



**Planning Department
Transportation Development Services**

Thursday, June 04, 2015

Vince Carrica
Tierra West, LLC
5571 Midway Park Place, NE
Albuquerque, NM 87109

Re: 4th & Montano Dental Office
5508 4th St., NW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 6-2-15 (F14-D055)

Dear Mr. Carrica,

Based upon the information provided in your submittal received 6-2-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Clarify the extents of the current phase.
2. Identify all existing access easements and rights of way with dimensions.
3. Identify and dimension the existing right of way width, medians, sidewalks and curb cuts on Montano Rd., Sanchez Ave. and into the parcel to the east of the proposed building.
4. Please show a detail with dimensions and slope of the ADA pedestrian walkway transition from the ADA parking spaces.
5. The ADA van accessible sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please show a detail of this signage.
6. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
7. Show all drive aisle widths and radii.
8. Design delivery vehicle route needs to be shown.
9. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please provide this detail at the Montano Rd. and Sanchez Ave. entrances.

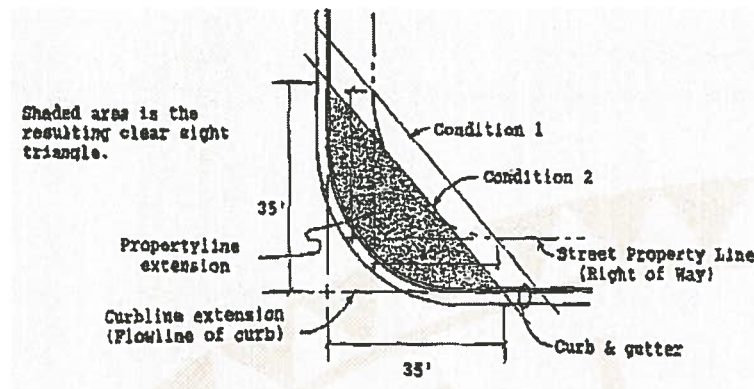
PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



10. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
11. Please include a copy of your shared access agreement with the adjacent property owner to the east of the proposed building.
12. Work within the public right of way requires a work order with DRC approved plans.
13. Please include two copies of the traffic circulation layout at the next submittal.

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Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 4th & Montano Dental Office City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 9A Vista Addition

City Address: 5508 4th Street NW Albuquerque, NM

Engineering Firm: Tierra West, LLC Contact: Vince Carrica

Address: 5571 Midway Park Place NE Albuquerque NM 87109

Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: vcarrica@tierrawestllc.com

Owner: Patrick Sauerland- InSite Real Estate, LLC Contact: 630-617-9100 x 115

Address: 1400 16th Street, Suite 300 Oak Brook, IL 60523

Phone#: _____ Fax#: _____ E-mail: psauerland@insiterealestate.com

Architect: Rick Bennett Architects Contact: Rick Bennett

Address: 1104 Park Avenue SW Albuquerque, NM 87102

Phone#: _____ Fax#: _____ E-mail: rick@rba81.com

Surveyor: Precision Surveys Inc Contact: Larry Medrano

Address: P.O. Box 90636 Albuquerque, NM 87199

Phone#: _____ Fax#: _____ E-mail: Larry@presurv.com

Contractor: TBD Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

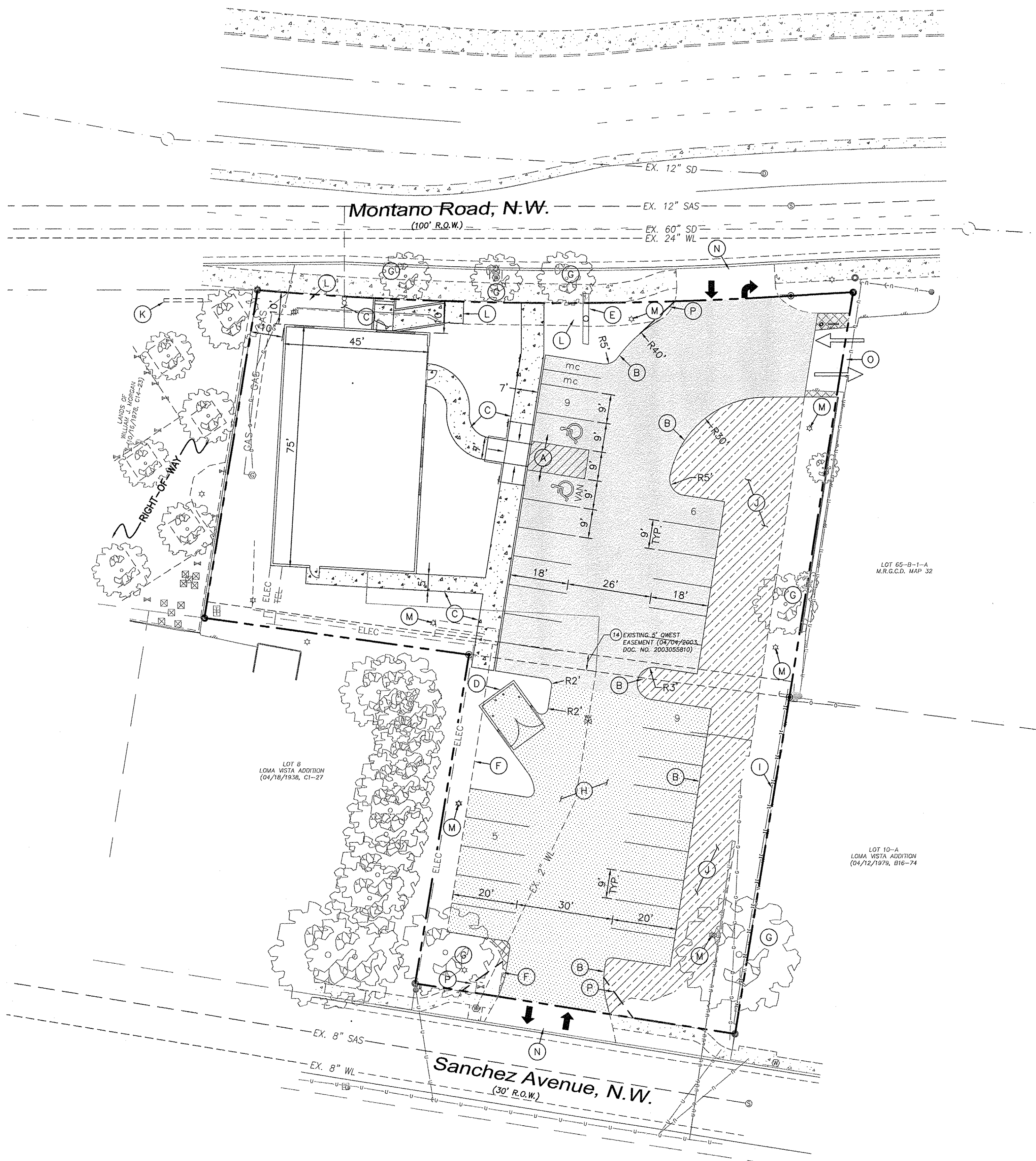
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

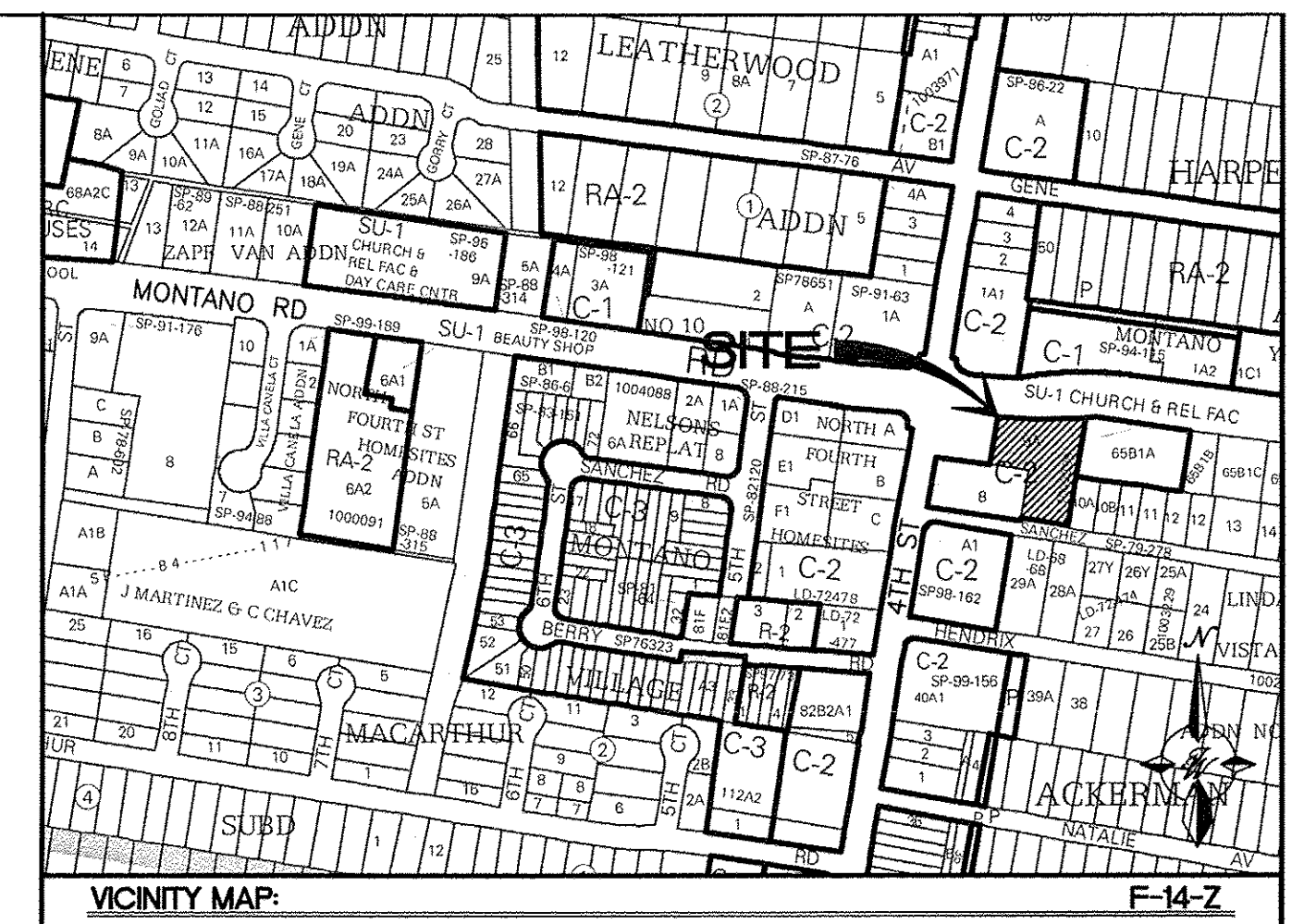


LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	BUILDING
	SIDEWALK
	SCREEN WALL
	STREET LIGHTS
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING SIDEWALK
	EXISTING LANE
	EXISTING STRIPING
	ASPHALT PAVING
	LANDSCAPE REMOVAL
	EXISTING ASPHALT TO REMAIN
	EXISTING CONC. TO BE REMOVED

KEYED NOTE

- (A) ACCESSIBLE PARKING PER ADA STANDARDS (SEE DETAIL A SHEET C6)
- (B) 6" HEADER CURB PER COA STD DWG #2415B
- (C) CONCRETE SIDEWALK PER COA STD DWG #2430, SIZE PER PLAN
- (D) DUMPSTER ENCLOSURE, (SEE DETAIL SHEET C6)
- (E) EXISTING PYLON SIGN TO REMAIN (NEW SIGN PANELS)
- (F) EXISTING EDGE OF PCCP
- (G) EXISTING TREES TO REMAIN
- (H) EXISTING PCCP TO REMAIN
- (I) EXISTING ALUMINUM PANEL FENCE TO REMAIN
- (J) EXISTING CONCRETE TO BE REMOVED
- (K) EXISTING BUS STOP SHELTER TO BE REMAIN
- (L) PLANTER (TYP.)
- (M) EXISTING AREA LIGHTS TO BE REMOVED (TYP.)
- (N) EXISTING DRIVEPAD TO REMAIN
- (O) EXISTING SHARED ACCESS TO REMAIN
- (P) SIGHT TRIANGLE



LEGAL DESCRIPTION:

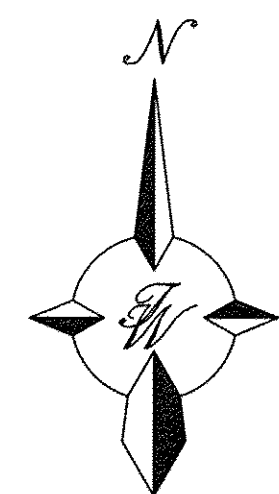
LOT 9A, LINDA VISTA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

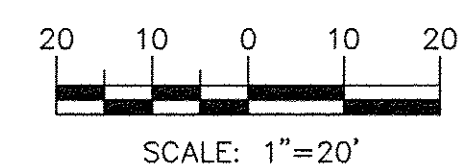
ZONING: C2 - COMMUNITY COMMERCIAL
SETBACKS: FRONT = 10' MAX.
REAR = 10' MIN.
SIDE (CORNER) = N/A

SITE DATA

PROPOSED USAGE:	DENTAL OFFICES
LOT AREA:	31,071 SF (0.71 ACRE)
BUILDING AREA:	3375 SF
PARKING REQUIRED:	11 SPACES (3375 SF/3 SPACES PER 1,000 SF)
PARKING PROVIDED:	29 SPACES
HC PARKING REQUIRED:	1 SPACES
HC PARKING PROVIDED:	2 SPACES
1 SPACE VAN ACCESSIBLE	
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	2 SPACES
LANDSCAPE AREA REQUIRED:	4,155 SF (15% NET LOT AREA)
LANDSCAPE AREA PROVIDED:	12,647 SF



GRAPHIC SCALE



ENGINEER'S SEAL	4TH ST AND MONTANO DENTAL OFFICE	DRAWN BY
	TRAFFIC CIRCULATION LAYOUT	DY
		DATE
		5/22/15
		2014099-TCL
		SHEET #
		C1
		JOB #
		2014099

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com