

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- SCREEN WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION
- PROPOSED PAVEMENT
- EXISTING PAVEMENT TO REMAIN
- PROPOSED DRAINAGE SWALE

EROSION CONTROL NOTES

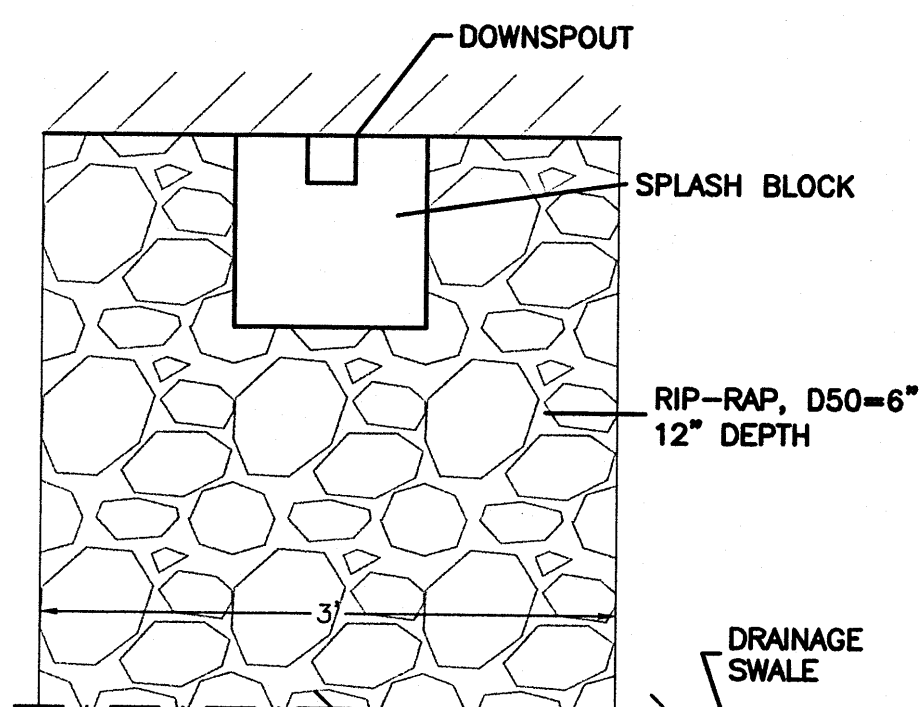
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION:

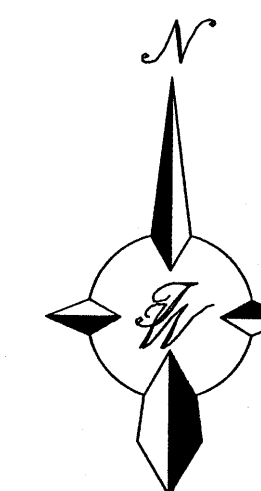
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

KEYED NOTE:

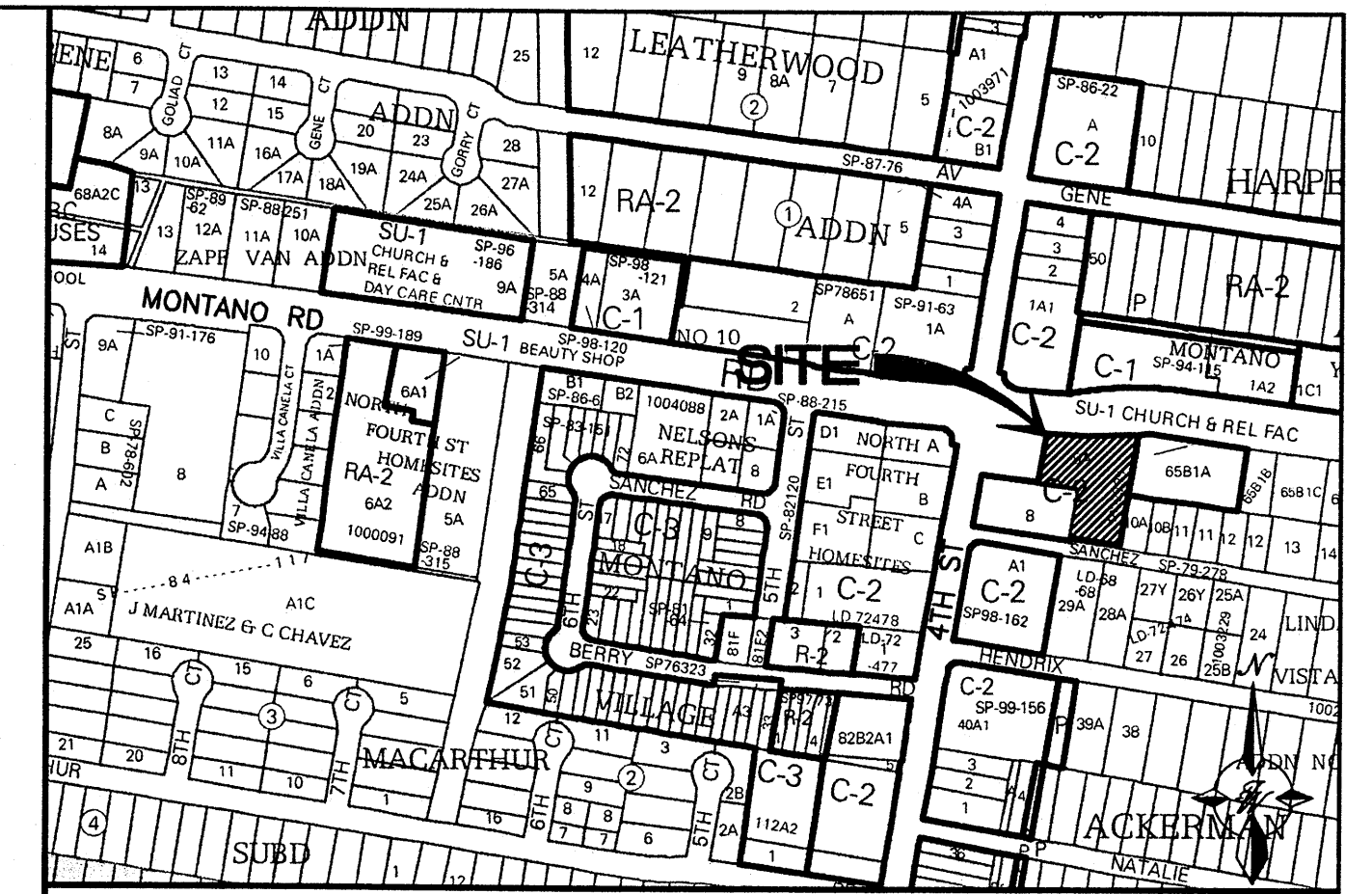
- (A) DOWNSPOUT WITH SPLASH BLOCK (SEE DETAIL THIS SHEET)
- (B) SIDEWALK CULVERT, 12" PER COA STD DWG #2236
- (C) 2 FT CURB CUT
- (D) DRAINAGE SWALE
- (E) EXISTING TOP OF LANDSCAPE BERM



DOWNSPOUT DETAIL
(PLAN VIEW)
NTS

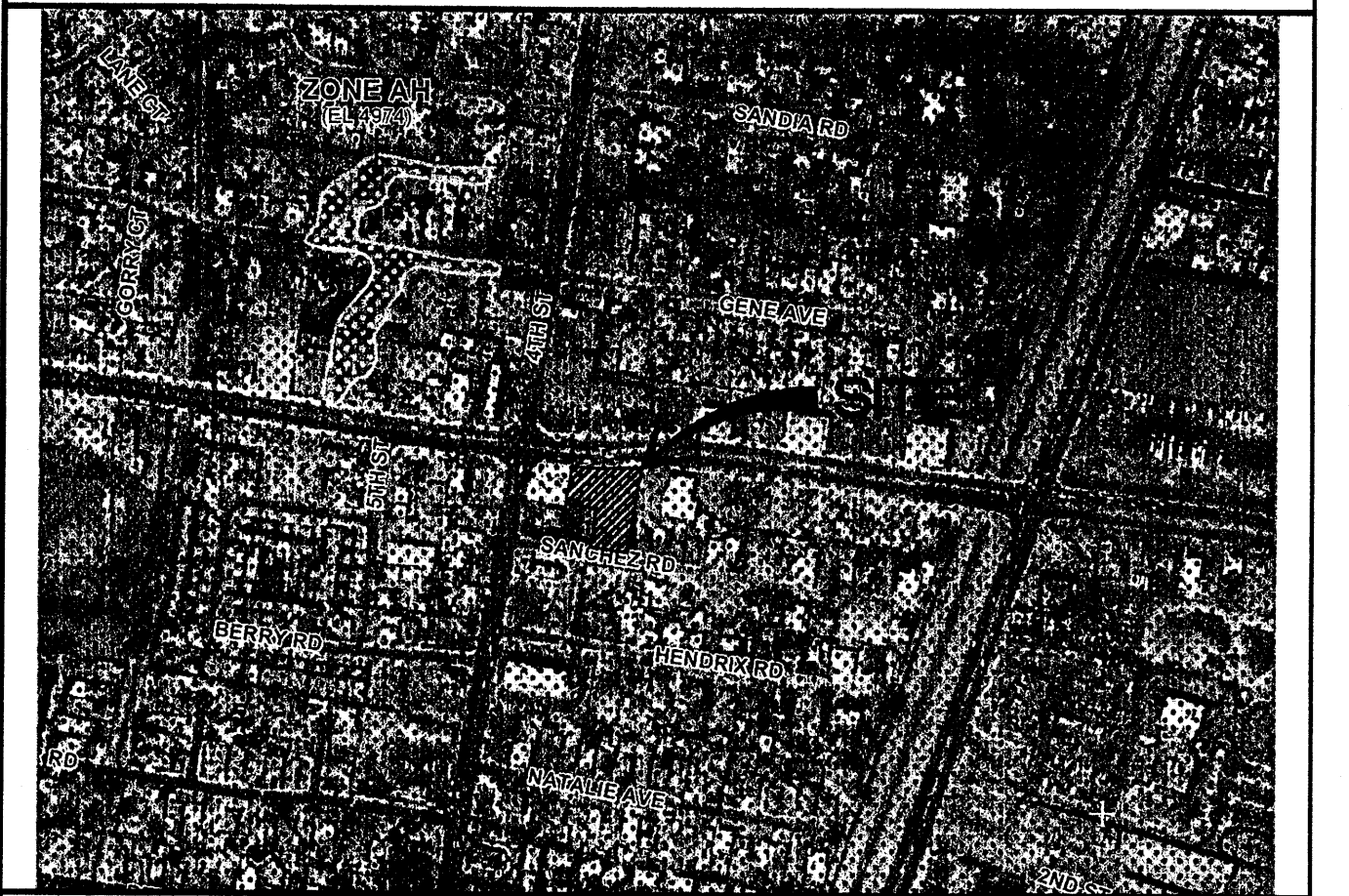


GRAPHIC SCALE



VICINITY MAP:

F-14-Z



AIR MAP:

35001C0119G

NOTICE TO CONTRACTORS

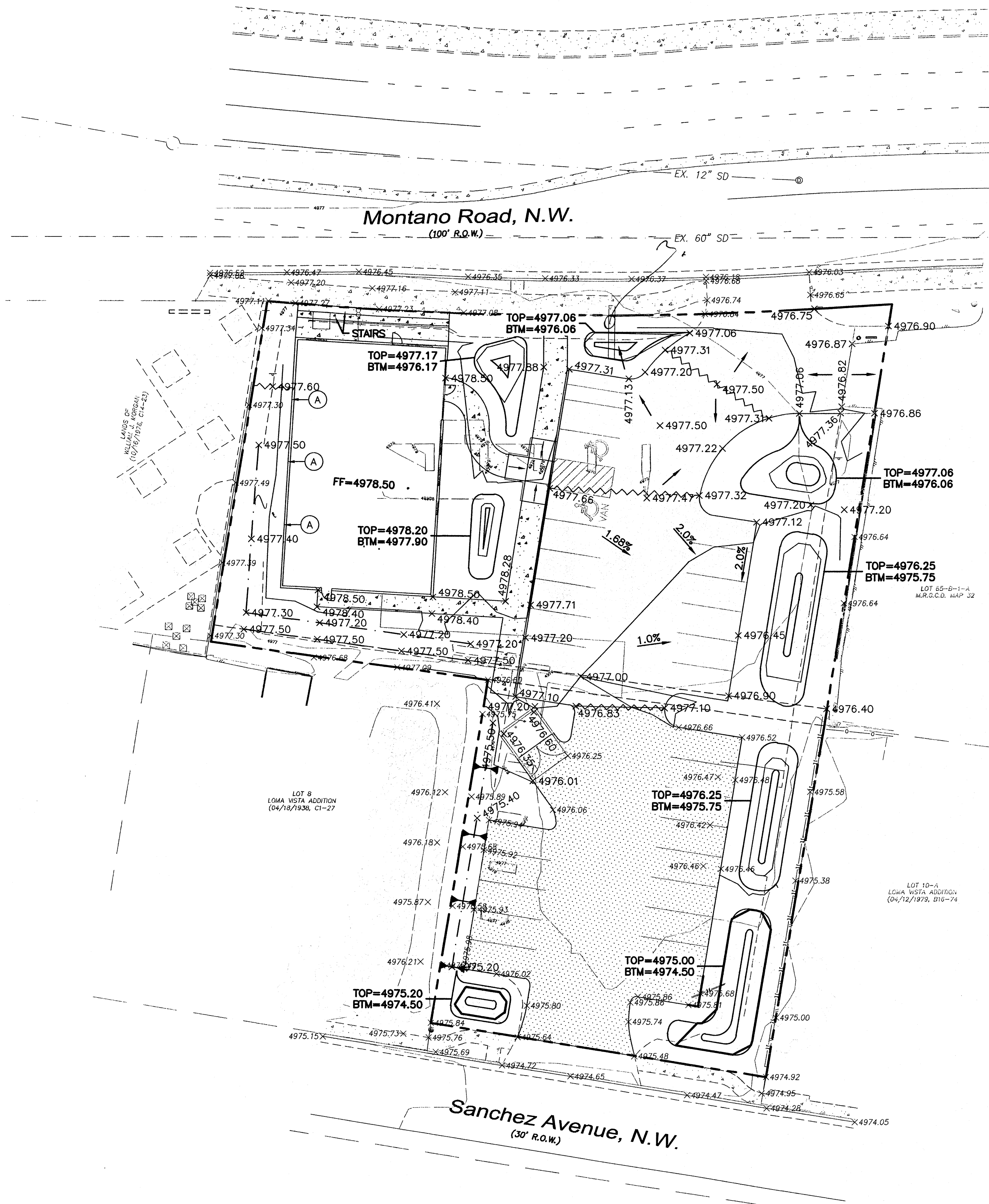
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

ROUGH GRADING APPROVAL

DATE

ENGINEER'S SEAL	4TH ST AND MONTANO DENTAL OFFICE	DRAWN BY DY
		DATE 6/30/15
	GRADING AND DRAINAGE PLAN	2014099-GRE
	RONALD R. BOHANNAN P.E. #7868	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com
		JOB # 2014099



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	BUILDING
	SIDEWALK
	SCREEN WALL
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION
	PROPOSED PAVEMENT
	EXISTING PAVEMENT TO REMAIN
	PROPOSED DRAINAGE SWALE

EROSION CONTROL NOTES:

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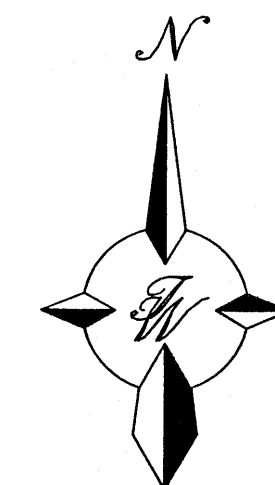
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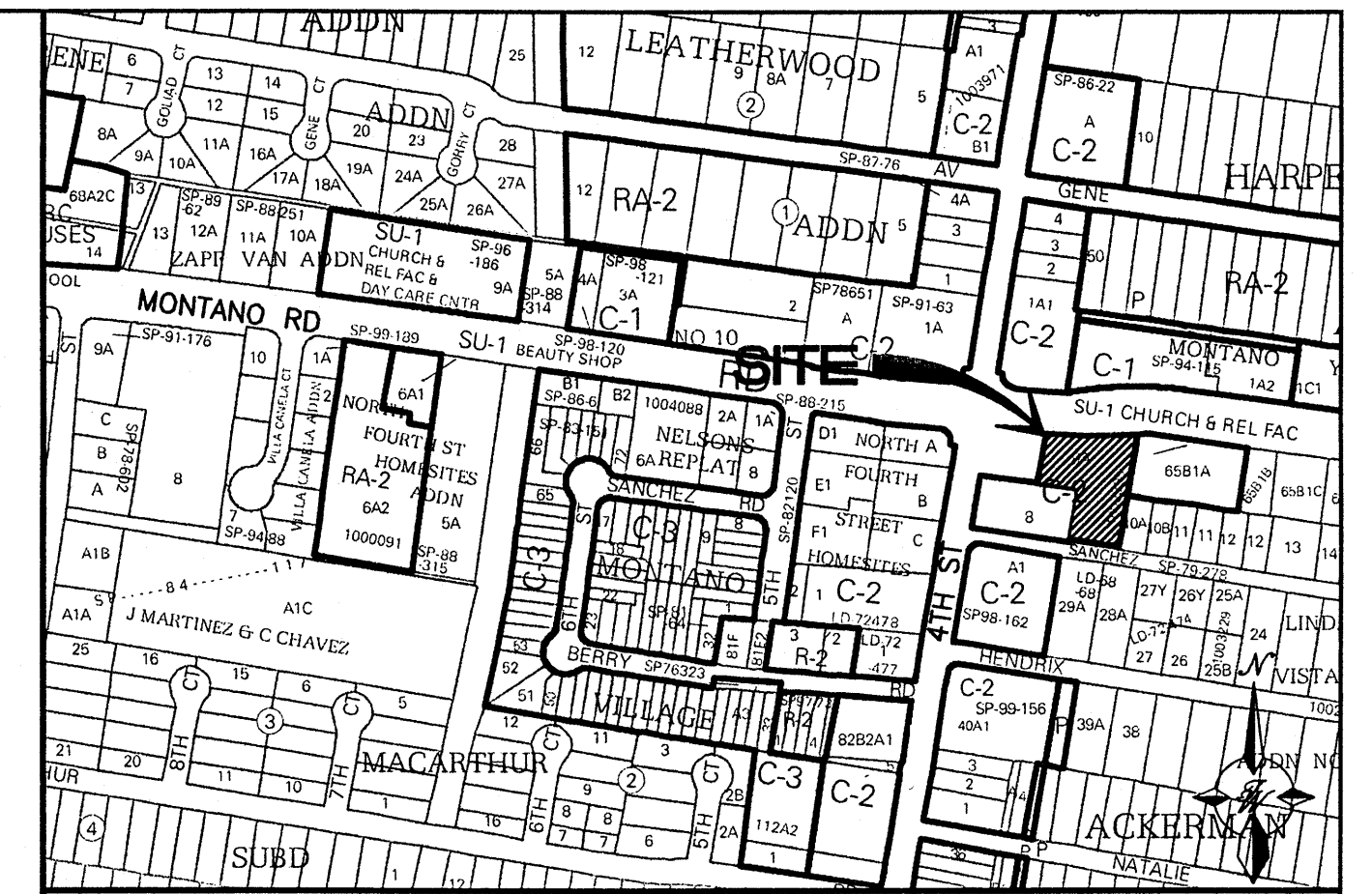
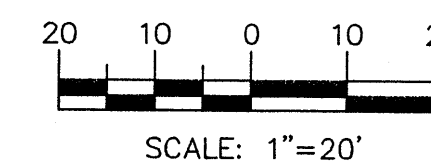
KEYED NOTE:

- (A) DOWNSPOUT

cross lot Drn. easement
west of Bldg.
south of Bldg.?

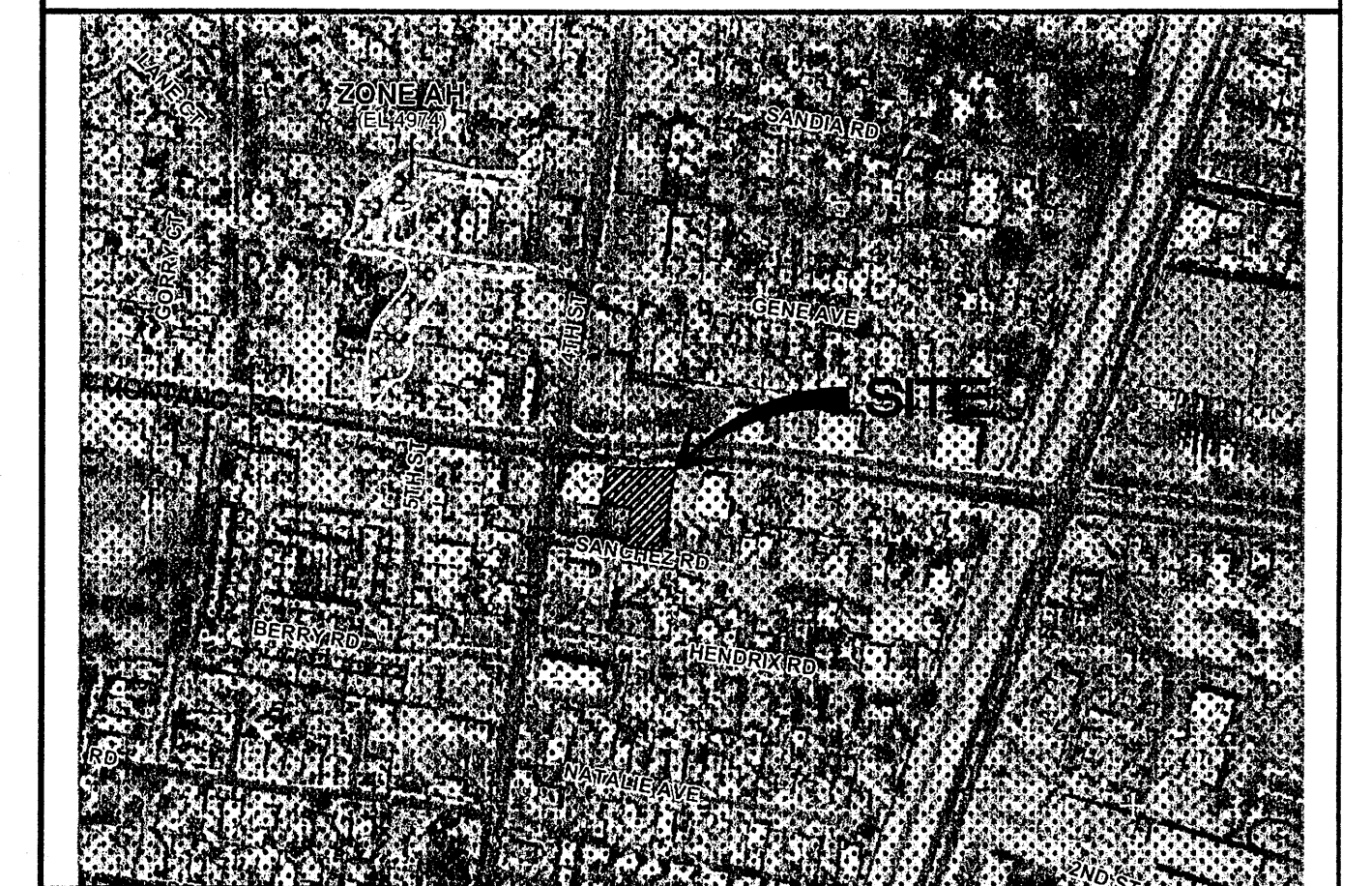


GRAPHIC SCALE



VICINITY MAP:

F-14-Z



FIRM MAP:

35001C0119G

NOTICE TO CONTRACTORS

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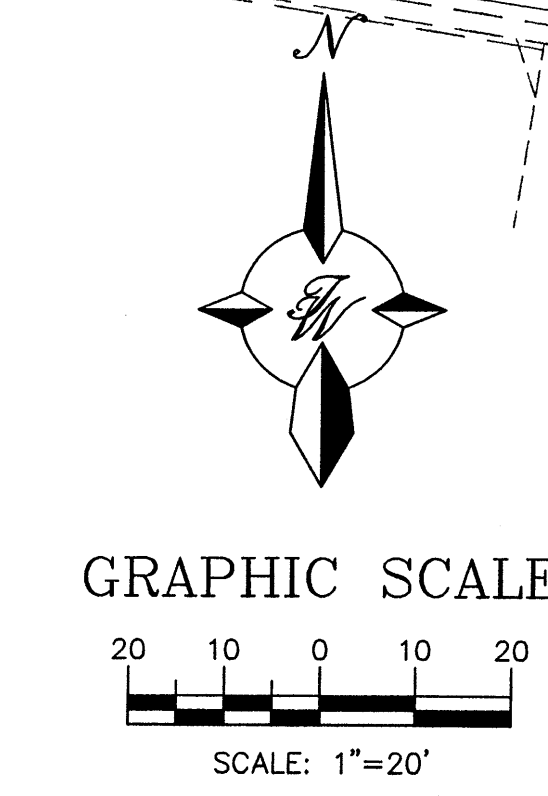
APPROVAL	NAME	DATE
INSPECTOR		



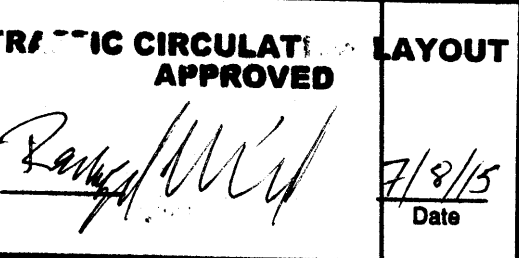
ROUGH GRADING APPROVAL

DATE

	4TH ST AND MONTANO DENTAL OFFICE		DRAWN BY
	GRADING AND DRAINAGE PLAN		DY
			DATE
			5/14/15
			2014099-GRE
			SHEET #
			C3
			JOB #
5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		2014099	



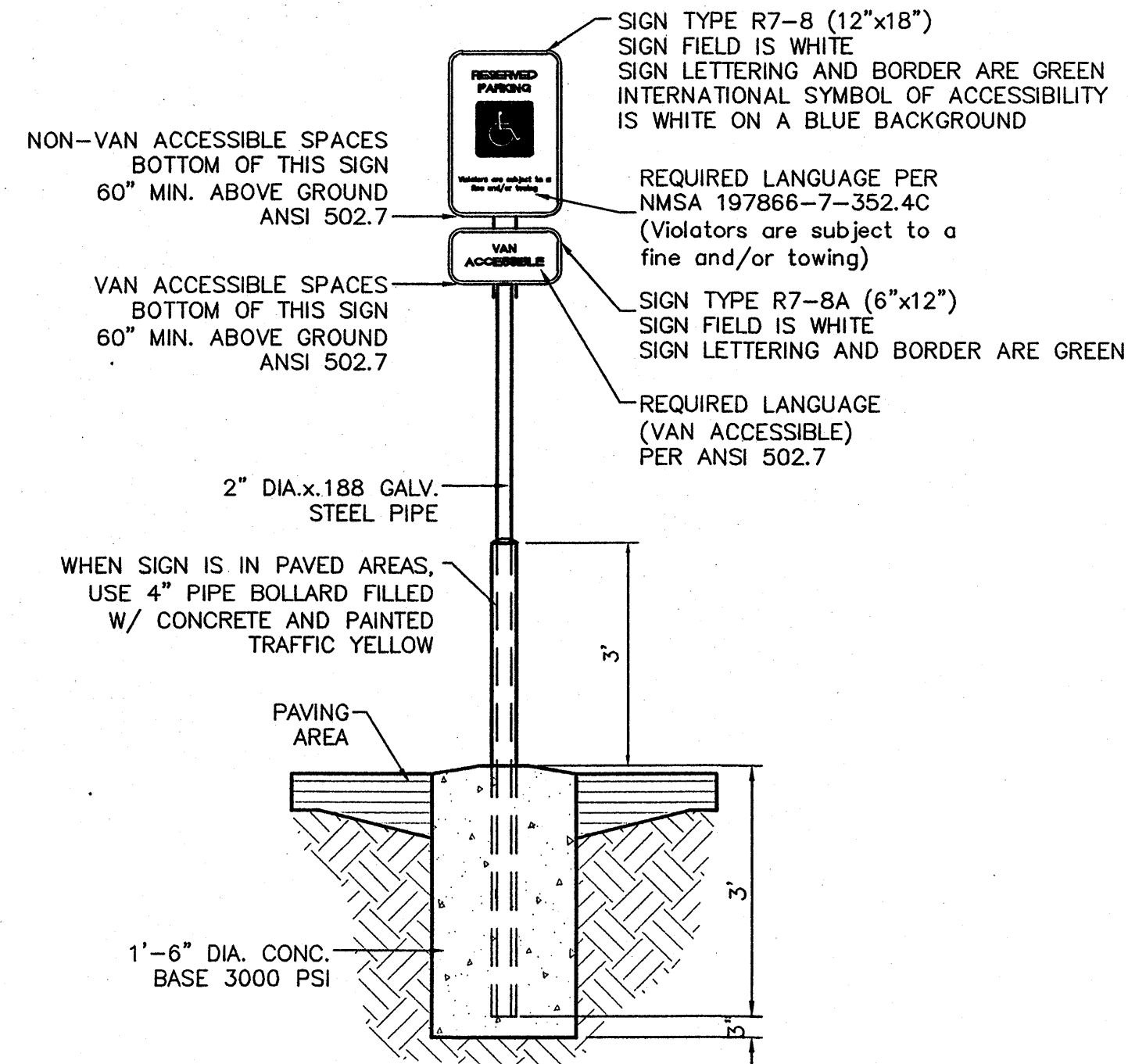
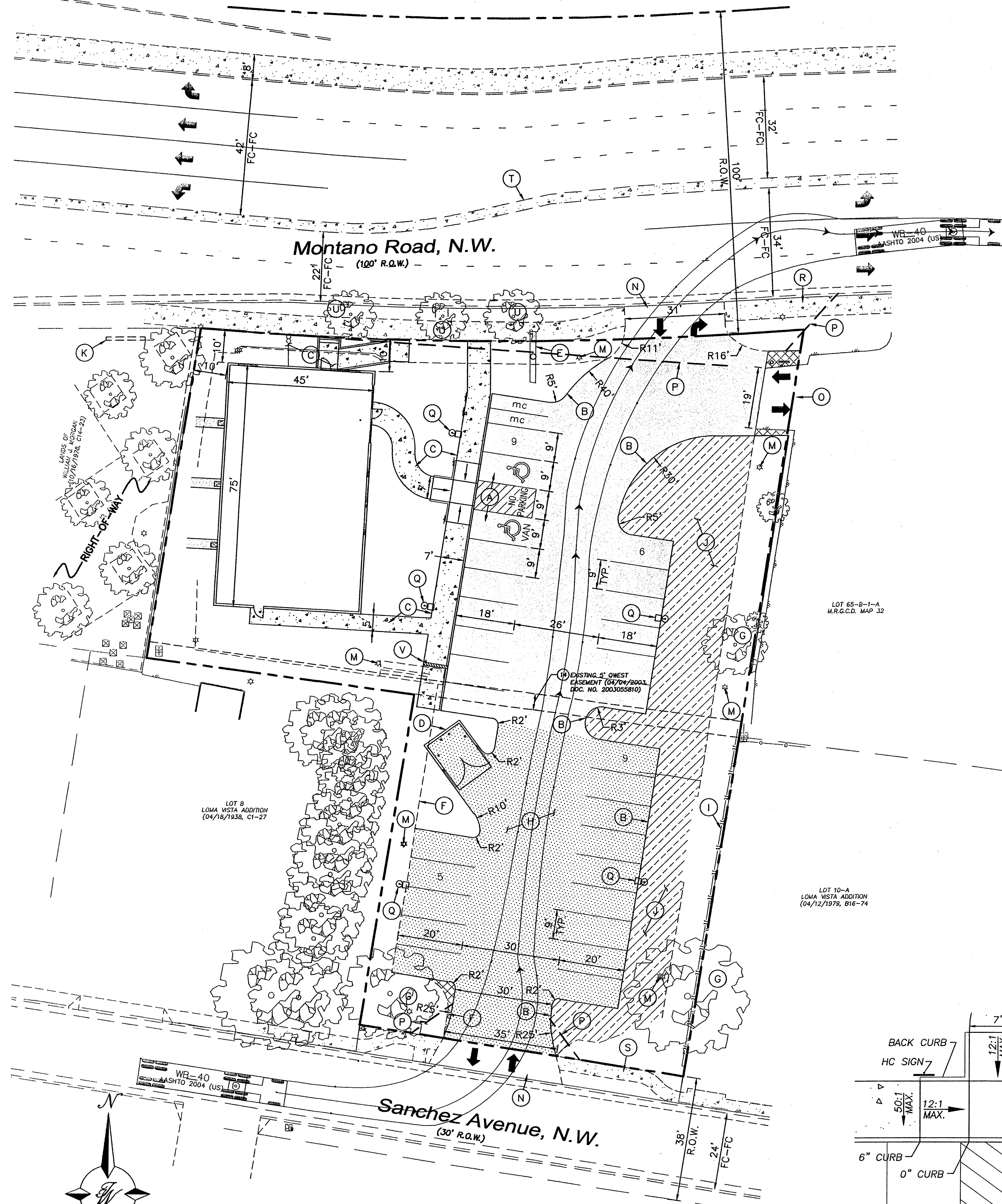
- (A) ACCESSIBLE PARKING PER ADA STANDARDS (SEE DETAIL A THIS SHEET)
 - (B) 6" HEADER CURB PER COA STD DWG #2415B
 - (C) CONCRETE SIDEWALK PER COA STD DWG #2430, SIZE PER PLAN
 - (D) DUMPSTER ENCLOSURE, (SEE DETAIL SHEET C6)
 - (E) EXISTING PYLON SIGN TO REMAIN (NEW SIGN PANELS)
 - (F) EXISTING EDGE OF PCOP
 - (G) EXISTING TREES (REFER TO LANDSCAPE PLAN FOR REMOVAL REQUIREMENTS)
 - (H) EXISTING PCOP TO REMAIN
 - (I) EXISTING ALUMINUM PANEL FENCE TO REMAIN
 - (J) EXISTING CONCRETE TO BE REMOVED
 - (K) EXISTING BUS STOP SHELTER TO BE REMAIN
 - (L) PLANTER (TYP.)
 - (M) EXISTING AREA LIGHTS TO BE REMOVED (TYP.)
 - (N) EXISTING DRIVEPAD TO REMAIN
 - (O) EXISTING SHARED ACCESS TO REMAIN
- CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS.
- (P) THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA
 - (Q) AREA LIGHT, 25 FT MAX. HEIGHT (TYP.)
 - (R) EXISTING 6 FT SIDEWALK TO REMAIN
 - (S) EXISTING 4 FT SIDEWALK TO REMAIN
 - (T) 3 FT CONCRETE MEDIAN TO REMAIN
 - (U) EXISTING TREES TO BE REMOVED
 - (V) 12" SIDEWALK CULVERT PER COA STD DWG #2236
 - (W) PARKING BUMPER (TYP.)
 - (X) 2 FT CURB CUT
 - (Y) BIKE RACK (2 SPACES)



Public Infrastructure shown
in these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

PROPOSED USAGE:	DENTAL OFFICES
LOT AREA:	31,071 SF (0.71 ACRE)
BUILDING AREA:	3375 SF
PARKING REQUIRED:	11 SPACES (3375 SF/3 SPACES PER 1,000 SF)
PARKING PROVIDED:	29 SPACES
HC PARKING REQUIRED:	1 SPACES
HC PARKING PROVIDED:	2 SPACES
1 SPACE VAN ACCESSIBLE	
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	2 SPACES
LANDSCAPE AREA REQUIRED:	4,155 SF (15% NET LOT AREA)
LANDSCAPE AREA PROVIDED:	12,647 SF

<p>ENGINEER'S SEAL</p>	<p>4TH ST AND MONTANO DENTAL OFFICE</p>	<p>DRAWN BY DY</p>
	<p>TRAFFIC CIRCULATION LAYOUT</p>	<p>DATE 6/30/15</p>
<p>RONALD R. BOHANNAN P.E. #7688</p>	 <p>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>2014099~TCL</p>
		<p>SHEET # C1</p> <p>JOB # 2014099</p>

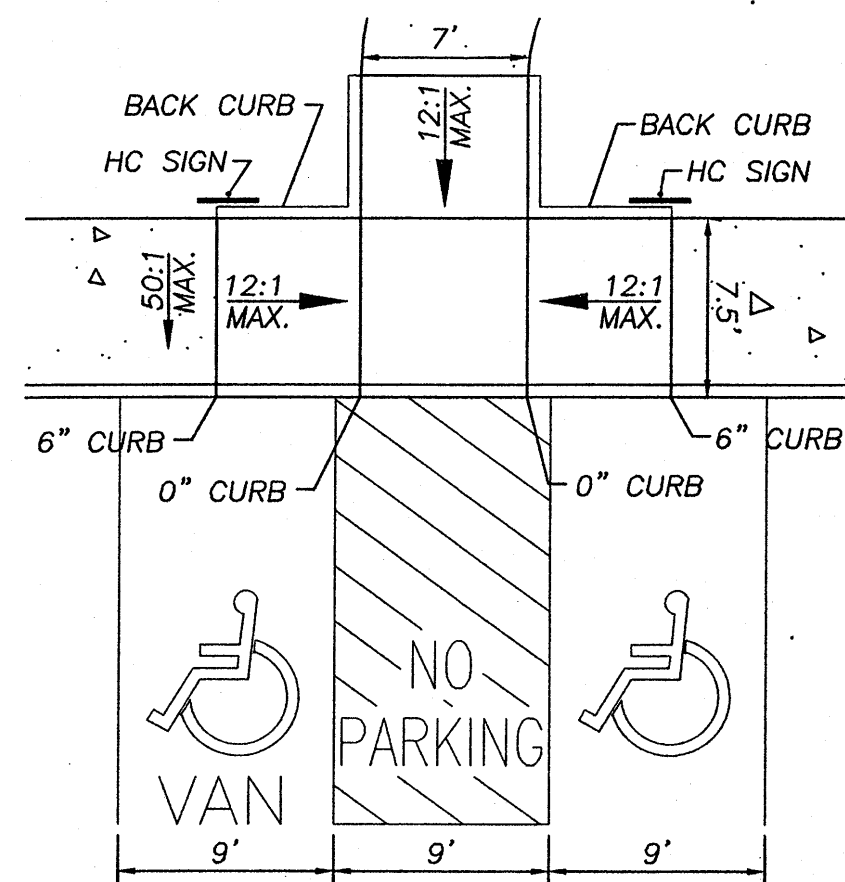


ACCESSIBLE PARKING LOT SIGN

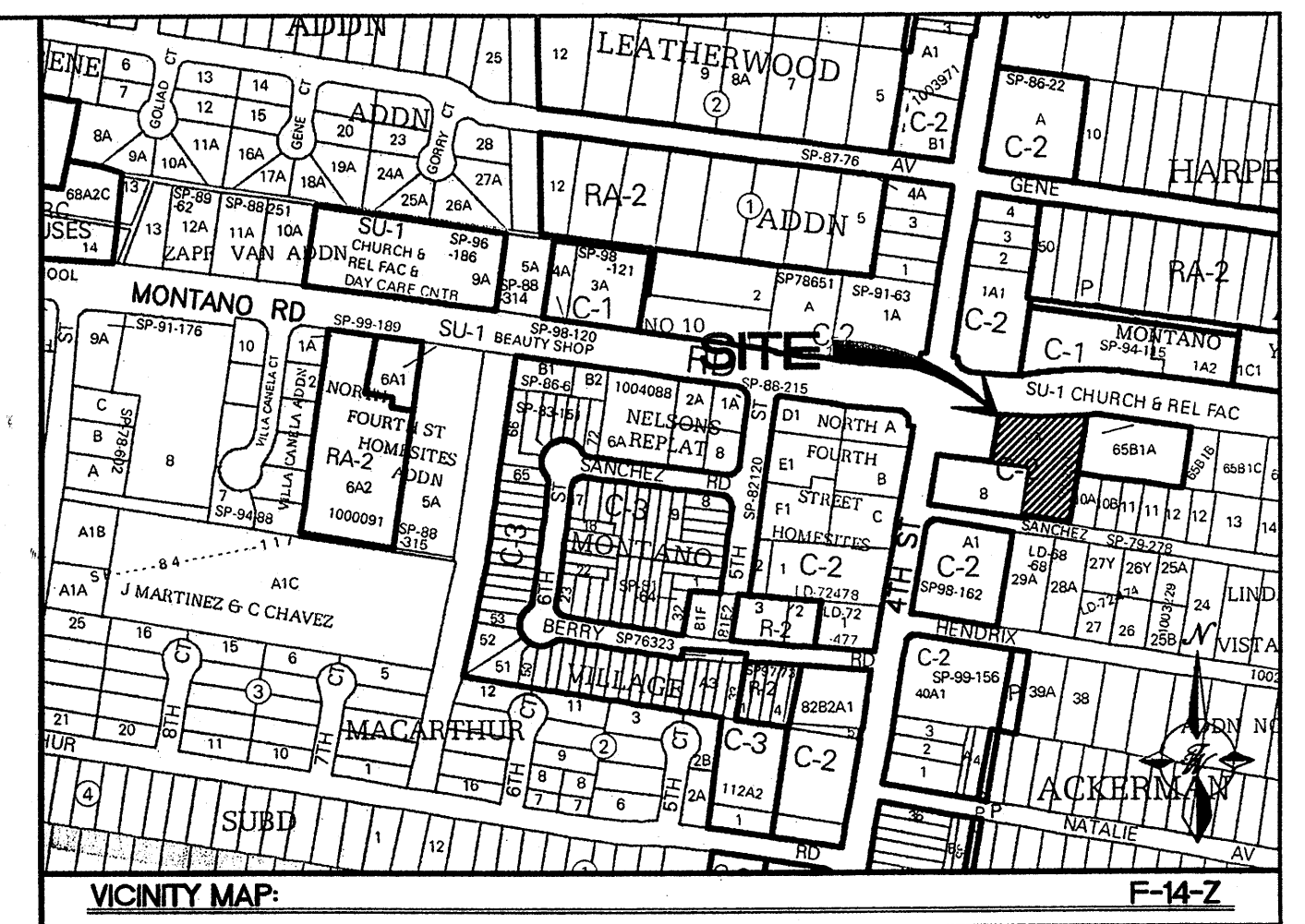
NTS

KEYED NOTE:

- (A) ACCESSIBLE PARKING PER ADA STANDARDS (SEE DETAIL A THIS SHEET)
- (B) 6" HEADER CURB PER COA STD DWG #24158
- (C) CONCRETE SIDEWALK PER COA STD DWG #2430, SIZE PER PLAN
- (D) DUMPSTER ENCLOSURE, (SEE DETAIL SHEET C6)
- (E) EXISTING PYLON SIGN TO REMAIN (NEW SIGN PANELS)
- (F) EXISTING EDGE OF PCCP
- (G) EXISTING TREES TO REMAIN
- (H) EXISTING PCCP TO REMAIN
- (I) EXISTING ALUMINUM PANEL FENCE TO REMAIN
- (J) EXISTING CONCRETE TO BE REMOVED
- (K) EXISTING BUS STOP SHELTER TO BE REMAIN
- (L) PLANTER (TYP.)
- (M) EXISTING AREA LIGHTS TO BE REMOVED (TYP.)
- (N) EXISTING DRIVEPAD TO REMAIN
- (O) EXISTING SHARED ACCESS TO REMAIN
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- (S) EXISTING 4 FT SIDEWALK TO REMAIN
- (T) 3 FT CONCRETE MEDIAN TO REMAIN
- (U) EXISTING TREES TO BE REMOVED
- (V) 12" SIDEWALK CULVERT PER COA STD DWG #2236



DETAIL 'A'
NTS



LEGAL DESCRIPTION:

LOT 9A, LINDA VISTA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

ZONING: C2 - COMMUNITY COMMERCIAL
SETBACKS: FRONT = 10' MAX.
REAR = 10' MIN.
SIDE (CORNER) = N/A

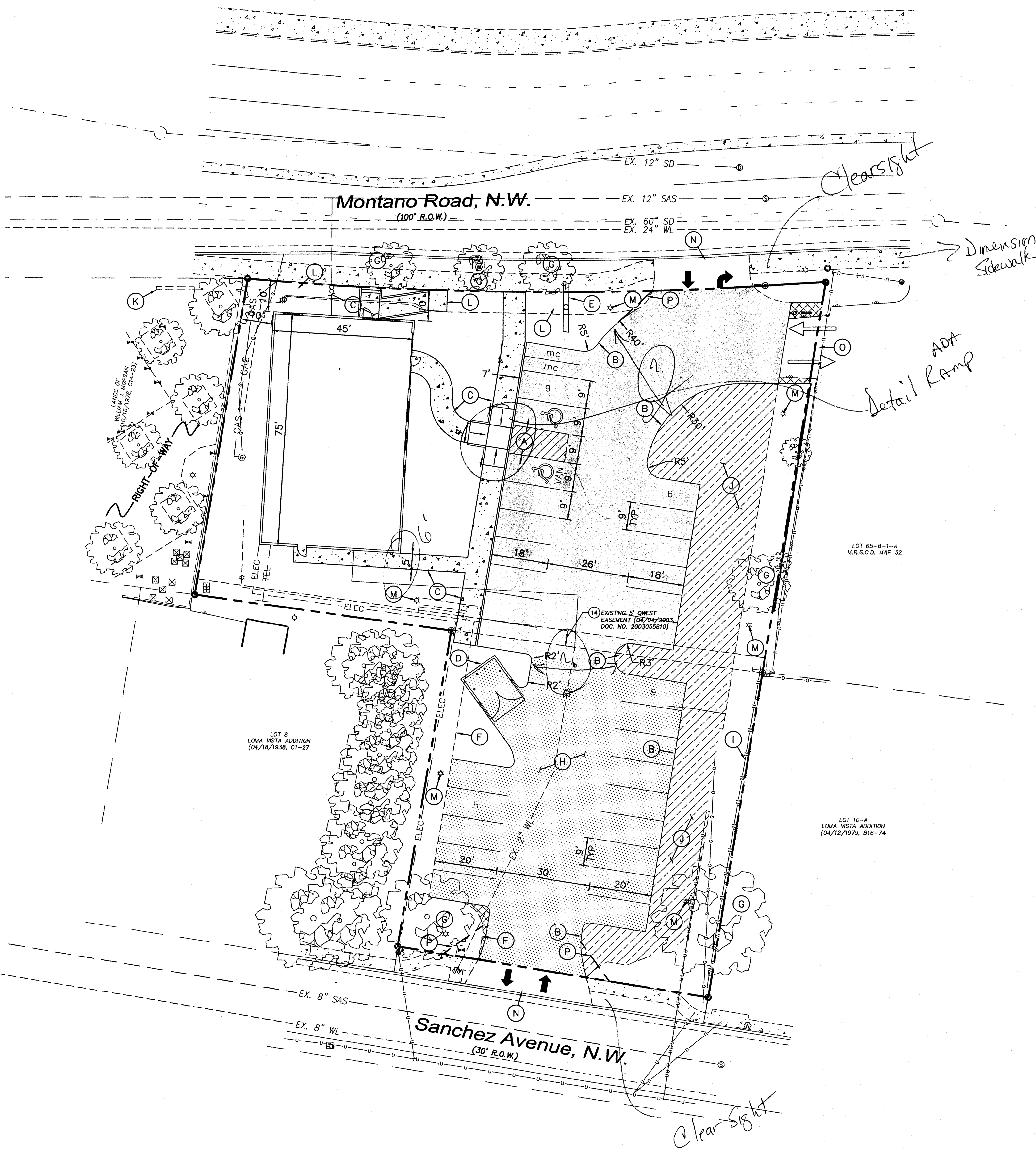
LEGEND

- CURB & GUTTER
- BOUNDARY LINE/ EXTENT OF CURRENT PHASE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- SCREEN WALL
- EXISTING STREET LIGHTS
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- ASPHALT PAVING
- LANDSCAPE REMOVAL
- EXISTING ASPHALT TO REMAIN
- EXISTING CONC. TO BE REMOVED
- AREA LIGHTING

SITE DATA

PROPOSED USAGE: DENTAL OFFICES
LOT AREA: 31,071 SF (0.71 ACRE)
BUILDING AREA: 3375 SF
PARKING REQUIRED: 11 SPACES (3375 SF/3 SPACES PER 1,000 SF)
PARKING PROVIDED: 29 SPACES
HC PARKING REQUIRED: 1 SPACES
HC PARKING PROVIDED: 2 SPACES
1 SPACE VAN ACCESSIBLE
MC PARKING REQUIRED: 2 SPACES
MC PARKING PROVIDED: 2 SPACES
BICYCLE PARKING REQUIRED: 2 SPACES
BICYCLE PARKING PROVIDED: 2 SPACES
LANDSCAPE AREA REQUIRED: 4,155 SF (15% NET LOT AREA)
LANDSCAPE AREA PROVIDED: 12,647 SF

	4TH ST AND MONTANO DENTAL OFFICE		DRAWN BY DY
	TRAFFIC CIRCULATION LAYOUT		DATE 6/15/15
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		2014099-TCL
			SHEET # C1
RONALD R. BOHANNAN P.E. #7868		JOB # 2014099	

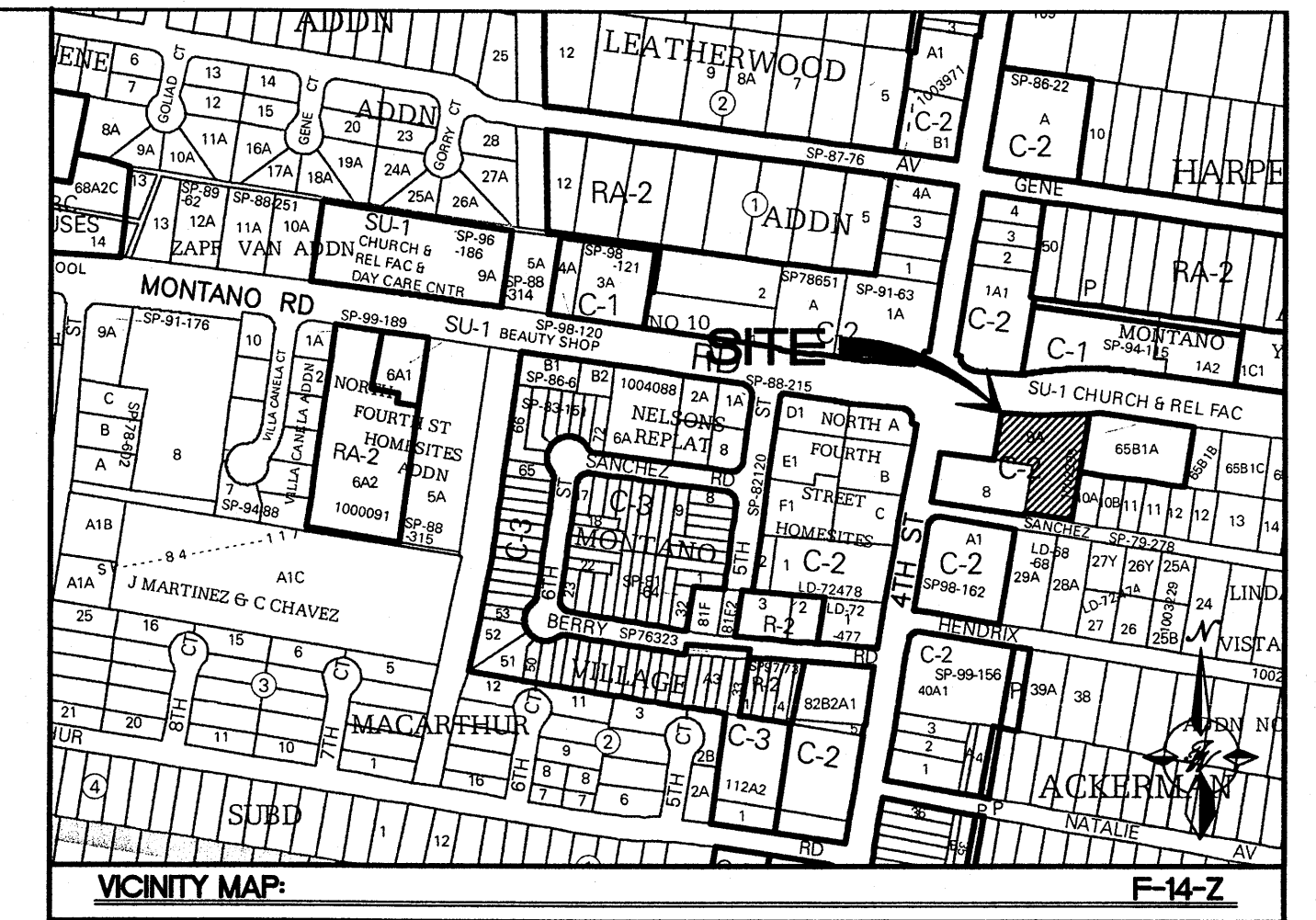


LEGEND

- CURB & GUTTER
- BOUNDARY LINE
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- SIDEWALK
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- EXISTING ASPHALT TO REMAIN
- EXISTING CONC. TO BE REMOVED

KEYED NOTE:

- (A) ACCESSIBLE PARKING PER ADA STANDARDS (SEE DETAIL A SHEET C6)
- (B) 6" HEADER CURB PER COA STD DWG #2415B
- (C) CONCRETE SIDEWALK PER COA STD DWG #2430, SIZE PER PLAN
- (D) DUMPSTER ENCLOSURE, (SEE DETAIL SHEET C6)
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- (M) EXISTING AREA LIGHTS TO BE REMOVED (TYP.)
- (N) EXISTING DRIVEPAD TO REMAIN
- (O) EXISTING SHARED ACCESS TO REMAIN - Copy of Driveway Agreement
- (P) SIGHT TRIANGLE



LEGAL DESCRIPTION:

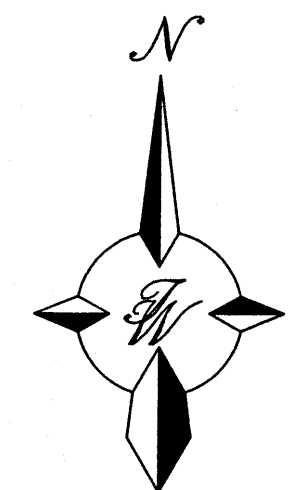
LOT 9A, LOMA VISTA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

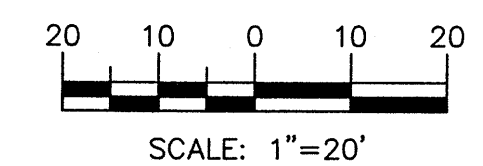
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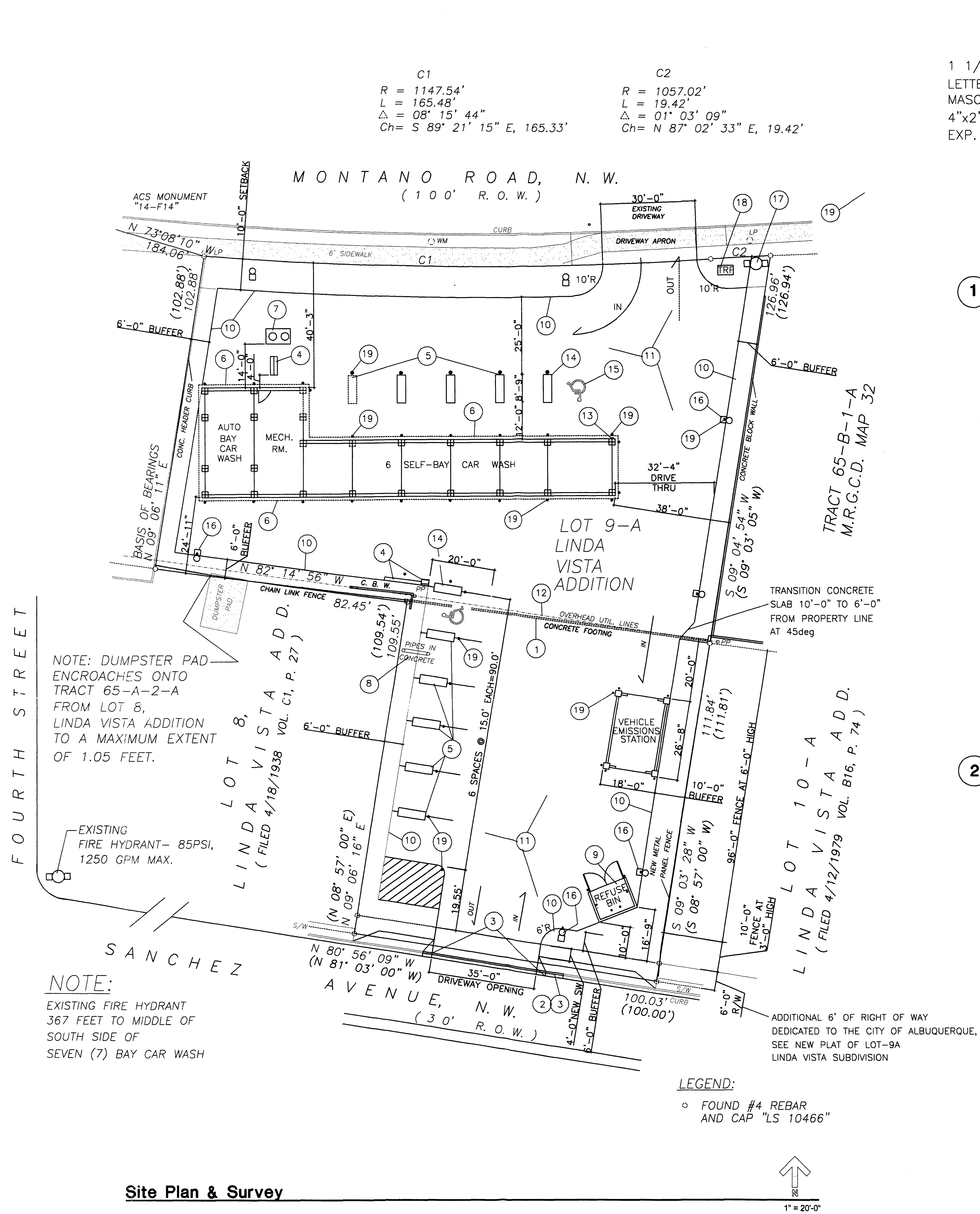
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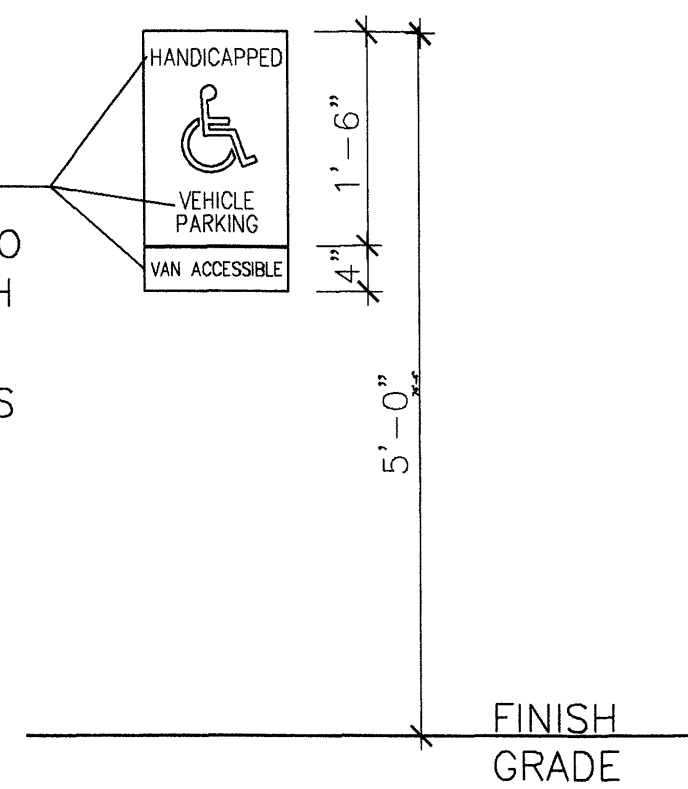
GRAPHIC SCALE



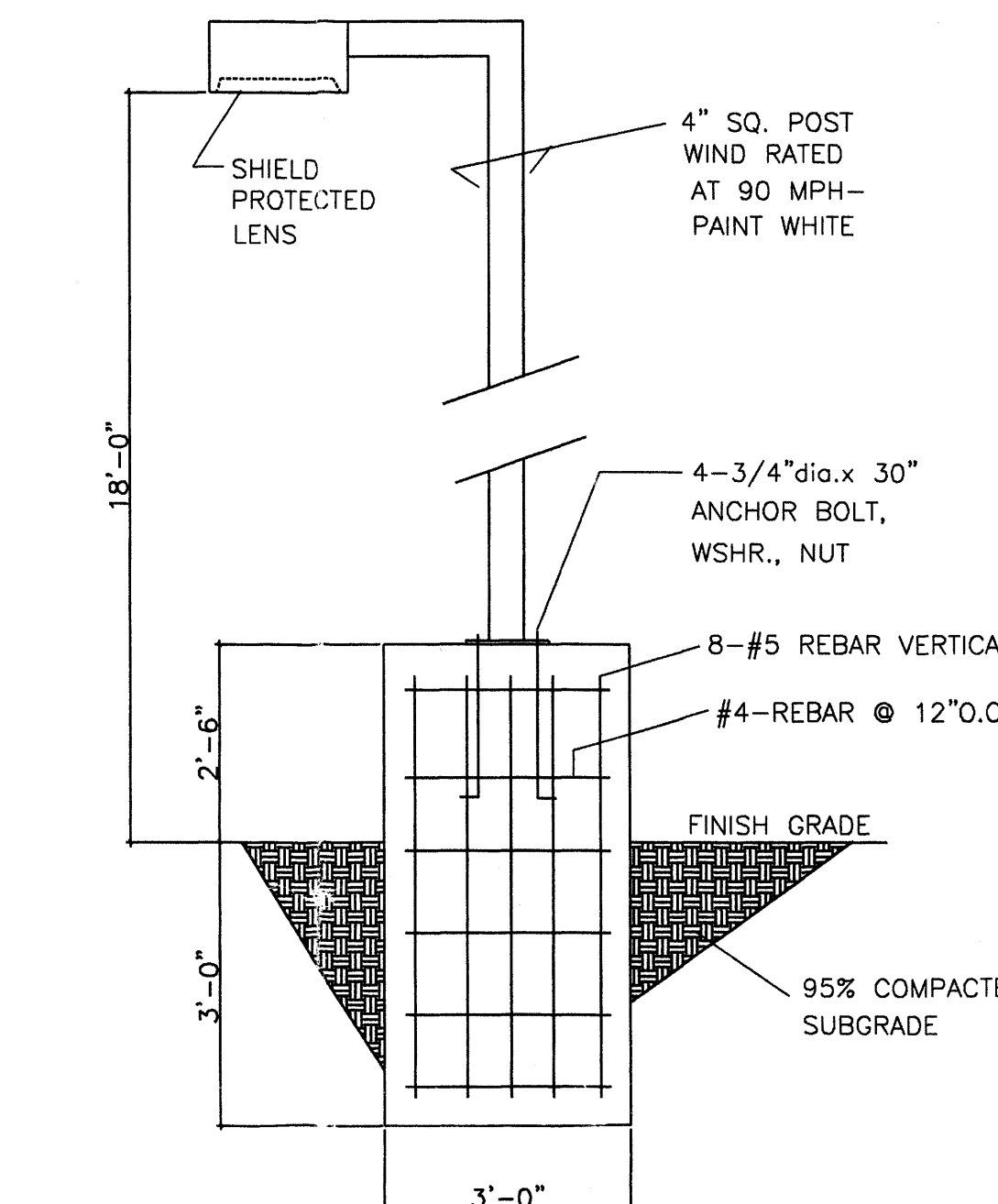
<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNAN</div> <div>NEW MEXICO</div> <div>PROFESSIONAL ENGINEER</div> <div>RONALD R. BOHANNAN</div> <div>P.E. #7868</div>	<div>4TH ST AND MONTANO</div> <div>DENTAL OFFICE</div> <div>TRAFFIC CIRCULATION</div> <div>LAYOUT</div> <div>TIERRA WEST, LLC</div> <div>5571 MIDWAY PARK PLACE NE</div> <div>ALBUQUERQUE, NM 87109</div> <div>(505) 858-3100</div> <div>www.tierrawestllc.com</div>	DRAWN BY	DY
		DATE	5/22/15
		2014099-TCL	
		SHEET #	C1
		JOB #	2014099



1 1/2" HELVETICA LETTERS, SECURE TO MASONRY WALL WITH 4"x2"x1/4" dia. EXP. ANCHOR BOLTS



1 Van Accessible Signage



2 Area Light

Keyed Notes

- REMOVE EXISTING CONCRETE BLOCK WALL/FOOTING
- REMOVE CURB/ GUTTER/ SIDEWALK
- INSTALL NEW CURB/ GUTTER/ SIDEWALK PER CITY OF ALBUQUERQUE STANDARDS
- VENDING MACHINE BY OTHERS RINGER & SINK
- VACUUM STATION
- BUILDING FASCIA OVERHANG
- SAND TRAP
- REMOVE CONCRETE PIPES
- REFUSE BIN- PER CITY OF ALBUQUERQUE WASTE DISPOSAL DEPARTMENT
- EDGE OF CONCRETE PAVING
- CONCRETE PAVING
- CONTRACTOR TO CONTACT TELEPHONE COMPANY TO DIRECT BURY LINES
- ACCESSIBLE SIGN- SEE DETAIL 1 THIS DRAWING C-1
- ACCESSIBLE VACUUM STATION- SEE DRAWING A-2
- ACCESSIBLE SIGNAGE PER ADA STANDARDS, TYPICAL OF 2, SEE DETAIL 1
- AREA LIGHT- 7 TYPICAL, 18'-0" ABOVE GRADE, SHIELD PROTECTED LENS COVER, SEE DETAIL 2
- NEW FIRE HYDRANT
- NEW ELECTRICAL TRANSFORMER
- 6" dia. SCH. 80 PIPE BOLLARD, FILL WITH CONCRETE WITH CONCRETE DOME CAP, PAINT YELLOW SEE DRAWING A-1, DETAIL 3

STUBSTANTIAL COMPLIANCE 08.22.03 J.W.G.A.

Vincity Map

ZONE ATLAS PAGE: F-14-Z N.T.S.

Project Data

PROJECT DESCRIPTION: (1)NEW CAR WASH-ONE AUTO BAY CAR WASH, & SIX SELF-BAY CAR WASH/ (2)VEHICLE EMISSIONS STATION/ (3)CANOPY

LEGAL DESCRIPTION: LOT 9-A OF LINDA VISTA ADDITION UNIT 1

OWNER: JOEL MARKS
548 PASEO DE BOSQUE
ALBUQUERQUE, NEW MEXICO 87107

CONTRACTOR: BMI CONSTRUCTION
141 VINEYARD NW
ALBUQUERQUE, NEW MEXICO 87107
505- 865 -2909

ARCHITECT: JAMES W. GREEN ARCHITECT, P.C.
10421 CAMINO DEL OSO NE
ALBUQUERQUE, NEW MEXICO 87111
505- 296-1456

BUILDING ADDRESS: KRISP & KLEAN CAR WASH #2
340 MONTANO BLVD.
ALBUQUERQUE, NEW MEXICO 87107

ZONE ATLAS PAGE: F-14-Z

ZONING: C-2

Code Data

(1)USEAGE:	CAR WASH	
CONSTRUCTION TYPE:	VN	
OCCUPANCY:	EXTERIOR USE	OCCUPANT LOAD
AREA (USF)	USE FACTOR	
SOAP DISPENSER/ PUMP ROOM	= 440 1/300	2
7 WASH BAYS/ SALES	= 2433 N/A OUTSIDE	0
ACCESSORY	= 40 N/A	0
TOTAL	= 2873	2
EXITS	1 EXIT REQUIRED, 1 PROVIDED	
(2)USEAGE:	VEHICLE EMISSIONS STATION	
CONSTRUCTION TYPE:	VN	
OCCUPANCY:	EXTERIOR USE	OCCUPANT LOAD
AREA (USF)	USE FACTOR	
GARAGE	= 480 1/300	2
TOTAL	= 480	2
(3)USEAGE:	CANOPY	
CONSTRUCTION TYPE:	TYPE 2N	
OCCUPANCY:	EXTERIOR USE	OCCUPANT LOAD
AREA (USF)	USE FACTOR	
CARPORT	= 1893 SF / 0	0
TOTAL	0	0

Index to Drawings

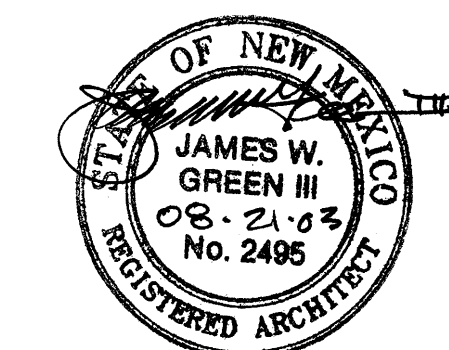
SP	Site Plan / Project Data	MS-1	Mechanical Specifications
C-1	General Construction Notes/ Cals	US-1	Mechanical Site Utility Plan
C-2	Grading & Drainage Plan	P-1	Plumming Floor Plan
L-1	Landscape Plan	P-2	Partial Water & Gas Piping Plan / Partial Sewer & Vent Piping Plan
S-1	Foundation Plan	P-3	Plumbing Details
S.01	Foundation Details/ General Notes	M-1	HVAC Floor Plan
A-1	Floor Plan	M-2	HVAC Details & Equipmt. Schedule
A-2	Enlarged Plan/ Interior Elevations/ Details/ Equipment Dimensions	E-1	Electrical Notes & Legend
A-3	Building Elevations/ Details	E-2	Electrical Site Plan
A-4	Building Sections/ Details	E-3	Electrical Lighting Plan
A-5	Reflected Ceiling Plan	E-4	Electrical Power Plan
A-6	Roof Plan	E-5	Electrical One Line Diagrams & Panel Schedules

CERTIFICATION for TRAFFIC CIRCULATION LAYOUT

21 August 2003

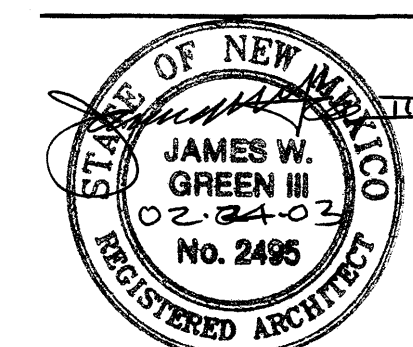
As Architect, I certify that Krisp & Klean Car Wash #2, has been built to approved design drawings.

James W. Green Architect



24 February 2003

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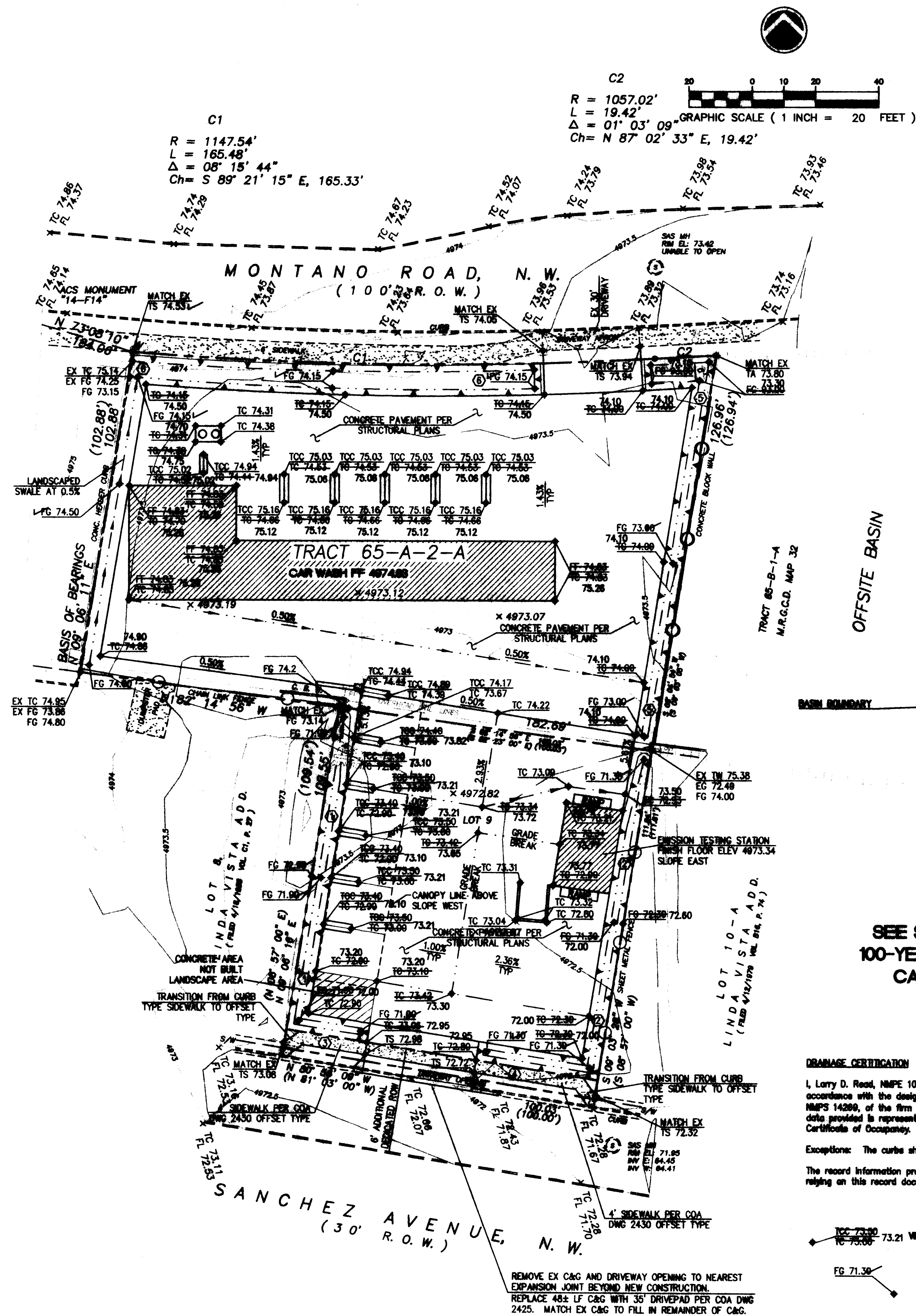
James W. Green Architect, P.C.
ARCHITECTURE AND PLANNING

10421 CAMINO DEL OSO NE
ALBUQUERQUE, NM 87111
V: 505.296.1456 C: 505.238.1397 F: 505.881.9114

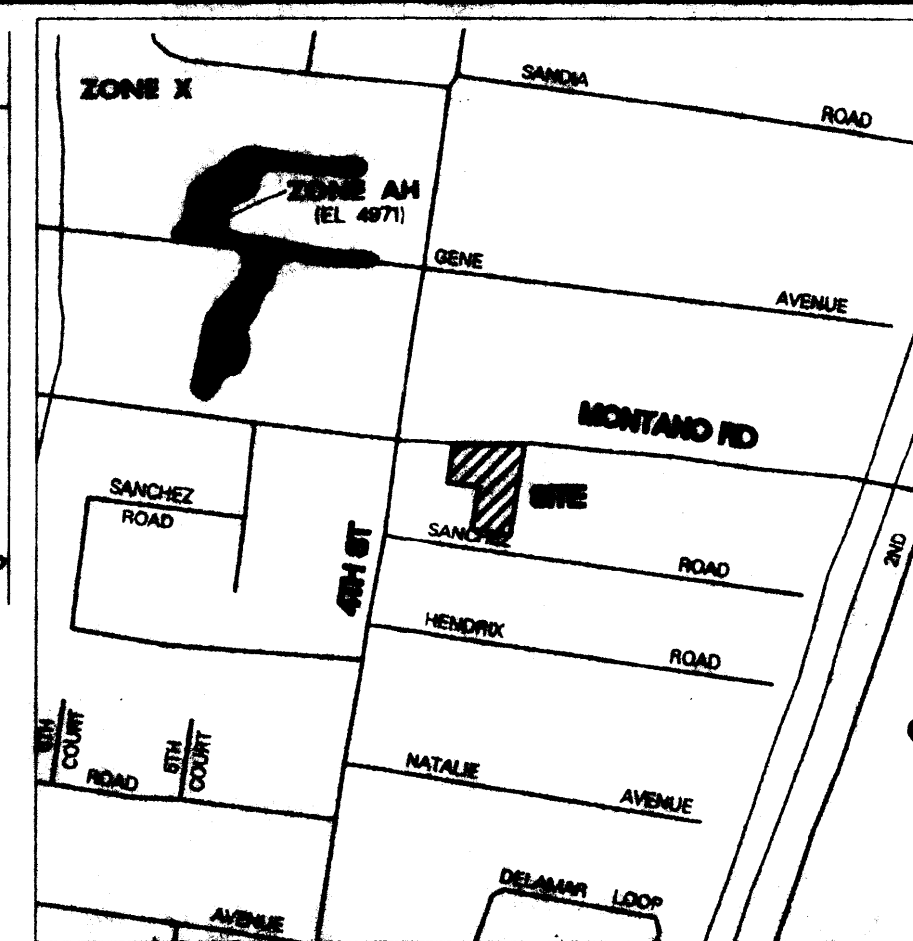
Krisp & Klean Car Wash #2
Marks/Hawkins, LLC
340 Montano Road NW
Albuquerque, NM

SHEET NO.

C-1



- GRADING KEY NOTES**
- RETENTION POND WITH 2' WIDE BOTTOM AND 2:1 SIDES 1.0' DEEP
 BOTTOM AREA = 185 SQ FT
 TOP AREA = 615 SQ FT
 VOLUME = 400 CU FT
 - RETENTION POND WITH 2' WIDE BOTTOM AND 2:1 SIDES 1.0' DEEP
 BOTTOM AREA = 187 SQ FT
 TOP AREA = 625 SQ FT
 VOLUME = 406 CU FT
 - RETENTION POND WITH "V" BOTTOM AND 2:1 SIDES 1.0' DEEP
 BOTTOM LENGTH = 19 FT
 TOP AREA = 76 SQ FT
 VOLUME = 36 CU FT
 - RETENTION POND WITH "V" BOTTOM AND 2:1 SIDES 1.0' DEEP
 BOTTOM LENGTH = 32 FT
 TOP AREA = 128 SQ FT
 VOLUME = 64 CU FT
 - RETENTION POND WITH 2' WIDE BOTTOM AND 2:1 SIDES 1.0' DEEP
 BOTTOM AREA = 333 SQ FT
 TOP AREA = 902 SQ FT
 VOLUME = 617 CU FT
 - RETENTION POND WITH 5.5' AVERAGE WIDTH BOTTOM AND 2:1 SIDES 1.0' DEEP
 BOTTOM AREA = 683 SQ FT
 TOP AREA = 1224 SQ FT
 VOLUME = 956 CU FT



FIRM PANEL 10 (1" = 500')

DRAINAGE INFORMATION

LOCATION & DESCRIPTION

THE PROPOSED SITE IS COMPRISED OF TWO (2) LOTS LOCATED AT THE SOUTHEAST CORNER OF 4TH STREET AND MONTANO ROAD, AS SHOWN ON THE VICINITY MAP ON THIS SHEET. IT IS CURRENTLY UNDEVELOPED BUT HAS BEEN GRADED USED EXTENSIVELY FOR PARKING. THEREFORE, IT IS HARD COMPACTED SOIL WITH NO VEGETATION.

BASEFLOOD STAGE

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0119 D, DATED SEPTEMBER 20, 1996 IS NOT WITHIN ANY DESIGNATED 100-YEAR FLOODPLAIN. A PORTION OF THIS PANEL WITH THE SITE DESIGNATED ON IT IN INCLUDED ON THIS SHEET.

METEOROLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION

THE 100-YR, 6-HR AND 100-YR, 10 DAY DURATION STORM EVENTS WERE USED AS THE DESIGN STORMS FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 2 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WERE USED TO ESTABLISH THE 6-HOUR, 24-HOUR, AND 10-DAY PRECIPITATION VALUES, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

EXISTING DRAINAGE

THE SITE IS UNDEVELOPED AS DESCRIBED ABOVE IN "LOCATION AND DESCRIPTION." THERE IS A SMALL OFFSITE BASIN ON THE EAST SIDE OF TRACT 65-A-2-A. THIS OFFSITE BASIN WAS FIELD MEASURED. IT CONSISTS OF THE ASPHALT PARKING LOT AND A PORTION OF THE EXISTING CHURCH BUILDING ON TRACT 65-B-1-A. THEREFORE, IT IS ANALYZED AS 100% LAND TREATMENT "D". THIS BASIN SHEET FLOWS ONTO TRACT 65-A-2-A. THE PROPERTY TO THE WEST IS BUILT UP APPROXIMATELY ONE FOOT (1') ABOVE TRACT 65-A-2-A WITH A HEADER CURB AND CONCRETE PAD THAT DRAINS TO MONTANO ROAD. LOT 10-A TO THE EAST OF LOT 9, HAS BEEN DEVELOPED AND HAS A SHEET METAL FENCE THAT PREVENTS RUNOFF FROM ENTERING LOT 9 AND LOT 8 IS DEVELOPED WITH A MINOR POND ADJACENT TO THIS PROPERTY. MONTANO ROAD AND SANCHEZ AVENUE ARE DEVELOPED ASPHALT STREETS WITH CURB AND GUTTER TO CONVEY THE RUNOFF AWAY FROM THE SITE. THEREFORE, THERE ARE NO OTHER OFFSITE BASINS TO EVALUATE FOR THIS DEVELOPMENT. THE EXISTING GROUND ON TRACT 65-A-2-A IS BELOW THE SIDEWALK ELEVATION ON MONTANO ROAD AND HAS A SLIGHT SLOPE ACROSS LOT 9 WHERE BOTH LOTS HAVE FREE DISCHARGE INTO SANCHEZ AVENUE.

DEVELOPED CONSIDERATION

ALTHOUGH BOTH LOTS ARE BEING DEVELOPED AS A SINGLE BUSINESS, THEY WILL NOT BE REPLANTED INTO A SINGLE LOT. THEREFORE, EACH LOT IS ANALYZED INDEPENDENTLY. TRACT 65-A-2-A WILL BE FILLED APPROXIMATELY 1.7' AT THE BUILDING IN ORDER TO PROVIDE ADEQUATE DRAINAGE TO RETENTION PONDS WITHIN THE LANDSCAPE AREAS ALONG MONTANO ROAD AND THE EAST PROPERTY LINE. SEE KEY NOTES 5 AND 6 FOR POND SIZES. THE COMBINED VOLUME OF THESE TWO (2) PONDS IS 1575 CUBIC FEET. THIS IS SLIGHTLY MORE THAN THE 1526 CUBIC FOOT INCREASE IN RUNOFF VOLUME FOR THIS TRACT (100-YEAR, 6-HOUR EVENT). ONCE THESE PONDS FILL THEY WILL OVERTOP THROUGH THE DRIVEWAY ONTO MONTANO ROAD. SIMILARLY, LOT 9 WILL BE GRADED DIVIDING THE LOT IN HALF WITH RUNOFF ENTERING RETENTION PONDS WITHIN THE LANDSCAPE AREAS. THE COMBINED VOLUME OF THE LOT 9 RETENTION PONDS IS 908 CUBIC FEET (KEYED NOTES 1 THROUGH 4). LIKEWISE THIS IS SLIGHTLY OVER THE 822 CUBIC FOOT INCREASE IN RUNOFF GENERATED BY THE 100-YEAR, 6-HOUR STORM EVENT. THESE PONDS WILL ALSO OVERTOP THE DRIVEWAY INTO SANCHEZ AVENUE IN THE LARGER STORM EVENTS.

THEREFORE, THIS SITE CAN BE DEVELOPED ACCORDING TO THIS GRADING AND DRAINAGE PLAN AND STILL ACCEPT THE OFFSITE RUNOFF. SMALL EVENT STORMS WILL BE CONTAINED ONSITE, AND THE LARGER ONES WILL DISCHARGE TO THE STREETS WITHOUT CREATING AN ADVERSE IMPACT ON DOWNSIDE PROPERTIES. THE BUILDING WILL ALSO BE CONSTRUCTED ABOVE MONTANO DRIVE SO IT IS PROTECTED FROM THE 100-YEAR STORM EVENT.

DRAINAGE CERTIFICATION

I, Larry D. Read, NMPE 10988, of the firm Larry Read & Associates, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 1/3/03. The record information edited into the original design document has been obtained by Thomas Johnson, NMPS 14288, of the firm Woyahn Surveying. I further certify that I have personally visited the project site on 8/14/2003 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

Exceptions: The curbs shown around the vacuum and whelpdown areas were not constructed. The equipment is set at top of concrete elevation.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purposes.

73.21 VERIFIED SPOT ELEVATION

71.30 EARTH SPOT ELEVATION MATCHED DESIGN



FIRM PANEL 10 (1" = 500')

LEGAL DESCRIPTION

TRACT 65-A-2-A, MIXED MAP 32 AND LOT 9 LINDA VISTA ADDITION UNIT 1, AS SHOWN AND DESIGNATED ON THE PLAN OF SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 18, 1938 IN PLAT BOOK C1, FOLIO 27

ACS BENCHMARK

ACS MONUMENT "14-F14", BEING AN ACS MONUMENT, WITH AN ELEVATION OF 4874.616 (SLD 1929).

TEMPORARY BENCHMARK

REBAR FOUND AT THE NORTHWEST PROPERTY CORNER WITH AN ELEVATION OF 4874.53.

SURVEY NOTES

FIELD SURVEY BY:
 WOYAHN SURVEYING INC.
 330 LOUISIANA BLVD, NE
 ALBUQUERQUE, NM 87108

SURVEY DATE: SEPT., 2002
 PHONE: (505) 268-2052
 FAX: (505) 268-2887

LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION SUPPLIED TO THE SURVEYOR BY THE APPROPRIATE UTILITY COMPANIES. SURVEYOR DOES NOT GUARANTEE THESE LOCATIONS NOR THE FACT THAT SOME UTILITIES MIGHT BE LEFT OUT. IT IS THE RESPONSIBILITY OF THE SUBMITTER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.

THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED BY THE OWNER AS SUCH.

FLOODPLAIN

THE PROPERTY SHOWN HEREON DOES NOT LIE WITHIN ANY DESIGNATED FLOODPLAIN PER THE FLOOD INSURANCE RATE MAP OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMMUNITY-PANEL NO. 35001C0119 D, EFFECTIVE DATE SEPTEMBER 20, 1996 AS SHOWN ON THIS SHEET.

LARRY READ & ASSOCIATES

Civil Engineers
 4800-C Juan Tabo, NE
 Albuquerque, New Mexico 87111
 (505) 237-8421

GRADING AND DRAINAGE PLAN

Revisions

Drawn by	Item	Date
Checked by		

21 November 2002
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James W. Green Architect, P.C.
 ARCHITECTURE AND PLANNING

10421 CAMINO DEL ORO NE
 ALBUQUERQUE, NM 87111
 V: 505.298.1496 C: 505.238.1397 F: 505.861.9114

Krispy Klean Car Wash #2
 Marks-Hawkins, LLC
 Montano Road, NW
 Albuquerque, NM

SHEET NO.

C-2