

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

November 6, 2019

Shawn Biazar
SBS Construction & Engineering, LLC.
10209 Snowflake Ct. NW
Albuquerque, NM 87114

**RE: Townhome for Jason Buchanan
1106 Griegos NW
Request for Certificate of Occupancy – Permanent
Hydrology Final Inspection - Disapproved
Grading and Drainage Plan Stamp Date: 12/20/18
Certification Dated: 10/24/19
Hydrology File: F14D058A**

Dear Mr. Biazar:

Based on the submittal received on 10/29/19, this certification cannot be approved in support of Permanent Certificate of Occupancy by Hydrology until the following are corrected:

Prior to Certificate of Occupancy:

1. A Bernalillo County Recorded [Drainage Covenant \(No Public Easement\)](#) is required for the stormwater control pond. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.
2. Once recorded, provide an electronic submittal, including DTIS form, the recorded document, and the Engineer's Certification. Because these corrections are minor, there is no resubmittal fee for this activity. Please include a copy of this letter when resubmitting in order to receive the reduced fee.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

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Sincerely,

A handwritten signature in dark ink, appearing to read 'D. Peterson', is positioned above the printed name.

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: TOWNHOME FOR JASON BUCHANAN **Building Permit #:** 2018-45632 **Hydrology File #:** F14D058A
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 43-A ROSITTER ADDITION
City Address: 1106 GRIEGOS RD., NW

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC **Contact:** SHAWN BIAZAR
Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114
Phone#: (505) 804-5013 **Fax#:** (505) 897-4996 **E-mail:** AECLLC@AOL.COM

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ ☒ No

DEPARTMENT _____ TRANSPORTATION _____ ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☒ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 10-24-2019 **By:** SHAWN BIAZAR

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

DRAINAGE MANAGEMENT PLAN

Location

Lot 43-A, Rossiter Addition, contains +/- 1.4792 acres and is located at southeast corner of 12th Street and Griegos Rd. N.W. However, a portion of this lot (74%, 47,533.16 SF) was developed in 2015, File# F14D058. The remaining portion which is included in this grading plan is 16,901.28 sf (0.3880 Acre) and is located at SW corner of Griegos Rd., N.W. and 11th Street, NW, see Vicinity Map for exact location.

Purpose

The purpose of this drainage report is to present a grading and drainage solution for the proposed building shown on the grading plan.

Existing Drainage Conditions

There is undeveloped. This site is fairly flat, and it drains to Griegos Road N.W. No offsite runoff enters the site. Based on the FIRM Map 35001C0119G (revised September 26, 2008) the site does not fall within a 100-year floodplain.

Proposed Conditions and On-Site Drainage Management Plan

This will include the remaining 0.3880 acre undeveloped portion of the lot. The runoff generated from this site minus existing condition will be fully retained on-site. Three ponds (A, B and C) are designed to hold 1,820.59 cf. When the ponds exceed their capacity the runoff will overflow into Griegos public street via the two sidewalk culverts. This site is located within Zone 2. This site contains 0.3880 acre (16,901.28 SF) and will generate 1.50 CFS. The difference between the developed flow (1.50 CFS) and existing condition (0.43 CFS) is 1.07 CFS (1.50-0.43). Therefore, the amount of the ponding required will be 1,630.55 CF (2290.87/1.50*1.13).

The 90th Percentile/First Flush ponding requirement is 0.34 inches times the impervious area (478.91 cf). Total retention volume provided (1,829.59 cf) exceeds the ponding requirement in the of (1,630.55 cf) and First Flush (478.91 cf).

Calculations

City of Albuquerque, Development Process Manual, Section 22.2, Hydrology Section, was used for runoff calculations.

PONDING VOLUME REQUIRED

TOTAL AREA = 16,902.68 SF = 0.3880 ACRE

ZONE 2 LAND TREATMENT TABLE A-8:

B=0.78 AND B=2,630.00 SF/0.0604 AC

C=1.13 AND C=4,867.68 SF/0.1117 AC

D=2.12 AND D=9,405.00 SF/0.2159 AC

VOL (100-yr/6hr) = (2630*0.78)/12 + (4867.68*1.13)/12 + 9405*2.12/12 = 2,290.87 CF

Q (100-yr/6 hr) (USING TABLE A-9, ZONE 2)=(2.28*0.0604)+(3.14*0.1117)+(4.7*0.2159)=1.50 CFS

EXISTING CONDITION THAT DRAINS INTO GRIEGOS:

D=2.12 AND D=4,000.00 SF/0.0918 AC, (4.7*0.0918)=0.43 CF

ADDITIONAL RUNOFF = 1.50-0.43 =1.07 CFS

PONDING VOLUME REQUIRED = 2,290.87/1.50 * 1.07 = 1,630.55 CF

POND VOLUME REQUIRED FOR FIRST FLUSH

0.34 INCHES x IMPERVIOUS AREA = (0.34/12 x 16,903) = 478.91 CF THIS VOLUME IS PART OF THE PONDING PROVIDED.

PONDING AREA PROVIDED

TOTAL POND AREA PROVIDED = PONDING CALCULATIONS:

POND A: AREA @ TOP = 1026.95, AREA @ BOT. = 439.09, DEPTH 1.00'

POND VOLUME = (1026.95+439.09)/2 = (733.02*1.00)' = 733.02 CF

POND B: AREA @ TOP = 757.80, AREA @ BOT. = 448.75, DEPTH 1.00'

POND VOLUME = (757.80+448.75)/2 = (603.28*1.00)' = 603.28 CF

POND C: AREA @ TOP = 635.75, AREA @ BOT. = 332.83, DEPTH 1.00'

POND VOLUME = (635.75+332.83)/2 = (493.29*1.00)' = 493.29 CF

TOTAL POND VOLUME PROVIDED = (733.02+603.28+493.29)= 1,829.59 CF

SIDEWALK CULVERT CALCULATIONS

12" Sidewalk Culvert Flow Capacity Calculation Using Orifice Equation

Orifice Equation: Q=CA (2gh)

h (head) = 0.67'

A = 0.67 sf

g = 32.20

Q = 0.60 x 0.67 x (2 x 32.2 x 0.67)^{0.50}

= 2.64 cfs

2.64 cfs >> 0.82 cfs (Entire runoff generated from site)

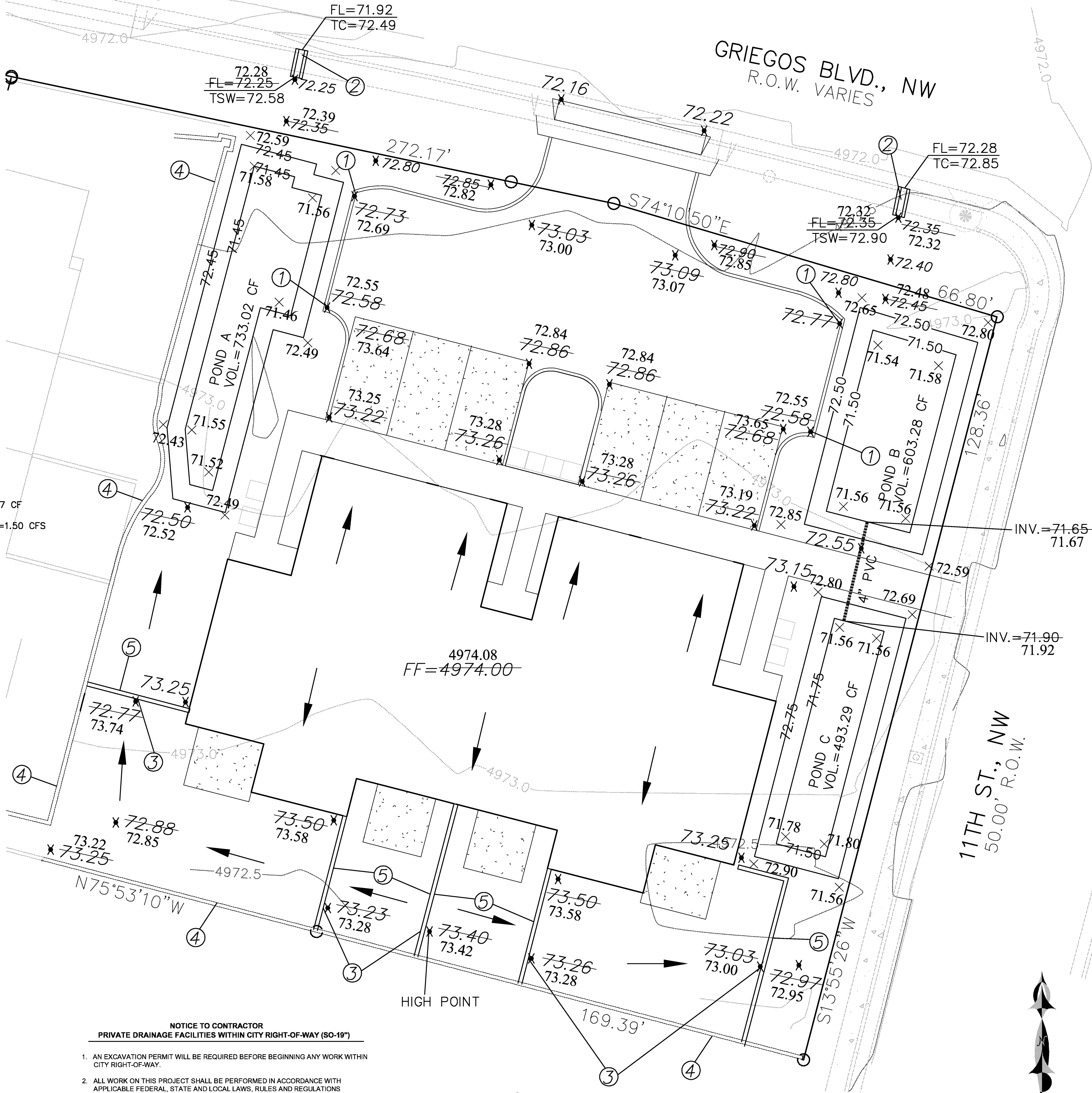
DRAINAGE CERTIFICATION

I, REZA AFAGHPOUR, NMPE 11814, OF SBS CONSTRUCTION AND ENGINEERING, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12-20-2018. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NMPS 9801, OF SBS CONSTRUCTION AND ENGINEERING, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

REZA AFAGHPOUR, NMPE 11814

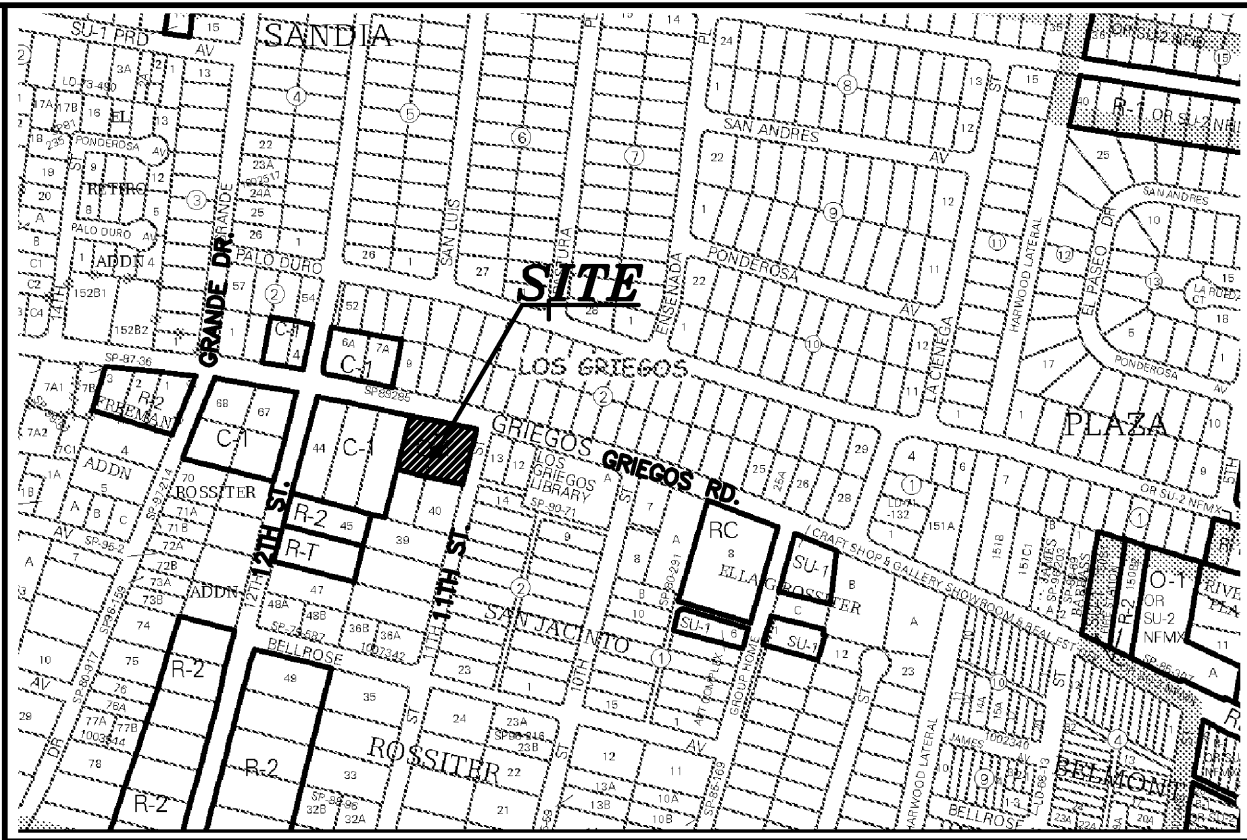
DATE



NOTES:

1. PROVIDE 12" CURB OPENING
2. 12" SIDEWALK CULRVET PER CITY STD DWG 2236 (TACK WELD PLATE AT THE BOLT), 2' PAST PL.
3. 6" WALL OPENING (OR TURN TWO BLOCKS) AT EACH WALL BUILD #4 REBAR AT 3" ON CENTER, TYPICAL, 3" ABOVE GROUND.
4. EXISTING WALL.
5. PROPOSED NEW WALL.

GRAPHIC SCALE



VICINITY MAP:

F-14-Z

LEGAL DESCRIPTION:

LOT 43-A, ROSSITER ADDITION
CONTAINING 64,435.84 S.F. (1.4792 ACRE)
ADDRESS: 1106 GRIEGOS RD., NW

GENERAL NOTES:

- 1: CONTOUR INTERVAL IS HALF (0.50) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION LSS_206, HAVING AN ELEVATION OF 4976.652 FEET ABOVE SEA LEVEL.
- 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- 5: SLOPES ARE AT 3:1 MAXIMUM.

LEGEND

- 5100 EXISTING CONTOUR (MAJOR)
- 5102 EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- X 85.46 PROPOSED SPOT ELEVATION
- X 5265.16 EXISTING GRADE
- X 5284.43 EXISTING FLOWLINE ELEVATION
- PROPOSED RETAINING WALL
- BC=89.08 BOTTOM OF CHANEL
- TRW=91.50 TOP OF RETAINING WALL
- TF=88.00 TOP OF FOOTING
- HP HIGH POINT
- X 72.75 AS-BUILT GRADES
- X 72.75 72.75



REZA AFAGHPOUR
P.E. #11814

SBS CONSTRUCTION AND ENGINEERING, LLC

10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)804-5013

TOWNHOME FOR JASON BUCHANAN
1106 GRIEGOS RD., NW
GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
201843-GD.DWG	SH-B	12-06-2018	CIVIL 102

LAST REVISION: 12-20-2018