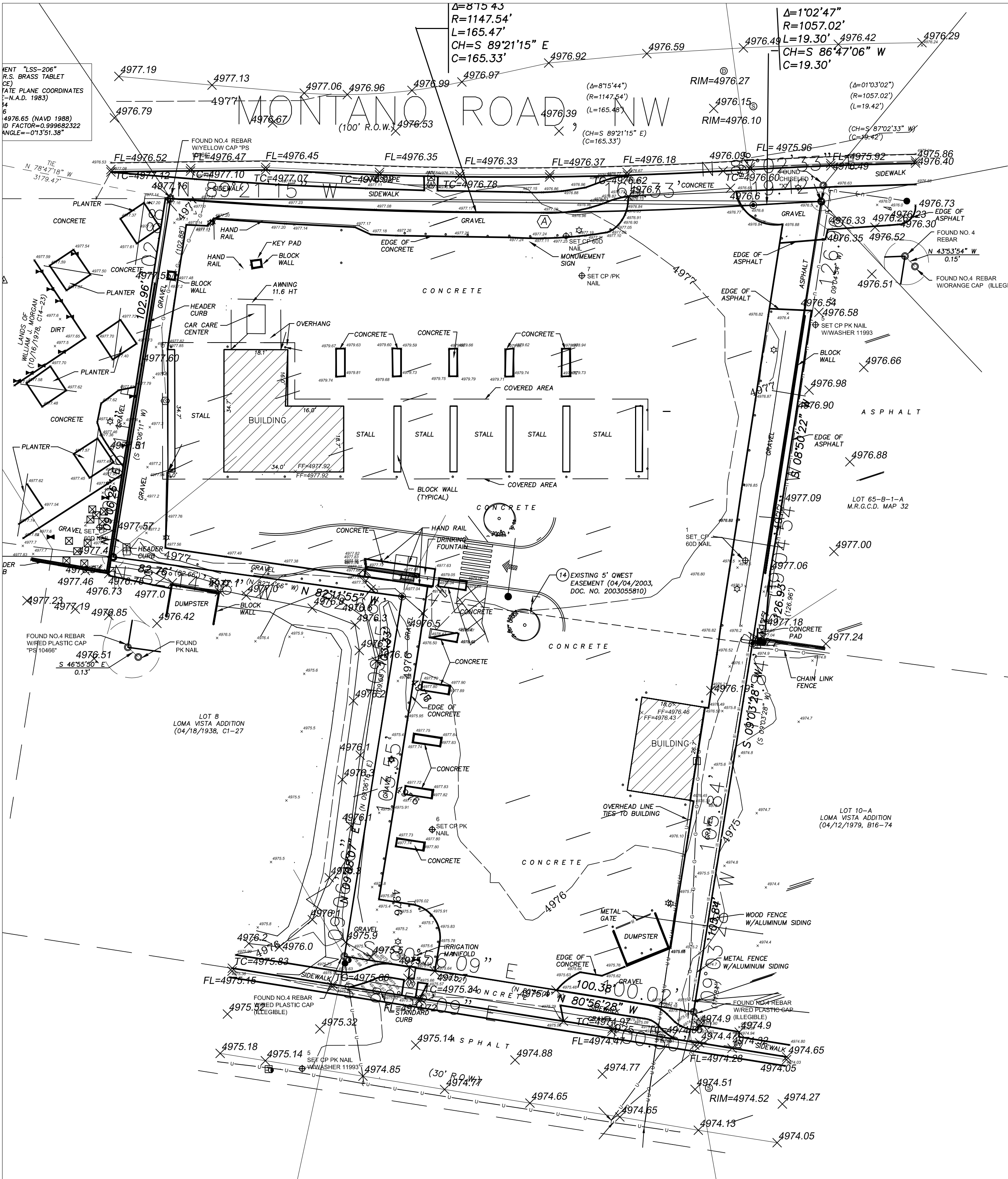
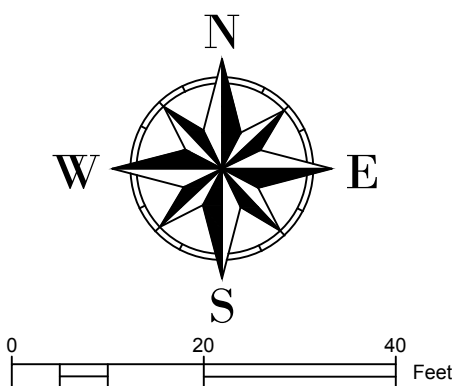
CURB & GUTTER CONSTRUCTION NOTES:

- A. Curbs, gutters & cut-off walls to be constructed of 3500 psi P.C.C. unless otherwise noted.
- B. Edges not specifically dimensioned shall be edged with a 3/8" edging tool.
- C. Remove & replace 12" wide strip of pavement beyond lip of gutter when constructing curb & gutter adjacent to existing a.c. pavement.
- D. Dimensions at rounded corners measured to intersection of straight lines.
- E. For 6" curb & gutter provide control jts. @ 6' o.c. max, also provide 1/2" expansion jts. at 30' o.c. max, at curb returns, & at each side of driveways.
- F. For all other curbing provide control jts. @ 10' o.c., provide expansion jts. @ 50' o.c. & adjacent to buildings and walls.

CURB AND GUTTER DETAILS



POND NE DETAILS



- NOTES:
1. EXISTING CONDITIONS SHOWN.
 2. EXISTING BUILDINGS AND APPURATENCES TO BE REMOVED FROM SUBJECT SITE.

<div>ENGINEER'S SEAL</div> <div></div> <div>11-09-17</div> <div>Richard Dourte P.E. #10854</div>	TitleBURGER KING 4TH ST. AND MONTANO RD 5508 4th Street NW	DRAWN BY
		DATE
	DETAILS	SHEET #
		2 of 2
	R.H.D Engineering, LLC 4305 Purple Sage Ave. NW ALBUQUERQUE, NM 87120 (505) 288-1621	JOB # XXXX