

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

December 12, 2018

Shawn Biazar
SBS Construction & Engineering, LLC.
10209 Snowflake Ct. NW
Albuquerque, NM 87114

**RE: Townhome for Jason Buchanan
1106 Griegos NW
Grading and Drainage Plan
Engineer's Stamp Date: 12/6/18
Hydrology File: F14D058A**

Dear Mr. Biazar:

Based on the submittal received on 12/7/18, the Grading and Drainage Plan cannot be approved until the following are corrected:

PO Box 1293

Prior to Building Permit and SO-19:

Albuquerque

1. The site must demonstrate adequate downstream capacity per § 14-5-2-12(G) of the Albuquerque Code of Ordinances.
2. The unofficial policy of allowing 2.75cfs/acre discharge in the Valley is no longer accepted. Sites must demonstrate downstream capacity or pond the increased runoff onsite. Remove all references to the 2.75cfs/ac allowance. This site does not appear to discharge to the ROW, therefore onsite ponding of the 100-yr, 6hr storm is likely required. Part of the North portion of the site may drain to Griegos, but this needs to be delineated and quantified if attempting to match some historic discharge rate.
3. Under "Calculations" reference is made to the AHYMO input and summary files, but none are provided.
4. The existing survey needs to be supplemented with spot elevation due to the lack of elevation relief here.
5. Include flowline and top of curb elevations along Griegos at the curbcut and sidewalk culverts. Provide a waterblock, 0.87' high, at the entrance. Ensure impervious runoff from the site gets routed into the stormwater ponds and doesn't simply flow out through the entrance.

NM 87103

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6. Define existing vs. proposed walls; do not place additional fill against existing walls. The existing wall on the west side of the site has an odd meander; will it remain or be rebuilt?
7. The “Notice to Contractors” notes are duplicated. Also, include the [standard SO-19](#) notes on the grading plan and callout the sidewalk culverts to be constructed by SO-19 permit.

Prior to Certificate of Occupancy (For Information):

1. Engineer’s Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.
2. The sidewalk culverts must be inspected and approved by storm drain maintenance (Jason Rodriguez, jtrodriguez@cabq.gov or 857-8607).
3. A Bernalillo County Recorded [Drainage Covenant \(No Public Easement\)](#) is required for the stormwater control pond. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.

PO Box 1293

Albuquerque

NM 87103

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If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: TOWNHOME FOR JASON BUCHANAN Building Permit #: 2018-45632 Hydrology File #: F14D058A
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 43-A ROSITTER ADDITION
City Address: 1106 GRIEGOS RD., NW

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR
Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114
Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes No

DEPARTMENT _____ TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: 12-7-2018 By: SHAWN BIAZAR

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

DRAINAGE MANAGEMENT PLAN

Location
 Lot 43-A, Rossiter Addition, contains +/- 1.4792 acres and is located at southeast corner of 12th Street and Griegos Rd. N.W. However, a portion of this lot (74%, 47,533.16 SF) was developed in 2015, File# F14D058. The remaining portion which is included in this grading plan is 16,901.28 sf (0.3880 Acre) and is located at SW corner of Griegos Rd., N.W. and 11th Street, NW, see Vicinity Map for exact location.

Purpose
 The purpose of this drainage report is to present a grading and drainage solution for the proposed building shown on the grading plan.

Existing Drainage Conditions
 There is undeveloped. This site is fairly flat, and it drains to Griegos Road N.W. No offsite runoff enters the site. Based on the FIRM Map 35001C0119G (revised September 26, 2008) the site does not fall within a 100-year floodplain.

Proposed Conditions and On-Site Drainage Management Plan
 This will include the remaining 0.3880 acre undeveloped portion of the lot. The runoff generated from this site will be partly retained on-site. Two ponds (A and B) are designed to hold 1,046.18 cf. When the ponds exceed their capacity the runoff will overflow into Griegos public street via the two sidewalk culverts. This site is located within Zone 2 and in the North Valley. The North Valley rate of discharge is 2.75 CFS per acre. This site contains 0.3880 acre (16,901.28 SF). Therefore the rate of discharge will be 1.07 CFS (0.3880 * 2.75). This site will generate 1.56 CFS and the difference between the developed flow (1.56 CFS) and allowable discharge (1.07 CFS) 0.49 CFS (1.56-1.07). Therefore, the amount of the ponding required will be 743.12 CF. The 90th Percentile/First Flush ponding requirement is 0.34 inches times the impervious area (478.91 cf). Total retention volume provided (1,046.18 cf) exceeds the ponding requirement in the of (743.12 cf) and First Flush (478.91 cf).

Calculations
 City of Albuquerque, Development Process Manual, Section 22.2, Hydrology Section, was used for runoff calculations. See this plan for AHYMO input and Summary output files.

PONDING VOLUME REQUIRED

TOTAL AREA = 16,902.68 SF = 0.3880 ACRE
 ZONE 2 LAND TREATMENT TABLE A-8: C=1.13 AND D=2.12
 C=7,498 SF/0.1721 AC D=9,405 SF/0.2159 AC
 $VOL (100-yr/6hr) = (7498*1.13)/12 + 9405*2.12/12 = 2,367.58 CF$
 $Q (100-yr/6 hr) (USING TABLE A-9, ZONE 2) = (3.14*0.1721) + (4.7*0.2159) = 1.56 CFS$
 ALLOWABLE RUNOFF = 2.75/AC * 0.3880 AC = 1.07 CFS
 ADDITIONAL RUNOFF = 1.56-1.07 = 0.49 CFS
 PONDING VOLUME REQUIRED = 2,368/1.56 * 0.49 = 743.12 CF

POND VOLUME REQUIRED FOR FIRST FLUSH

0.34 INCHES x IMPERVIOUS AREA = (0.34/12 x 16,903) = 478.91 CF
 THIS VOLUME IS PART OF THE PONDING PROVIDED.

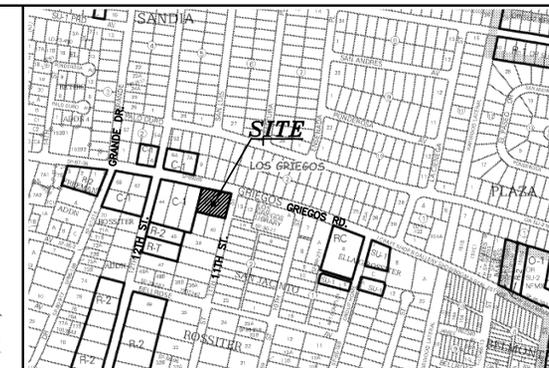
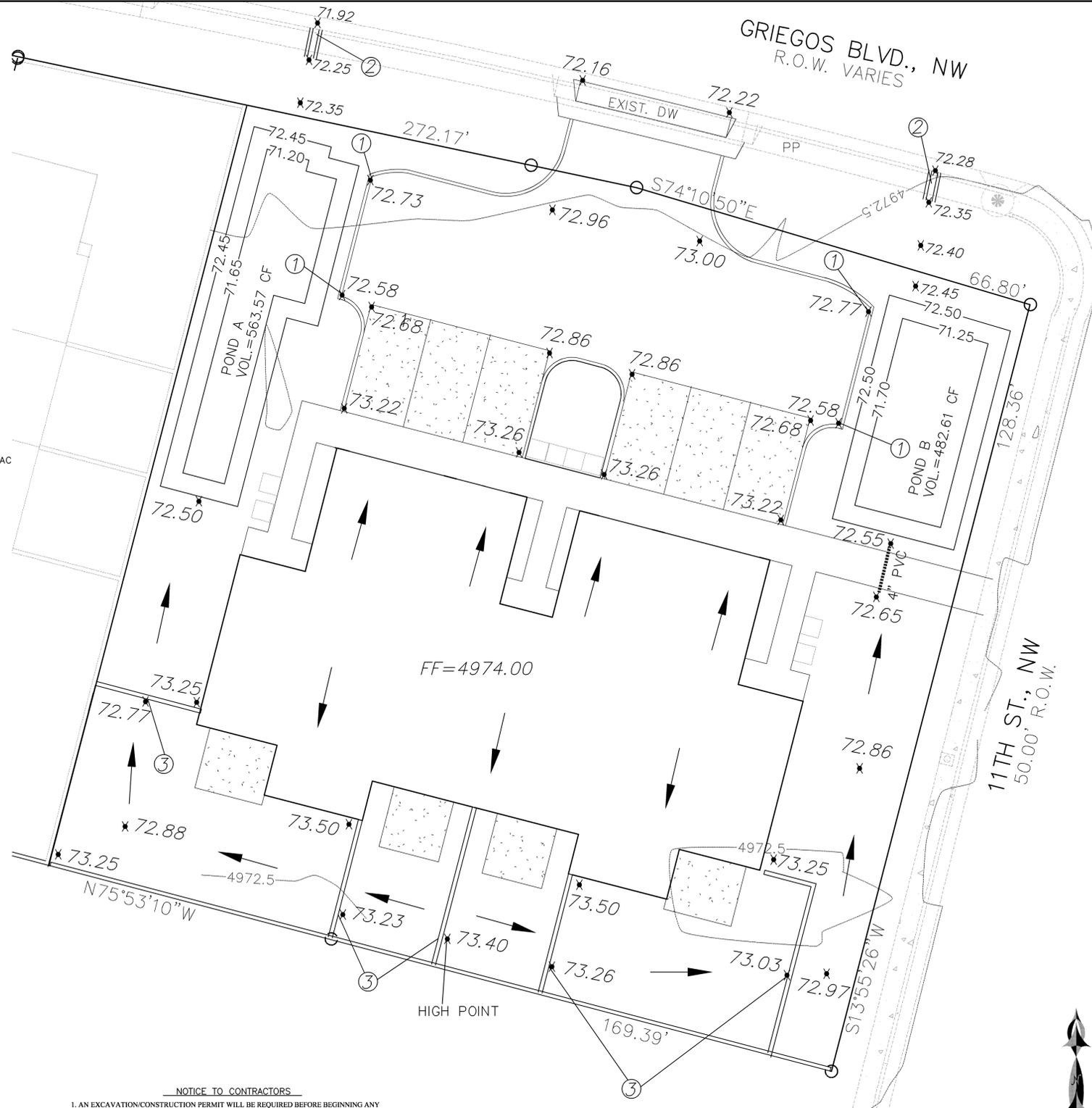
PONDING AREA PROVIDED

TOTAL POND AREA PROVIDED = PONDING CALCULATIONS:
 POND A: AREA @ TOP = 921.46, AREA @ BOT. = 487.86, DEPTH 0.80'
 POND VOLUME = (704.46*0.80) = 563.57 CF
 POND B: AREA @ TOP = 757.77, AREA @ BOT. = 448.75, DEPTH 0.80'
 POND VOLUME = (603.26*0.80) = 482.61 CF
 TOTAL POND VOLUME PROVIDED = (563.57+482.61) = 1,046.18 CF

SIDEWALK CULVERT CALCULATIONS

12" Sidewalk Culvert Flow Capacity Calculation Using Orifice Equation

Orifice Equation: $Q = CA(2gh)$
 $h (head) = 0.67'$
 $A = 0.67 sf$
 $g = 32.20$
 $Q = 0.60 \times 0.67 \times (2 \times 32.2 \times 0.67)^{0.50} = 2.64 cfs$
2.64 cfs >> 0.82 cfs (Entire runoff generated from site)



VICINITY MAP: F-14-Z
LEGAL DESCRIPTION:
 LOT 43-A, ROSSITER ADDITION
 CONTAINING 64,435.84 S.F. (1.4792 ACRE)
 ADDRESS: 1106 GRIEGOS RD., NW

- GENERAL NOTES:**
- 1: CONTOUR INTERVAL IS HALF (0.50) FOOT.
 - 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION LSS_206, HAVING AN ELEVATION OF 4976.652 FEET ABOVE SEA LEVEL.
 - 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 - 4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 - 5: SLOPES ARE AT 3:1 MAXIMUM.

NOTICE TO CONTRACTORS

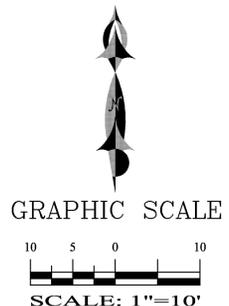
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

- 5100— EXISTING CONTOUR (MAJOR)
- 5102— EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- * 85.46 PROPOSED SPOT ELEVATION
- x 5265.16 EXISTING GRADE
- x 5284.43 EXISTING FLOWLINE ELEVATION
- FL
- ██████████ PROPOSED RETAINING WALL
- BC=89.08 BOTTOM OF CHANEL
- TRW=91.50 TOP OF RETAINING WALL
- TF=88.00 TOP OF FOOTING
- HP HIGH POINT
- x 72.75 (GROUND) AS-BUILT GRADES
- x 72.75 (POND) PD
- x 72.75 (CONC./ASPH) AC

NOTES:

1. PROVIDE 12" CURB OPENING
2. 12" SIDEWALK CULVET PER CITY STD DWG 2236 (TACK WELD PLATE AT THE BOLT), 2' PAST PL.
3. 6" WALL OPENING (OR TURN TWO BLOCKS) AT EACH WALL. BUILD #4 REBAR AT 3" ON CENTER, TYPICAL, 3" ABOVE GROUND.



- NOTICE TO CONTRACTORS**
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 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL FOR LOCATING SERVICE, 260-1990 OR "811", FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
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APPROVALS	NAME	DATE
INSPECTOR		



REZA AFAGHPOUR
 P.E. #11814

SBS CONSTRUCTION AND ENGINEERING, LLC

10209 SNOWFLAKE CT., NW
 ALBUQUERQUE, NEW MEXICO 87114
 (505)804-5013

TOWNHOME FOR JASON BUCHANAN 1106 GRIEGOS RD., NW GRADING AND DRAINAGE PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
201843-GD.DWG	SH-B	12-06-2018	CIVIL 102