

### KEYED NOTES

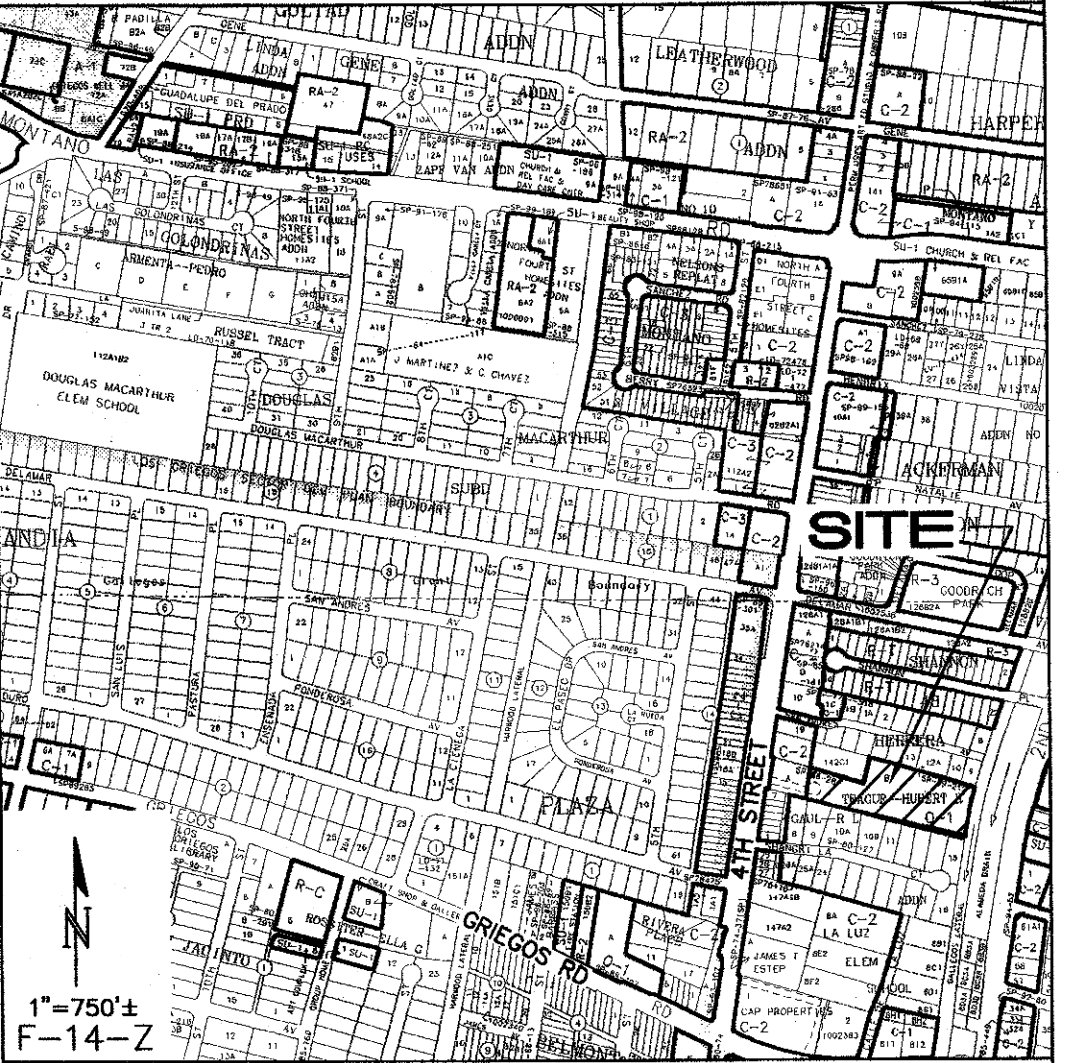
- THESE KEYED NOTES ARE REFERENCED ON SHEETS CG-101 AND/OR CG-102.
- EXISTING PAVEMENT TO REMAIN. SAWCUT / REMOVE / REPLACE AS NECESSARY TO ENSURE TRANSITION BETWEEN EXISTING AND PROPOSED IS SMOOTH AND POSITIVE DRAINAGE IS UNIMPEDED.
  - CONSTRUCT EXTENDED STEMWALL THIS AREA TO ACCOMMODATE EXISTING FIRE LANE GRADES.
  - PROVIDE SHALLOW DEPRESSION (6"± DEEP) WITHIN LANDSCAPING TO CAPTURE STORM WATER FOR WATER HARVESTING. NOTE: DO NOT DEPRESS LANDSCAPING WITHIN 10' OF ANY STRUCTURE.
  - CONSTRUCT NEW CONCRETE PAVED WALKS / RAMPS / PLAZAS. SEE ARCHITECTURAL FOR SITE DETAILS.
  - ROOF DISCHARGE LOCATION. OWNER TO PROVIDE EROSION PROTECTION AS NEEDED (SEE GENERAL NOTE H).
  - CONSTRUCT STEPS / RAMP THIS AREA TO TRANSITION GRADES AS NECESSARY. SEE ARCHITECTURAL FOR DETAILS.
  - PROVIDE TWO 6" DIA. (O.E.) OPENINGS IN RETAINING WALL AT FLOWLINE TO PASS FLOW.
  - CONTRACTOR TO CLEAN EXISTING DOMED GRATE INLET AND CLEAR DISCHARGE PIPE TO EAST RETENTION POND / RECREATION FIELD.
  - SEE MASTER GRADING PLAN (SHEET CG-101) FOR APPROXIMATE LOCATION OF FUTURE BUILDINGS. POND VOLUMES REFLECT THIS FUTURE CONSTRUCTION.
  - CONSTRUCT PERCOLATION PIT WITHIN PONDING AREA (SIX LOCATIONS). SEE GRADING PLAN (SHEET CG-101) FOR LOCATIONS AND DETAIL.
  - RELOCATE PORTABLE TO BE ELEVATED ON PIERS. FLOW TO CONTINUE TO PASS UNIMPEDED. PROVIDE 2" CLEAR OPENING BETWEEN BOTTOM OF SKIRTING AND FINAL GRADE. NOTE: PIER DESIGN (BY OTHERS) SHOULD ACCOUNT FOR 100-YEAR, 10-DAY FLOOD WATER SURFACE ELEVATION OF 4972.7.
  - ELEVATED METAL PLATFORM WITH GUARDRAILS AND METAL STEPS THIS AREA TO BE CONSTRUCTED TO ACCOMMODATE PORTABLE AT ELEVATIONS SHOWN. DASHED GRADES REPRESENT TOP OF FINISH GRADE BELOW. PROVIDE 2" CLEAR OPENING BETWEEN BOTTOM OF SKIRTING AND FINAL GRADE.

### GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN AND UTILITY PLAN.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- PER THE OWNER PROVIDED TOPOGRAPHIC SURVEY NOTE:  

Utility information shown hereon per field inspection and City of Albuquerque utility records. Actual location should be further verified before beginning construction and any discrepancies reported to the surveyor.
- EXISTING UTILITY LINES ARE SHOWN ON THE TOPOGRAPHIC SURVEY IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- NOTE REQUIRED BY COA: THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB 1 ACRE OR MORE (BY OTHERS). A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS TO EXISTING SHALL BE SMOOTH.
- NO EROSION PROTECTION IS NOTED ON PLANS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO MAINTAIN EROSION PROTECTION AND TO IDENTIFY ANY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

### VICINITY MAP



### PROJECT DATA

PROPERTY: THE SITE IS PART OF A DEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP F-14. THE PROPOSED CONSTRUCTION IS BOUND ON ALL SIDES BY VARIOUS SCHOOL AREAS - PAVED PARKING TO THE WEST, FIRE LANE TO THE NORTH, PLAY AREAS TO THE EAST AND SOUTH.

PROPOSED IMPROVEMENTS: THE EXISTING ADMINISTRATION AREA AND TWO EXISTING CLASSROOM BUILDINGS WILL BE IMPROVED. ASSOCIATED SITE WALKS AND LANDSCAPING WILL ALSO BE CONSTRUCTED.

LEGAL: LOT "B", LANDS OF HUBERT R. TEAGUE, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

ADDRESS: 5014 4TH STREET NORTHWEST ALBUQUERQUE, NM 87107

BENCHMARK: PER THE OWNER PROVIDED SURVEY, "THE BASIS OF ELEVATIONS FOR THIS SURVEY IS GPS OBSERVATIONS" - ALL CONSTRUCTION IS RELATIVE TO EXISTING BUILDING FF ELEVATIONS. CONTRACTOR TO COORDINATE WITH ARCHITECT.

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0119G, DATED SEPTEMBER 26, 2008, THE SITE IS LOCATED WITHIN FLOODZONE "X" (SHADED) DESIGNATED AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD."

DRAINAGE PLAN CONCEPT: THE MOUNTAIN MAHOGANY SCHOOL IS CLEARLY DEDICATED TO UTILIZING RAINWATER WITHIN LOCALIZED WATER HARVESTING BASINS. IN ADDITION, EVERY BUILDING DISCHARGES ROOF DRAINAGE TO LARGE STORAGE CISTERNS. THE SITE DEMOLITION AND NEW CONSTRUCTION WILL NOT ALTER EXISTING DRAINAGE PATTERNS. SITE DISCHARGE WILL CONTINUE TO BE CAPTURED WITHIN LOCALIZED WATER HARVESTING BASINS WITH ANY OVERFLOW PASSING TO THE EAST RECREATION FIELD / RETENTION POND. THE APPROVED SUPPLEMENTAL CALCULATIONS PREPARED BY ISAACSON & ARFMAN PA (STAMP DATE 02-07-2012) INCLUDED THE RELOCATED PORTABLE AS PART OF THE 'FUTURE' POND VOLUME ANALYSIS SHOWING THAT POND VOLUME IS CURRENTLY AVAILABLE FOR ADDITIONAL 'FUTURE' BUILDINGS SHOWN ON THE MASTER GRADING PLAN THIS SHEET.

SURVEYOR: ANTHONY L. HARRIS, N.M.L.S. NO. 11463  
THE SURVEY OFFICE, LLC  
PHONE: (505) 268-2112

### LEGEND

- 76 --- PROPOSED CONTOUR - 1' INCREMENT
- 74.5 --- PROPOSED CONTOUR - 0.5' INCREMENT
- 78.3 --- PROPOSED SPOT ELEVATION
- FF-XXXXXX FINISH FLOOR ELEVATION
- 77.6± EXISTING ELEVATION (±) TO MATCH.
- (TEXT) PROPOSED RETAINING WALL
- (TEXT) AS-BUILT INFO.

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iaacsv.com

1903 CG-101.dwg Mor 01/2012

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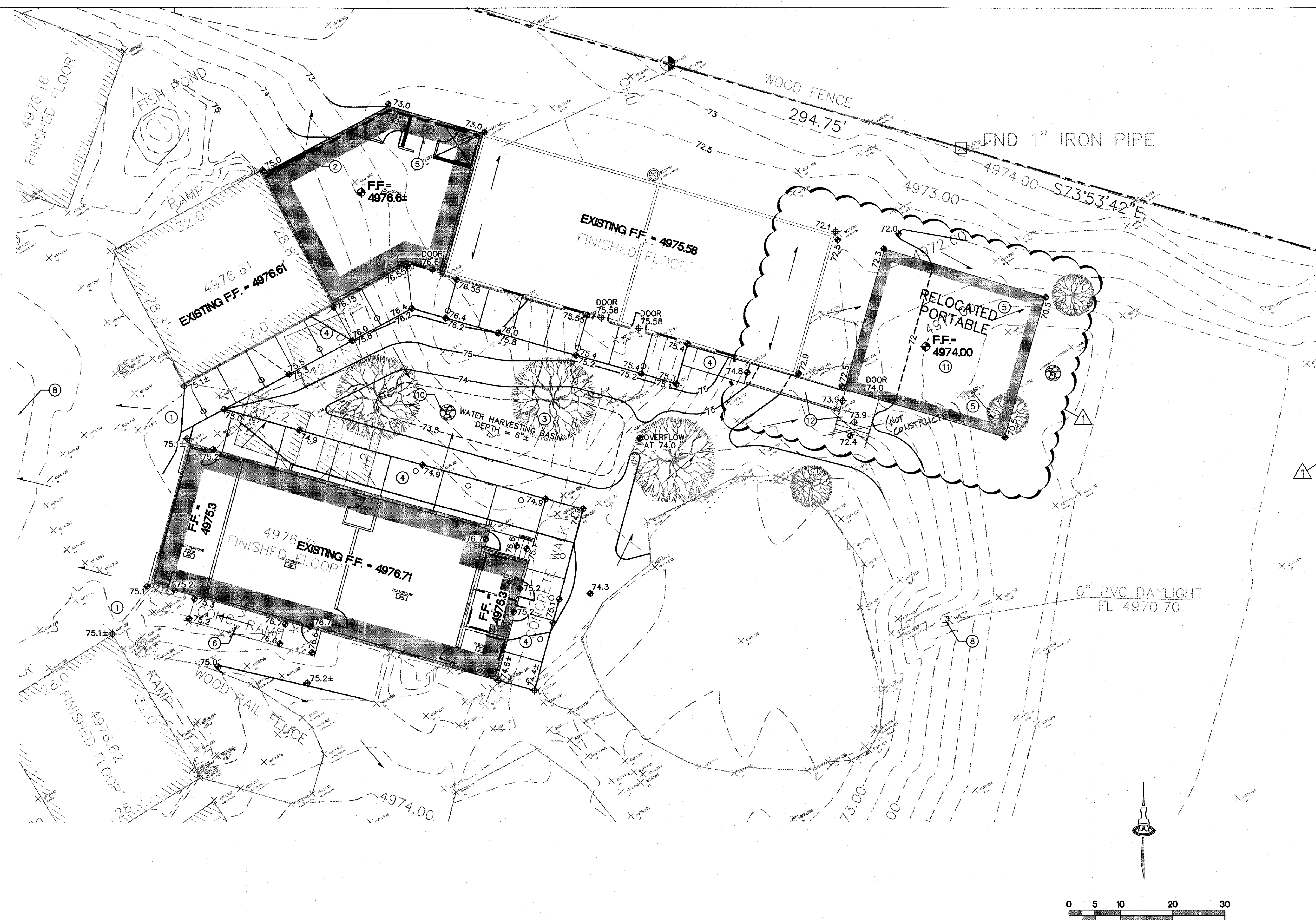
### MOUNTAIN MAHOGANY COMMUNITY SCHOOL

5014 4TH STREET

### GRADING AND DRAINAGE PLAN (1 OF 2)

Date:	No.	Revision:	Date:	Job No.
02.29.12	1	RELOCATED PORTABLE ADDED	03/01/12	1903
Drawn By:				
BJB				
Chk By:				
FCA				
				CG-101
				SH. OF



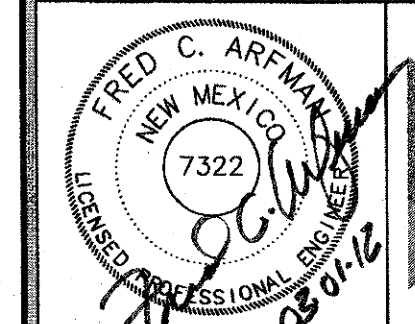


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## MOUNTAIN MAHOGANY COMMUNITY SCHOOL 5014 4TH STREET

## GRADING AND DRAINAGE PLAN (2 OF 2)

Date:	No. Revision	Date	Job No.
02.29.12	RELOCATED PORTABLE ADDED	03/01/12	1903
Drawn By:	BJB		CG-102
Ckd By:	FCA		SH. OF