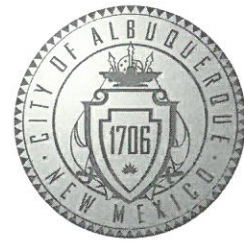


CITY OF ALBUQUERQUE



December 4, 2018

Simons Architecture
Joe Simons
P.O. Box 67408
Albuquerque, NM 87193

Re: Burger King
5508 4th St NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 02-22-18 (F14-D055)
Certification dated 11-19-18

Dear Mr. Simons

Based upon the information provided in your submittal received 12-04-18, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



PO Box 67408
ALBUQUERQUE, NM 87193-7408
JFS @ SIMONSARCHITECTURE.COM

505.480.4796 VOICE

12-19-18

TRAFFIC CERTIFICATION

I, JOE SIMONS JR., NMRA 002890, OF THE FIRM SIMONS ARCHITECTURE PC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB, AA OR TCL APPROVED PLAN DATED 2-22-18 AT THE ADDRESS 5508 4TH STREET NW ALBUQUERQUE, NM AND PERMIT NUMBER IS BP2017-39447. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOE SIMONS JR., OF THE FIRM SIMONS ARCHITECTURE. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9/26/16 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY (PERMANENT). ANY ALTERATIONS TO THE APPROVED TCL IS NOTED IN RED ON THE ATTACHED PLAN AND IS NOTED AS FOLLOWS:

• WIDEN A PORTION OF DRIVE - THRU AS SHOWN.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



1.02
Signature of Engineer or Architect

11-19-18
Date



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: BURGER KING Building Permit #: 2017-39444 Hydrology File #: F140055

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 9-A, LINDA VISTA ADDITION

City Address: 5508 4th STREET NW

Applicant: TOM McCOLLUM Contact: _____

Address: 11000 BERMUDA WILLOWS NE 87111

Phone#: 681-7474 Fax#: _____ E-mail: _____

Other Contact: SIMONS ARCHITECTURE PC Contact: JOE SIMONS

Address: P.O. BOX 67403 87193

Phone#: 480-4796 Fax#: _____ E-mail: joe@simonsarchitecture.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

_____ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY

_____ PRELIMINARY PLAT APPROVAL

_____ SITE PLAN FOR SUB'D APPROVAL

_____ SITE PLAN FOR BLDG. PERMIT APPROVAL

_____ FINAL PLAT APPROVAL

_____ SIA/ RELEASE OF FINANCIAL GUARANTEE

_____ FOUNDATION PERMIT APPROVAL

_____ GRADING PERMIT APPROVAL

_____ SO-19 APPROVAL

_____ PAVING PERMIT APPROVAL

_____ GRADING/ PAD CERTIFICATION

_____ WORK ORDER APPROVAL

_____ CLOMR/LOMR

_____ FLOODPLAIN DEVELOPMENT PERMIT

_____ OTHER (SPECIFY) _____

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION

_____ PAD CERTIFICATION

_____ CONCEPTUAL G & D PLAN

_____ GRADING PLAN

_____ DRAINAGE REPORT

_____ DRAINAGE MASTER PLAN

_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC

_____ ELEVATION CERTIFICATE

_____ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)

_____ TRAFFIC IMPACT STUDY (TIS)

_____ STREET LIGHT LAYOUT

_____ OTHER (SPECIFY) _____

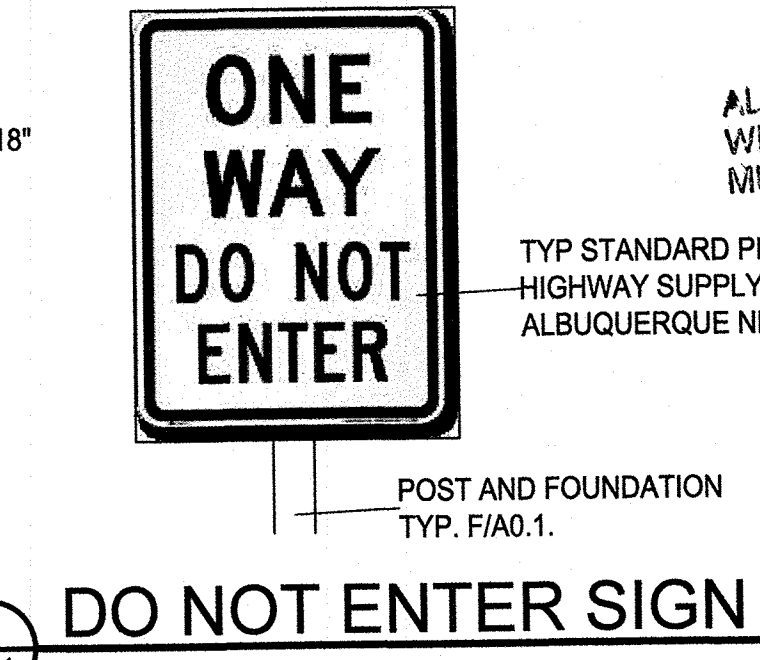
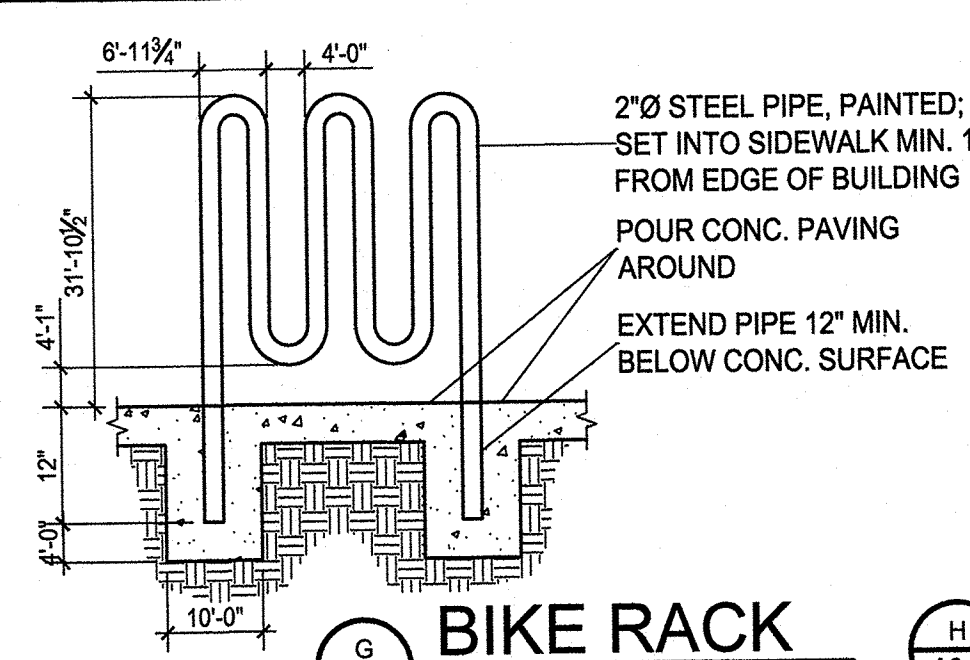
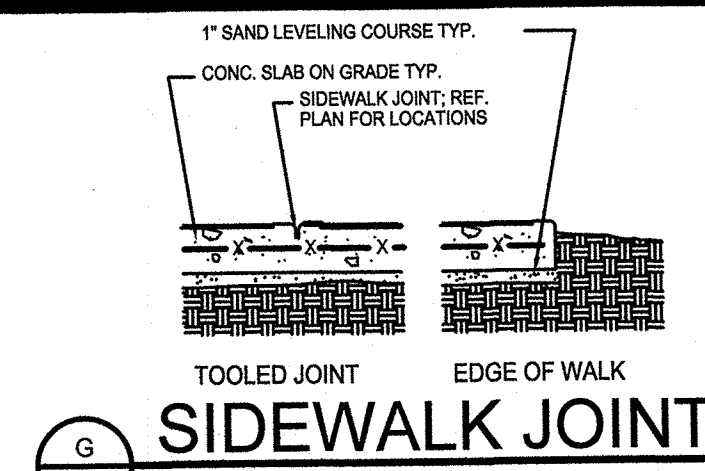
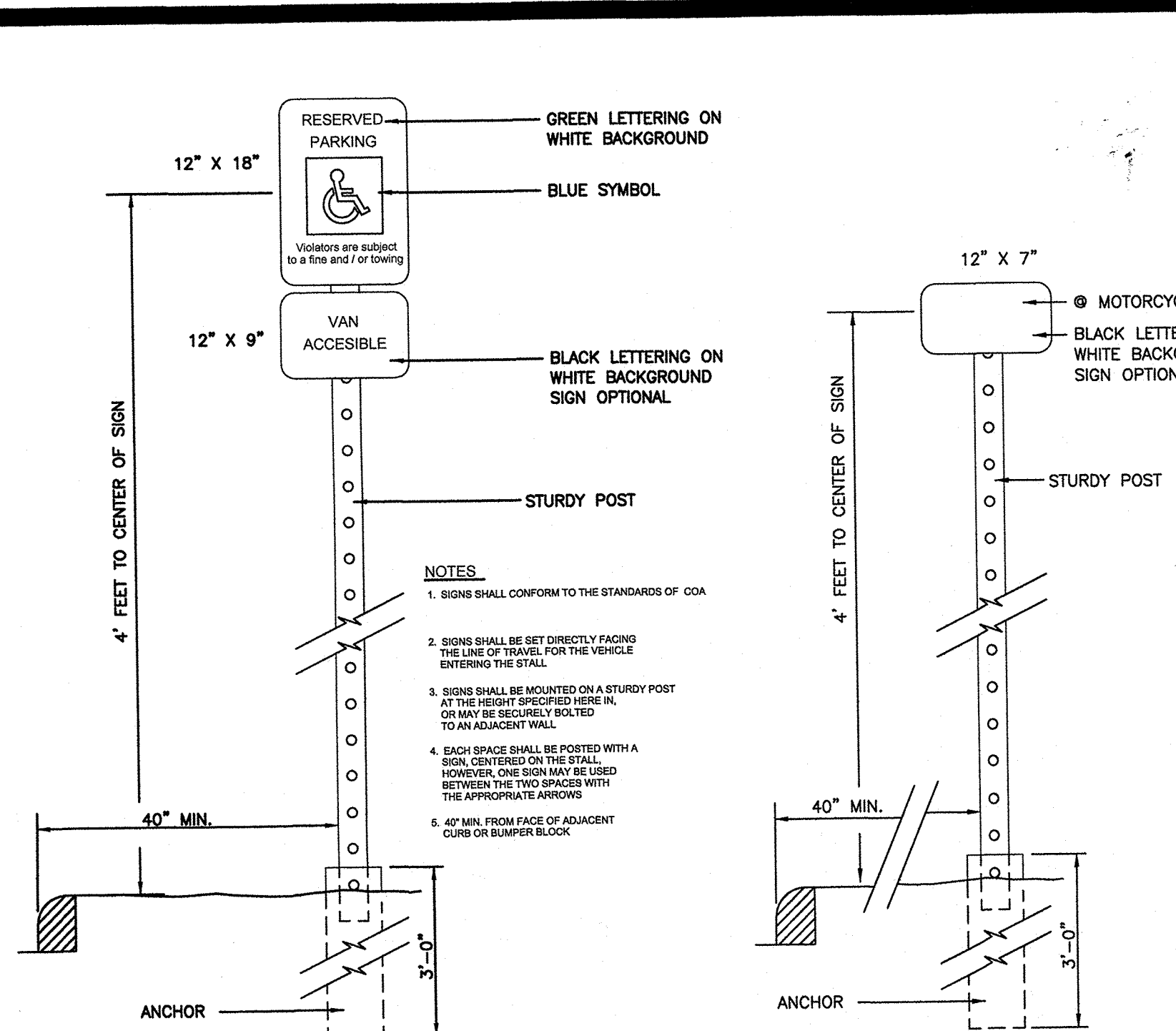
_____ PRE-DESIGN MEETING?

DATE SUBMITTED: 11.19.18 By: JOE SIMONS

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: \$110.00

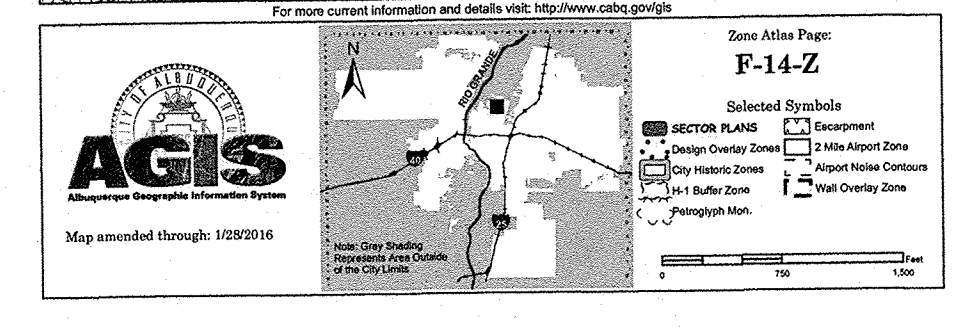
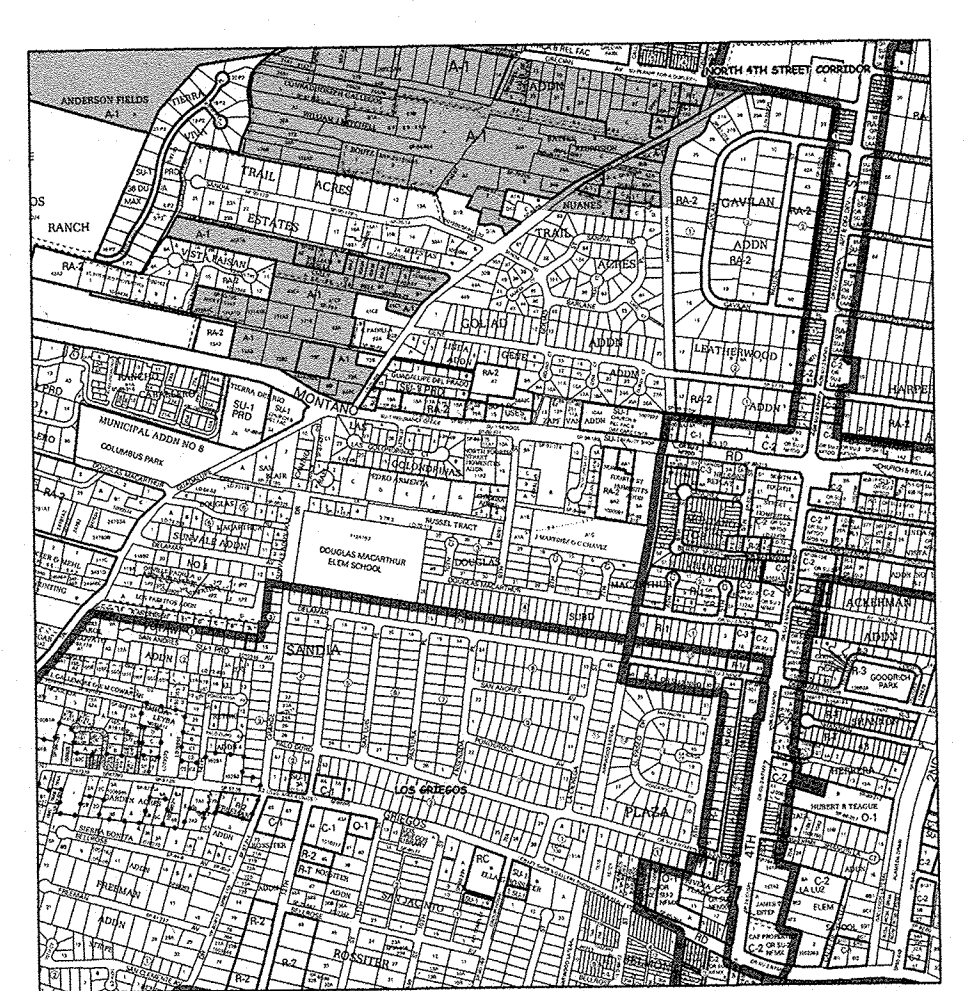


ALL WHITECHAIR MAPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

TYP STANDARD PER HIGHWAY SUPPLY ALBUQUERQUE NM.

TRAFFIC CIRCULATION LAYOUT APPROVED

Joseph F. Simons, Jr.
Signed
02-22-18
Date



VICINITY MAP

LEGAL DESCRIPTION

LOT 9-A LINDA VISTA ADDITION
ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY

SITE DATA

ZONING: SU-2 FOR C-2
ZONE ATLAS: F14
SITE SIZE: 31118.901 SQ. FT. (.692 AC.)
BUILDING SIZE / % OF SITE: 2,766 SQ. FT. / 8.89%

PARKING CALCULATIONS

EXISTING AND NEW BUILDING

BUILDING AREA: 2,766 S.F.
NUMBER OF SEATS: 42

PARKING CALCULATIONS:
4 SEATS/SPACE = 11 PARKING SPACES

TOTAL STANDARD PARKING PROVIDED = 22 SPACES
TOTAL H.C. PARKING REQUIRED = 2 SPACE
TOTAL H.C. PARKING PROVIDED = 2 SPACE
TOTAL MOTORCYCLE SPACES REQUIRED = 1 SPACE
TOTAL MOTORCYCLE SPACES PROVIDED = 2 SPACE
TOTAL PARKING PROVIDED = 25 SPACES

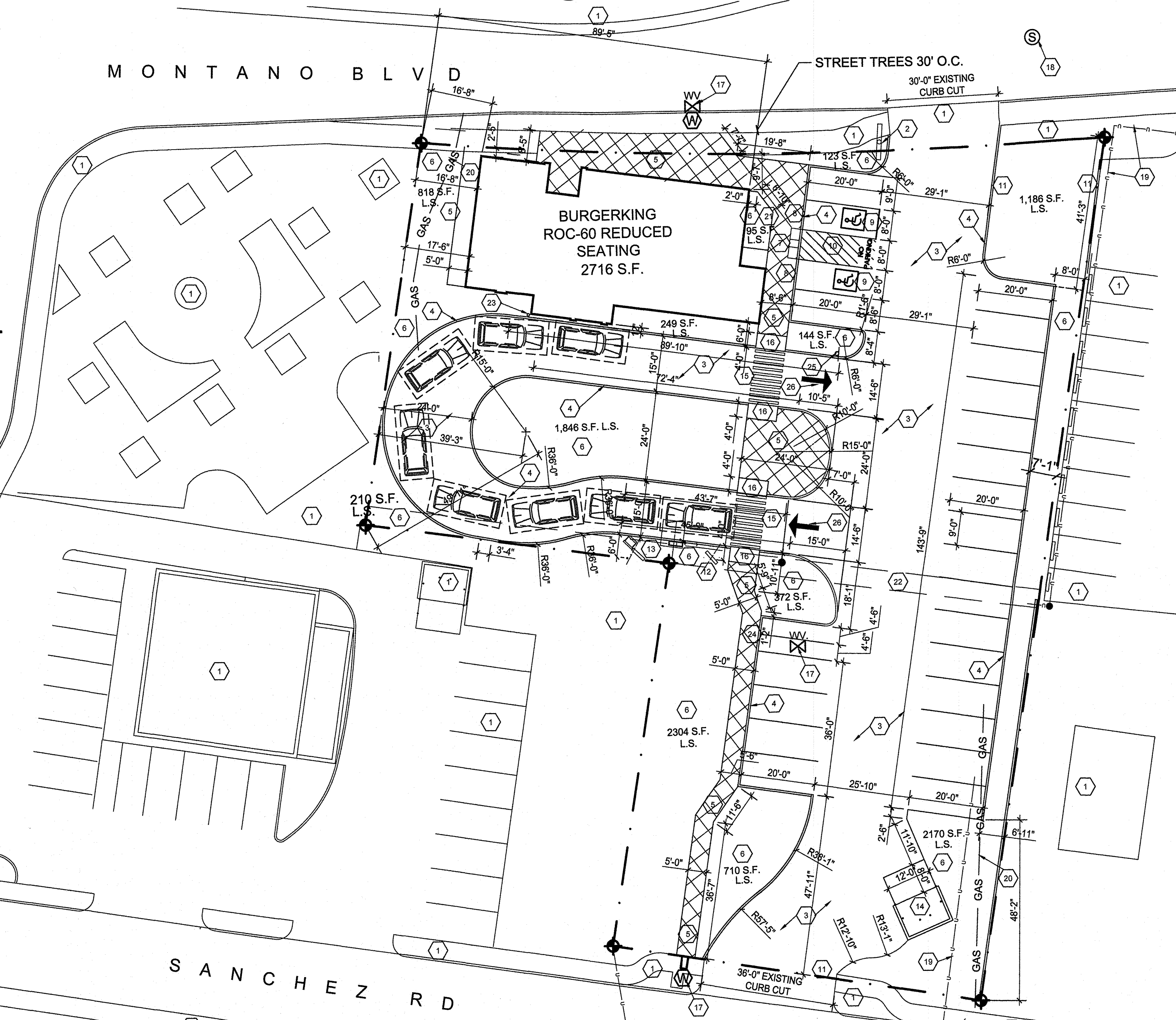
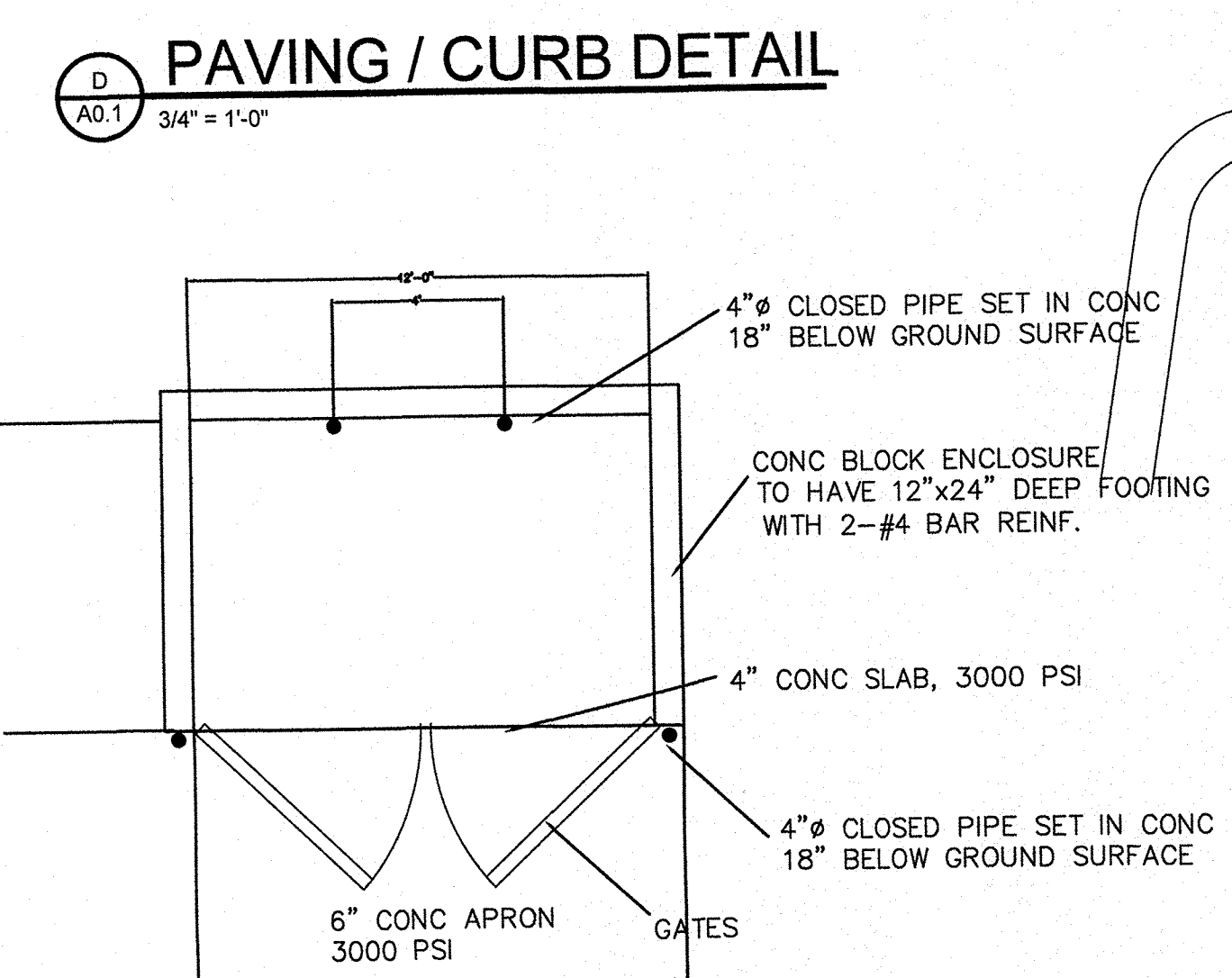
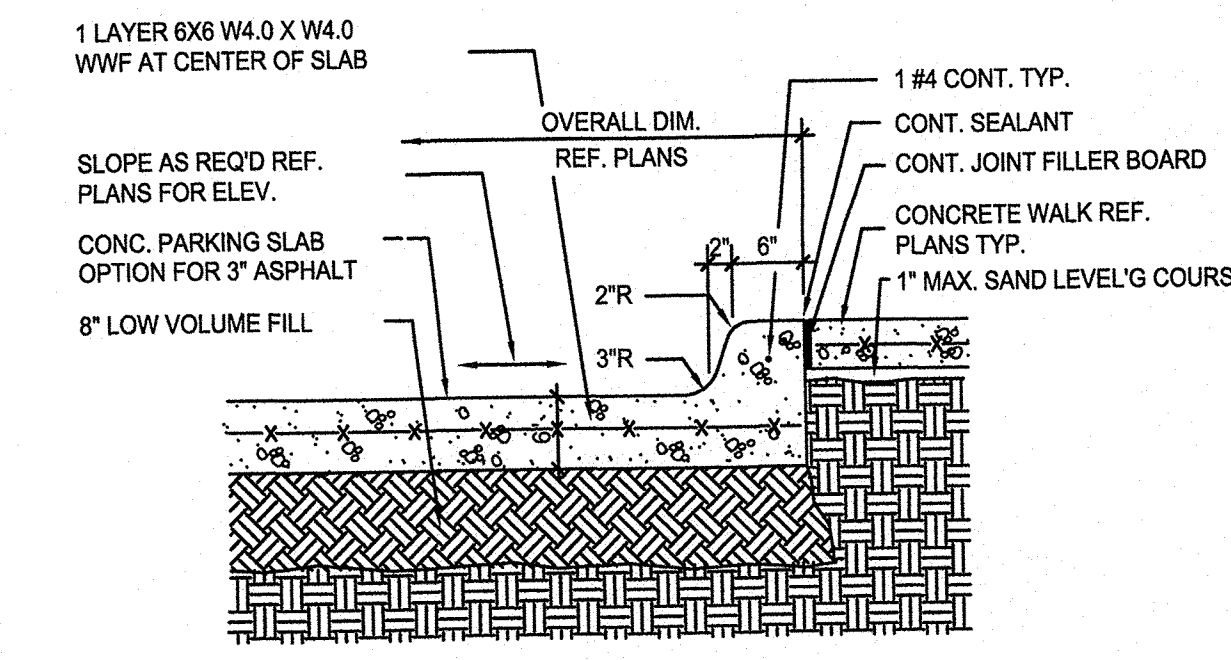
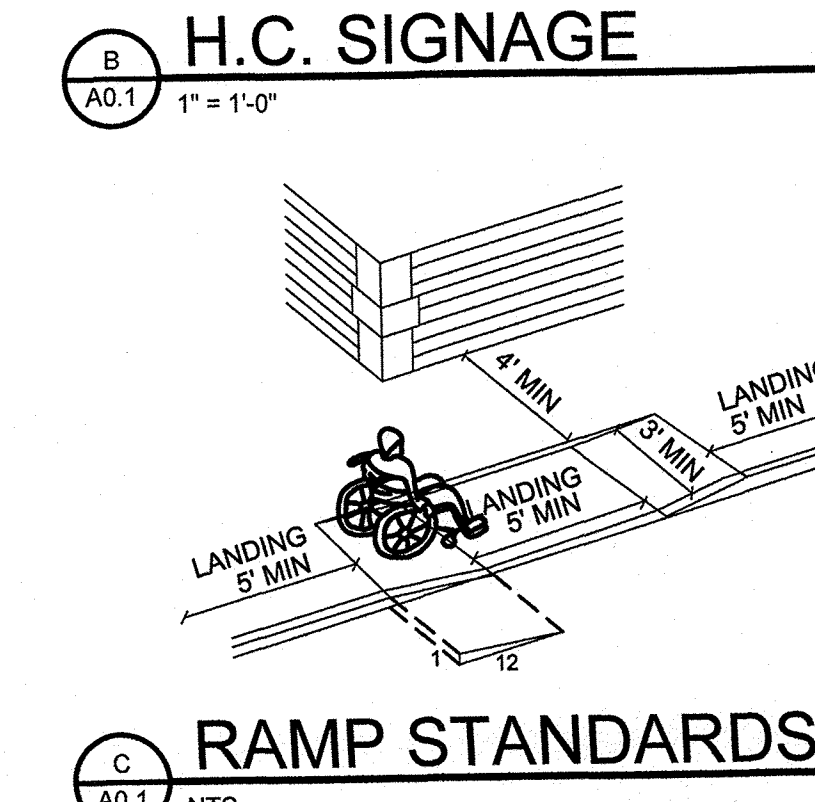
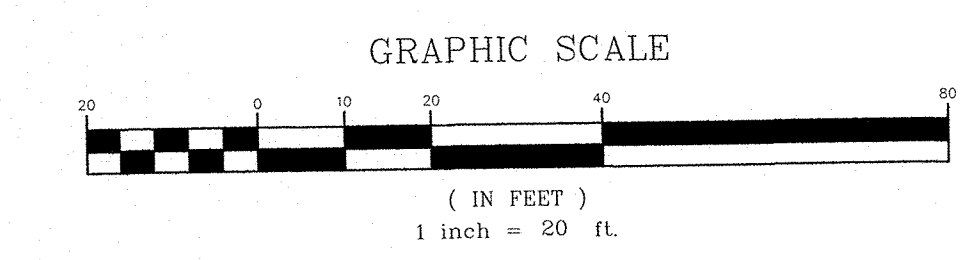
1 BICYCLE RACK PER 20 PARKING SPACES
BIKE SPACES REQUIRED = 2 RACKS
BIKE SPACES PROVIDED = 2 RACKS

LANDSCAPE CALCULATIONS

LOT AREA: 31,118 S.F.
BUILDING AREA: 2,766 S.F.
NET LOT AREA: 28,352 S.F.

LANDSCAPE AREA REQUIRED (15%): 4,253 S.F.
GROUND COVER REQUIRED (75% OF LANDSCAPE): 3,190 S.F.

STREET TREES: 30' O.C.
LANDSCAPE AREA PROVIDED 35.6%: 10,080 S.F.



KEYED NOTES

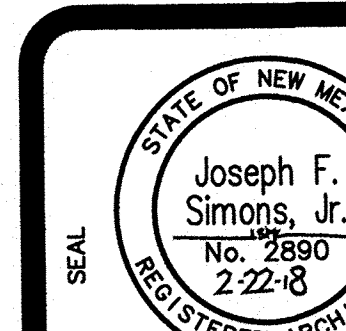
- EXISTING IMPROVEMENTS.
- EXISTING POLE SIGN
- ASPHALT PAVING; REF. E/A0.1
- CURB; REF. E/A0.1
- SIDEWALK; REF. G/A0.1
- LANDSCAPE AREA.
- RAMP SLOPE 1:12 MAX. REF. C/A0.1
- ADA COMPLIANT PARKING SIGNAGE REF. B/A0.1.
- PAINTED SYMBOL PER ANSI 703.7
- ACCESSIBLE AISLE PER ANSI 502.3
- ABANDONED PARKING LOT CONNECTION.
- PREVIEW MENU
- SPEAKER / ORDER PYLON
- DUMPSTER ENCLOSURE; REF. E/A0.1
- 4" DRAIN TO SANDTRAP TO SEWER
- PEDESTRIAN CROSSING; PAINT BLUE 8" W. 16" O.C.
- SLOPE TO PAVING; TRUNCATED DOMES.
- EXISTING WATER METER; VERIFY SIZE WITH PLUMBING.
- EXISTING SEWER MANHOLE; FIELD VERIFY 4" SEWER TAP.
- EXISTING OVERHEAD ELECTRICAL; VERIFY WITH PNM.
- EXISTING GAS LINE; VERIFY METER LOCATION WITH GAS COMPANY; VERIFY SIZE WITH PLUMBING.
- BIKE RACK; REF. H/A0.1.
- EXISTING EASEMENT.
- 6" CONCRETE FILLED BOLLARDS; PAINT SAFETY YELLOW.
- MOTORCYCLE SIGNAGE; REF. F/A0.1.
- DO NOT ENTER SIGN; REF. H/A0.1.
- DIRECTIONAL PAVING SYMBOL 8" LONG X 6" WIDE, 15" STROKE; WHITE COLOR.

NO.	DATE	CHECKED BY	REVISION
1	10.12.17		REVISION PER PLAN REVIEW
2	1.20.18		REVISION PER PLAN REVIEW



BURGER KING CORP./FRANCHISEE

Joseph F. Simons, Jr.
nm lic 002890
ph 505.488.4796
alt ph 505.488.4796
jfs@simonsarchitect.com



PROJECT # J05-046
BURGER KING RESTAURANT
5508 4TH ST. NW
ALBUQUERQUE, NM 87107
TCL

A0.1
TCL