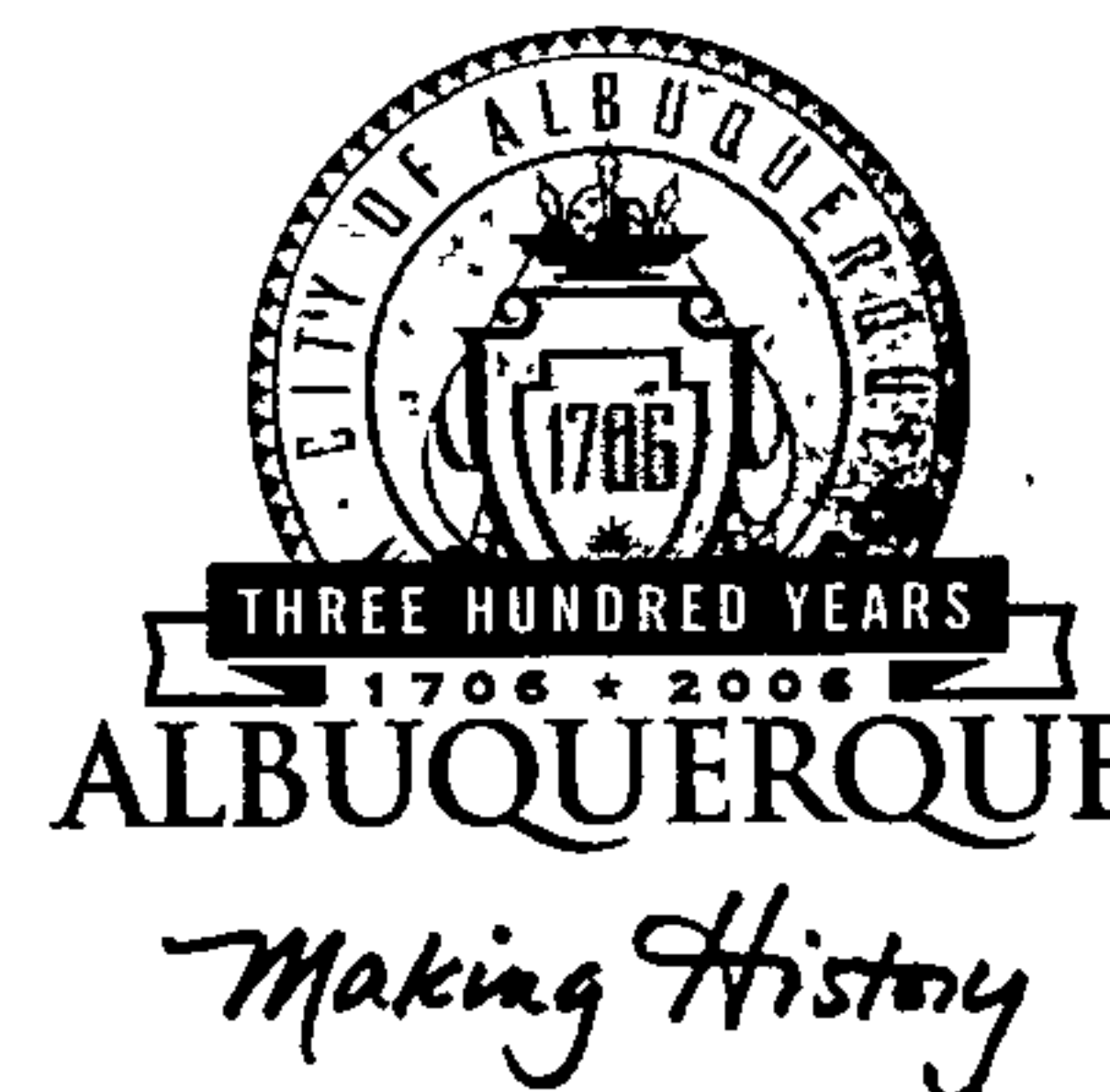


CITY OF ALBUQUERQUE



December 29, 2004

James Hamill, R.A.
1333 Corporate Dr., Suite 103
Irving, TX 75038

**Re: Church's Chicken, 5112 Fourth St NW, Traffic Circulation Layout
Architect's Stamp dated 12-21-04 (F14-D60)**

Dear Mr. Hamill,

Based upon the information provided in your submittal received 12-27-04, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The sidewalk must be 6 feet in width.
2. Reorient the North arrow.
3. Check the scale for this plan.
4. Please show a vicinity map.
5. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
6. Clearly define all existing versus proposed items. Will the existing parking spaces remain, or will they be relocated?
7. For passenger vehicles, the minimum end island radius is 15 feet.
8. An 8 foot, 7 inch driving aisle is not acceptable.
9. Define width of the existing sidewalk.
10. The driving aisle, located between the handicapped parking space and the existing pole sign, is too narrow.
11. The proposed traffic pattern is not acceptable. Suggested alternatives include:
 - Change the northern driveway to an exit only drive.
 - Change to a one-way traffic pattern.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred A. Gallegos, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: CHURCH'S CHICKEN ZONE MAP/DRG. FILE #: F-14/D60
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
 CITY ADDRESS: 5112 FOURTH ST. NW

ENGINEERING FIRM: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

OWNER: CHURCH'S CHICKEN
 ADDRESS: 980 HAMMOND DR. N.E., STE. 1100
 CITY, STATE: ATLANTA, GA

CONTACT: GREG CHAPMAN
 PHONE: 770.350.3800
 ZIP CODE: 30328

ARCHITECT: JAMES M. HAMILL, AIA
 ADDRESS: 1333 CORP. DR. #103
 CITY, STATE: IRVING, TX

CONTACT: BRANDON RENFROW
 PHONE: 972.714.0420
 ZIP CODE: 75038

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 12/21/04 BY: [Signature]

Rec'd
12/27/04

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Vicinity Map

6' sidewalks req
~~2' sidewalks~~

How will people get through the strip area?

Scale

option:

Change to one way traffic pattern

- narrow drives to 20-25 ft
- sign as 1 way

15' min radius

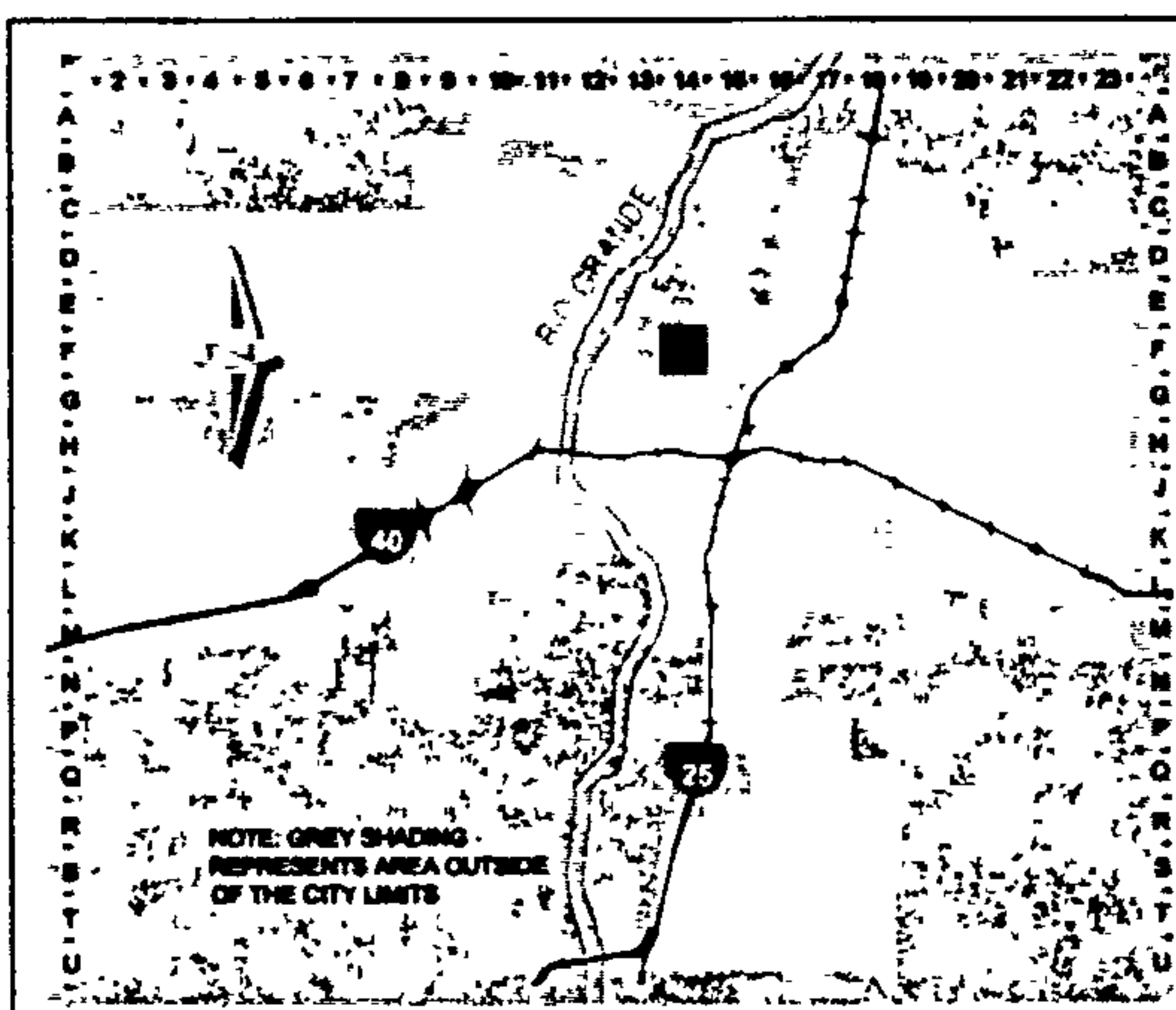
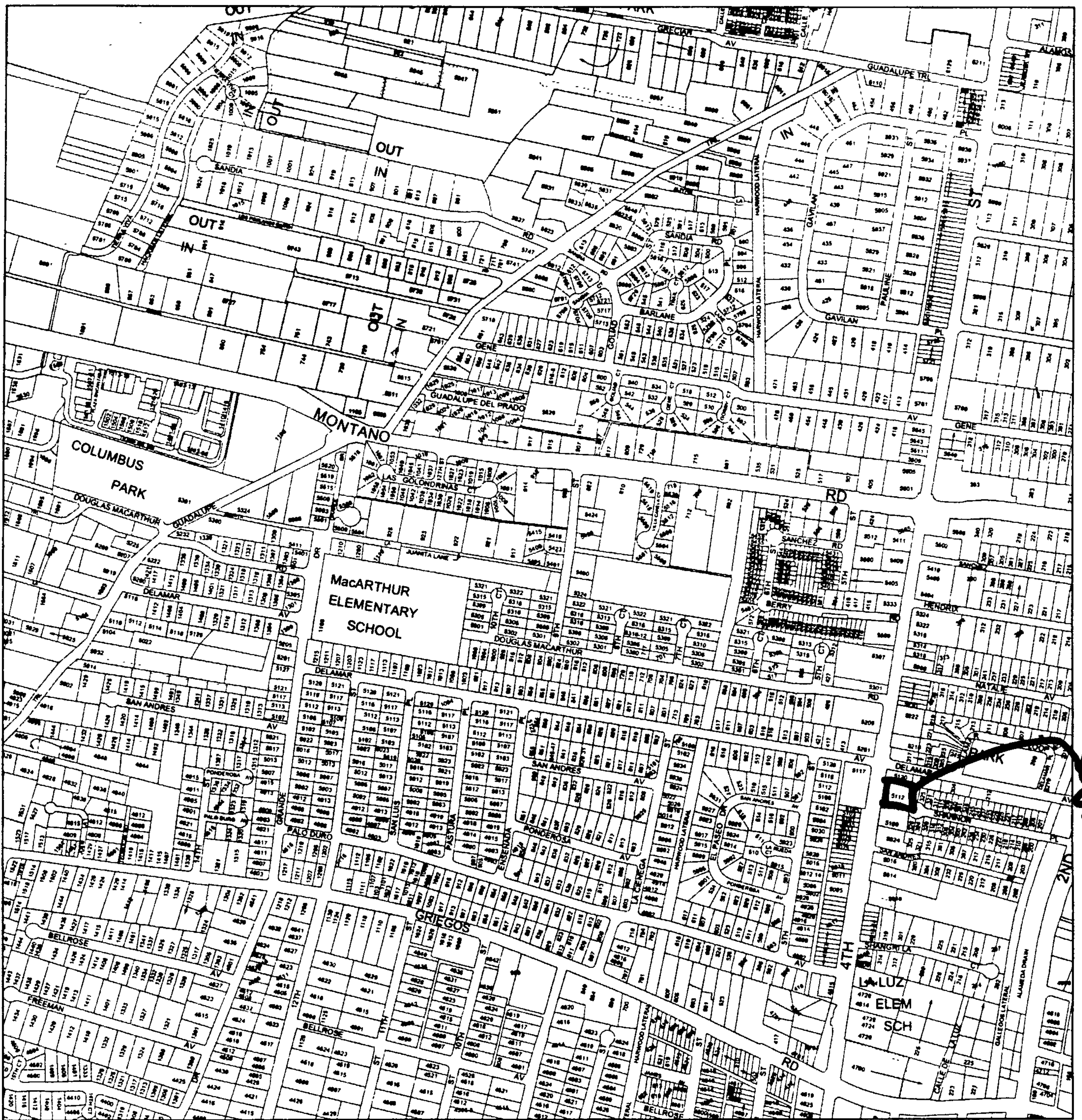
↓ 8' 7" aisle won't work

or, ~~intersection~~

→ North drive should be exit only

Fix Narrow

Parking ~~ing~~.



Address Map Page:

F-14

Symbol Legend

- Unincorporated Areas
- Parcel Boundaries
- Easement Lines
- Freeway Lanes



These addresses are for information purposes only and are not intended for address verification.

THREE HUNDRED YEARS
1706 - 2006
ALBUQUERQUE
Harando Historia
Albuquerque Geographic Information System
PLANNING DEPARTMENT
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Map amended through: Jul 26, 2004