

NE Corner,
Lot 7, Block 1
San Jacinto Subd.
-not found-

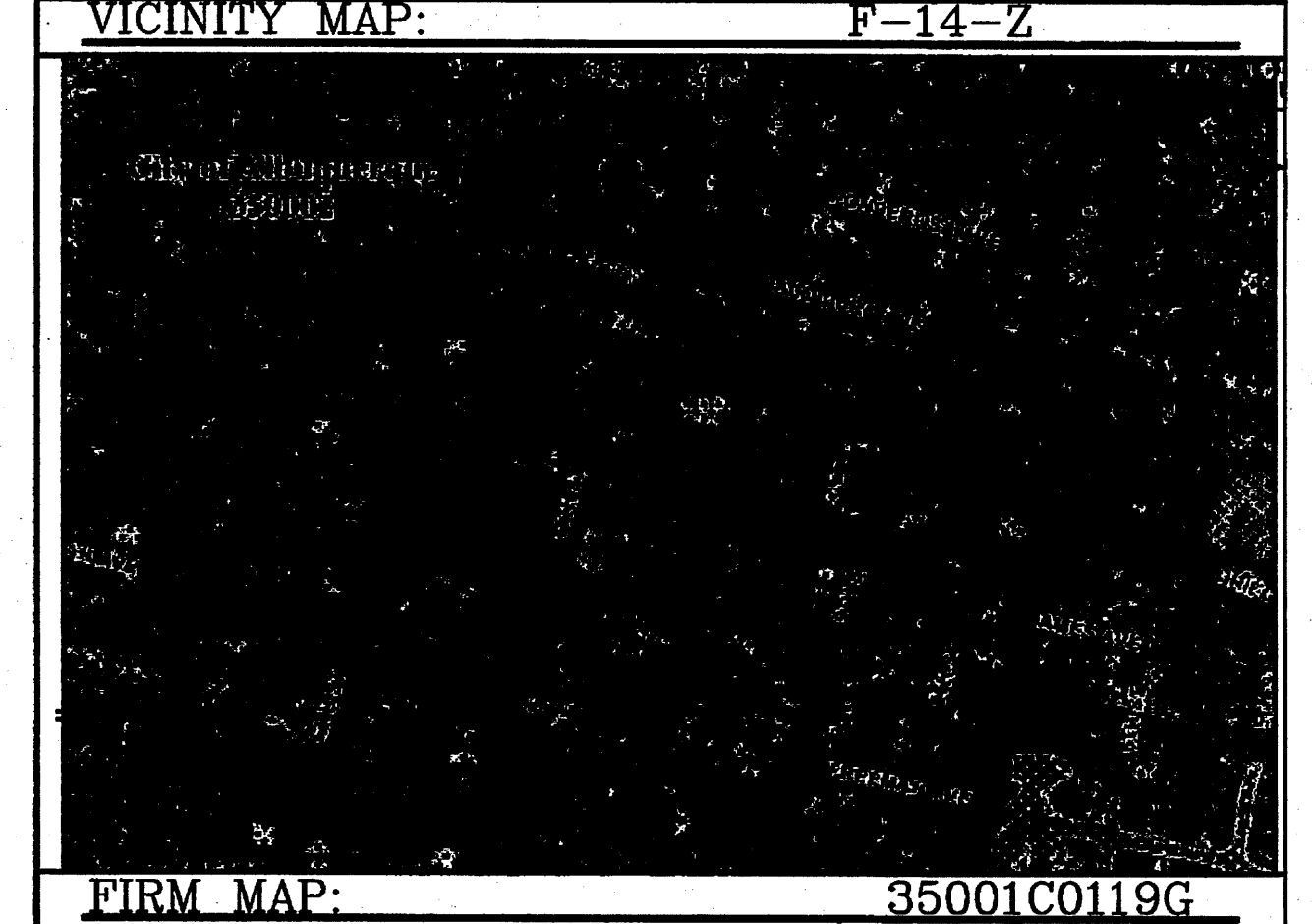
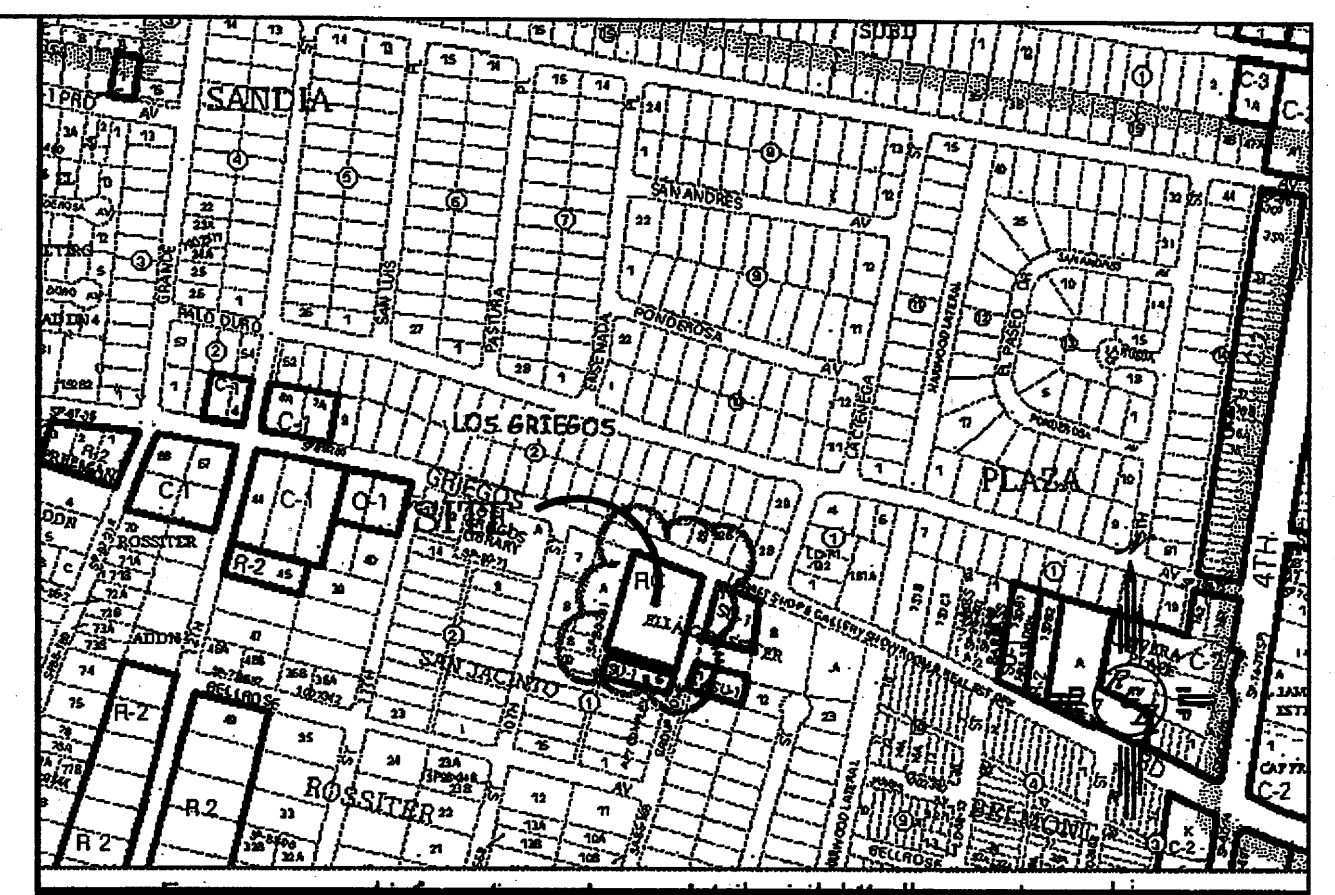
Book B, folio 98

WESTERLY PORTION, TRACT 8
PARTITION OF LANDS
OF ELLA G. ROSSITER
filed February 20, 1939, Book C1, folio 25

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



Record Drawing

LEGAL DESCRIPTION:

EASTERLY PORTION OF TR.8, LANDS OF ELLA G. ROSSITER

NOTES:

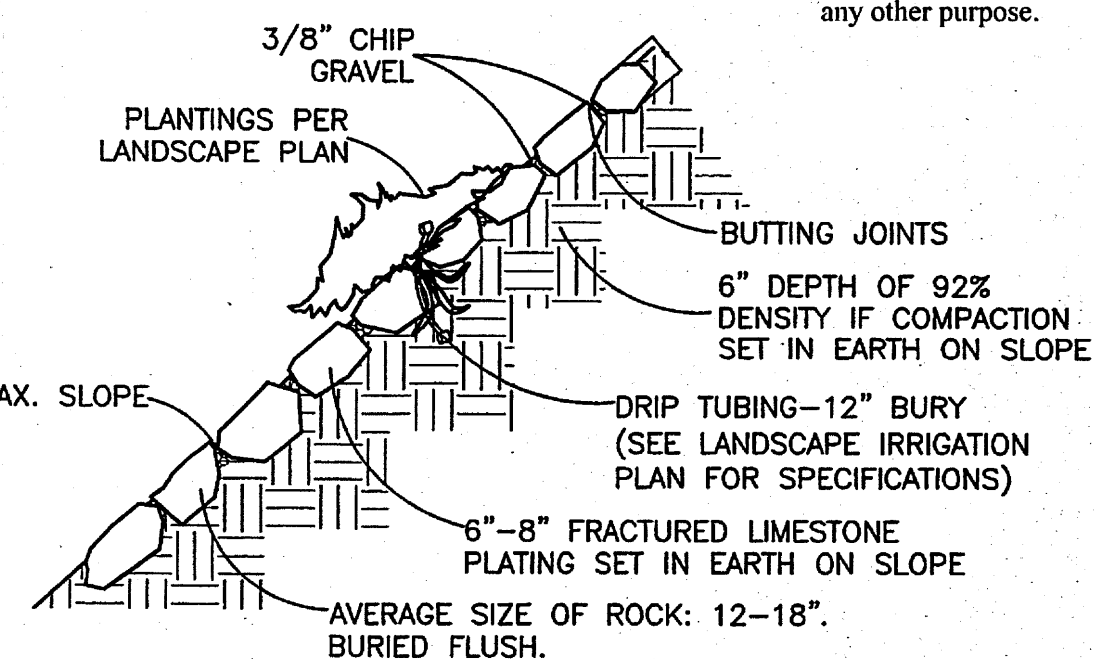
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL INTERIOR BACK YARD SCREEN WALLS BETWEEN TOWNHOUSES SHALL HAVE EVERY 3RD BLOCK TURNED AT GRADE FOR DRAINAGE.

LEGEND

5601	EXISTING CONTOUR
5600	EXISTING INDEX CONTOUR
5601	PROPOSED CONTOUR
5600	PROPOSED INDEX CONTOUR
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
=====	PROPOSED SCREEN WALL (18" MAX. RETAINAGE)
=====	EXISTING SCREEN WALL
=====	PROPOSED BUILDING
=====	EXISTING EDGE OF CONCRETE
=====	ROOF DRAINAGE (TYP. FOR ALL BLDGS)

BERM DETAIL

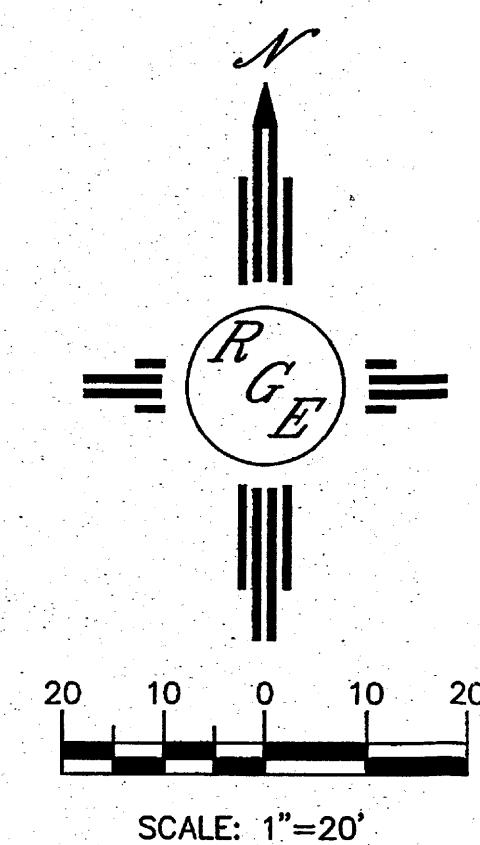
NTS



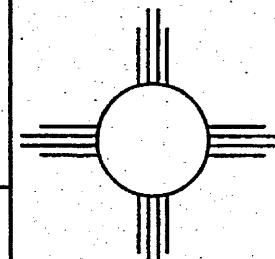
ROCK PLATING DETAIL

NTS

David Soule to
initial -
Then Scan
5/16/15
11/20



FOR INFORMATION ONLY

ENGINEER'S SEAL DAVID SOULE P.E. #14522	900 GRIEGOS ROAD TOWNHOUSE PROJECT	DRAWN BY WCWJ
	GRADING AND DRAINAGE PLAN	DATE 2-04-13
 Rio Grande Engineering 1608 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0989	SHEET # 3 OF 6	JOB # 21258
		21258-LAYOUT-11-15-12

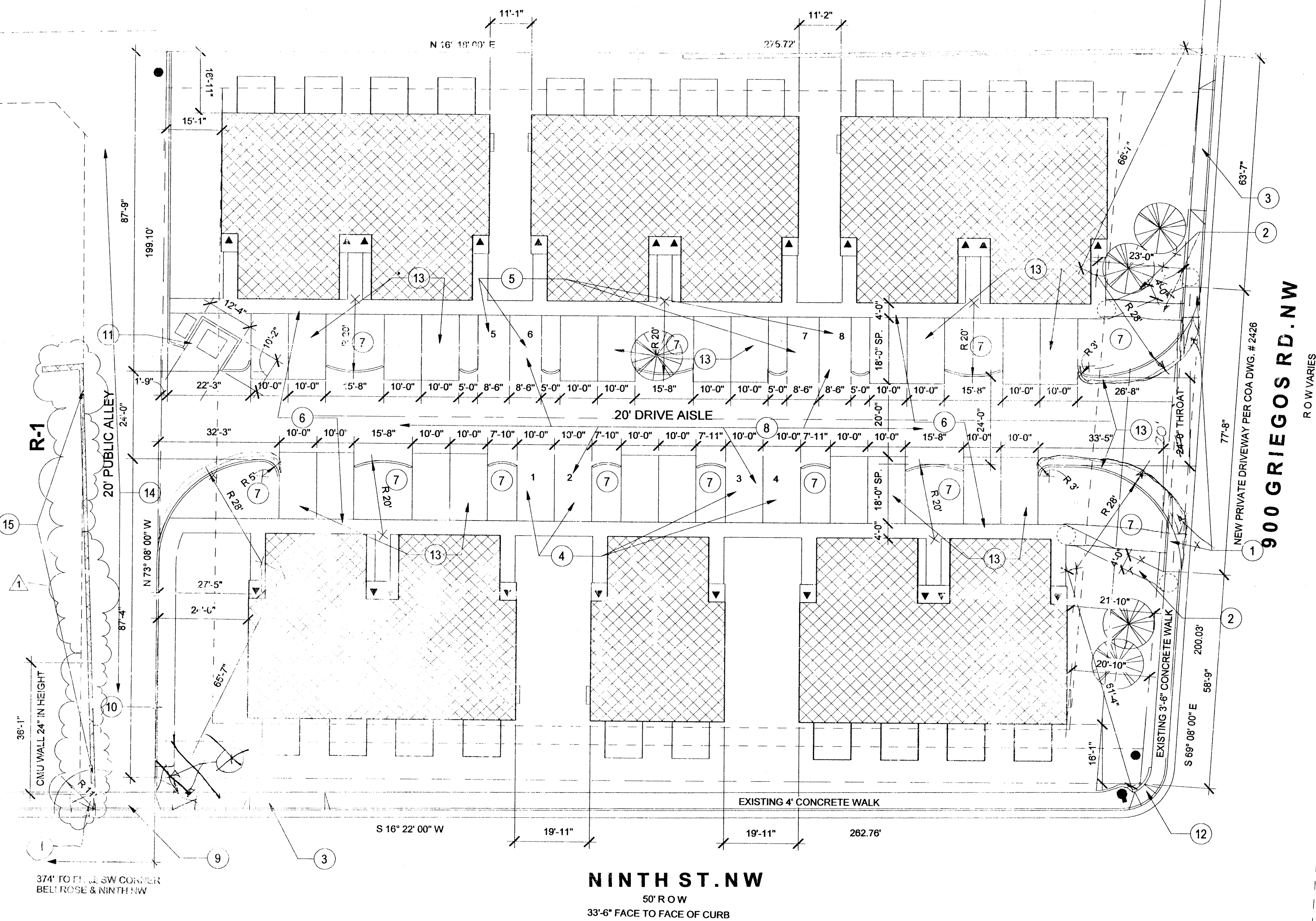
A

B

C

D

E



1 TRAFFIC CONTROL LAYOUT
1" = 20'-0"

A

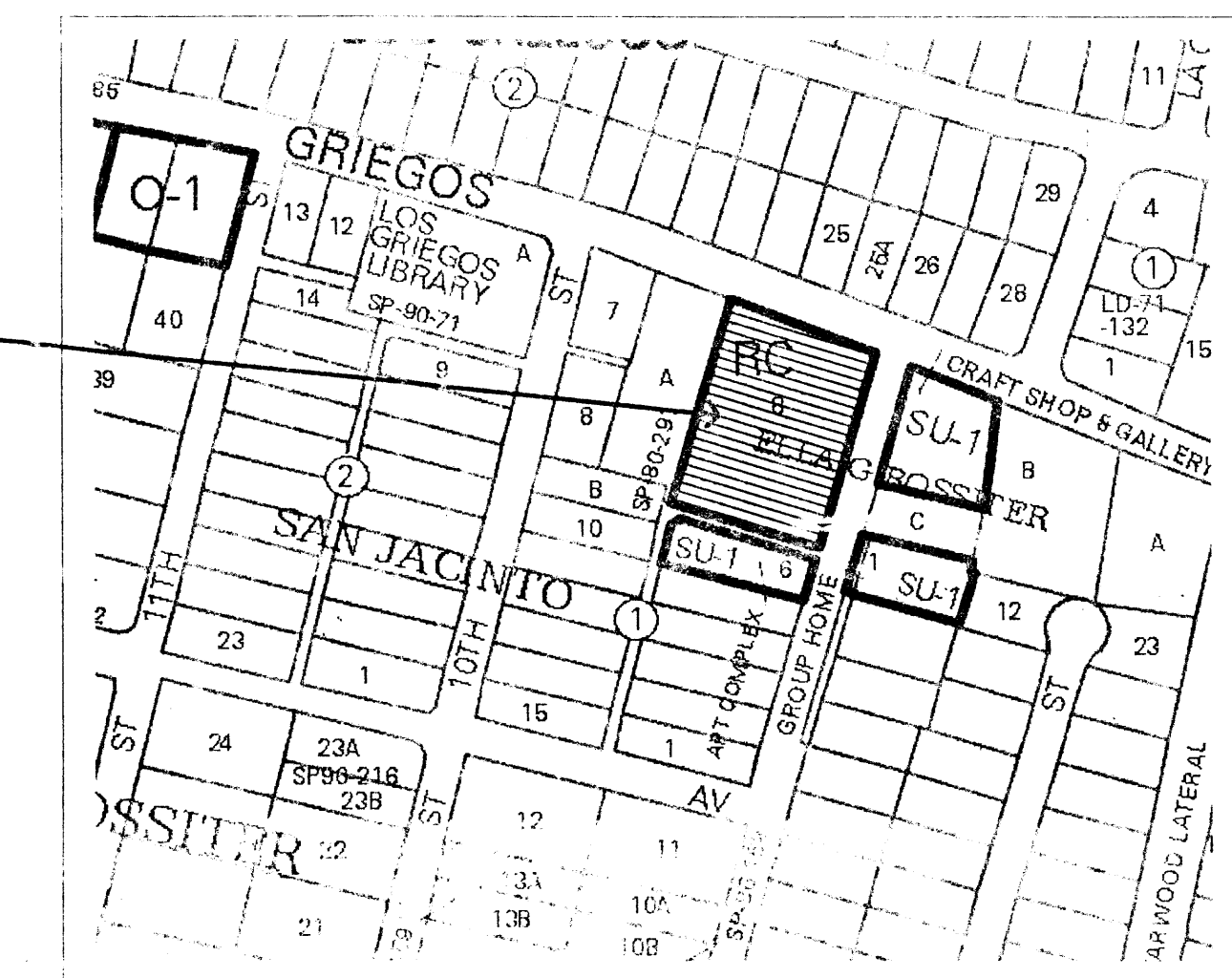
B

C

D

E

PROJECT LOCATION
900 GRIEGOS RD NW



VICINITY MAP
NTS

SHEET KEYNOTES C102

- 1 CURB RAMP WITH TRUNCATED DOME DETECTABLE WARNING
- 2 NEW 4' WIDE SIDEWALK - PROVIDE HC TURNAROUND AT (2) LOCATIONS
- 3 REMOVE EXISTING CURB/CUT-CONSTRUCT NEW SIDEWALK, STANDARD CURB AND GUTTER TO MATCH EXISTING
- 4 (4) STANDARD ASPHALT GUEST PARKING SPACES - 10' X 18'
- 5 (4) GUEST ASPHALT COMPACT CAR SPACES - 8'-6" X 18'
- 6 4' WIDE SIDEWALK - FLUSH WITH ASPHALT/CONCRETE
- 7 LANDSCAPE ISLAND
- 8 ASPHALT DRIVEWAY AND GUEST PARKING SPACES
- 9 EXISTING 16' DRIVEPAD TO REMAIN
- 10 6" CURB AND 4' SIDEWALK
- 11 REFUSE ENCLOSURE AND RECYCLE BIN
- 12 EXISTING CURB RAMP
- 13 CONCRETE DRIVEWAY AT GARAGES - TYP.
- 14 PUBLIC ALLEY TO BE PAVED - SEE ALLEY ENGINEERING FOR EXTENT
- 15 EXISTING LOW CMU FENCE - 4' ENCROACHMENT INTO 20' WIDE PUBLIC ALLEY - 11' CLEAR SITE TRIANGLE IS PRESERVED.

OFF STREET PARKING PROVIDED

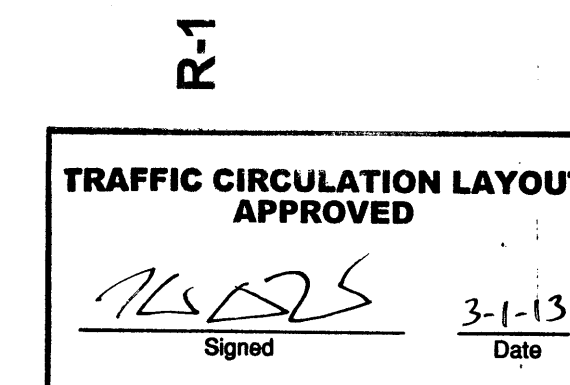
OFF STREET PARKING:

STANDARD SPACES (10' X 18'):
REQUIRED: 1.5 X 22 UNITS = 33 SPACES
PROVIDED: 2.0 X 22 UNITS + 4' SPACES (INCL. GARAGES) COMPLIES

GUEST PARKING:
(4) STANDARD (10' X 18') SPACES PROVIDED
(4) COMPACT (8'-6" X 18') SPACES PROVIDED
TOTAL 8 GUEST SPACES PROVIDED

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



LEGAL DESCRIPTION

PORTION OF LOT 8, ROSSITER - ELLI A C, ALBUQUERQUE, NEW MEXICO.

LEGEND

CONCRETE SIDEWALK

UNIT ENTRANCE WITH 4' WIDE CONCRETE ENTRY WALK

FEB. 6, 2013 - ALLEY ENCROACHMENT REVISION

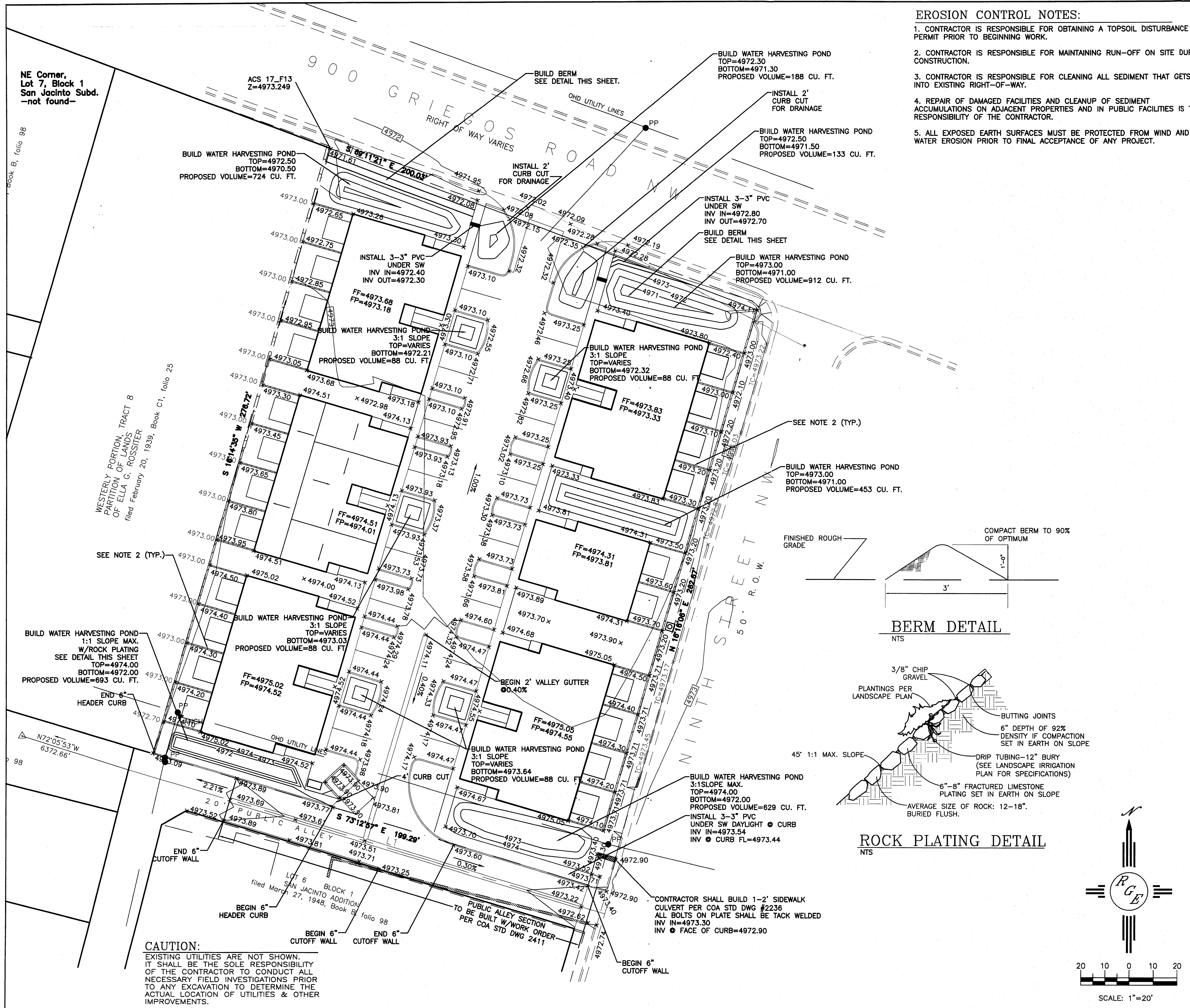
Cinelli / Roger Cinelli & Assoc.
ARCHITECTS
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
TOWNHOUSE PROJECT
ENDEAVOR DEV. CORP.
900 GRIEGOS RD N.W.
ALBUQUERQUE, NEW MEXICO

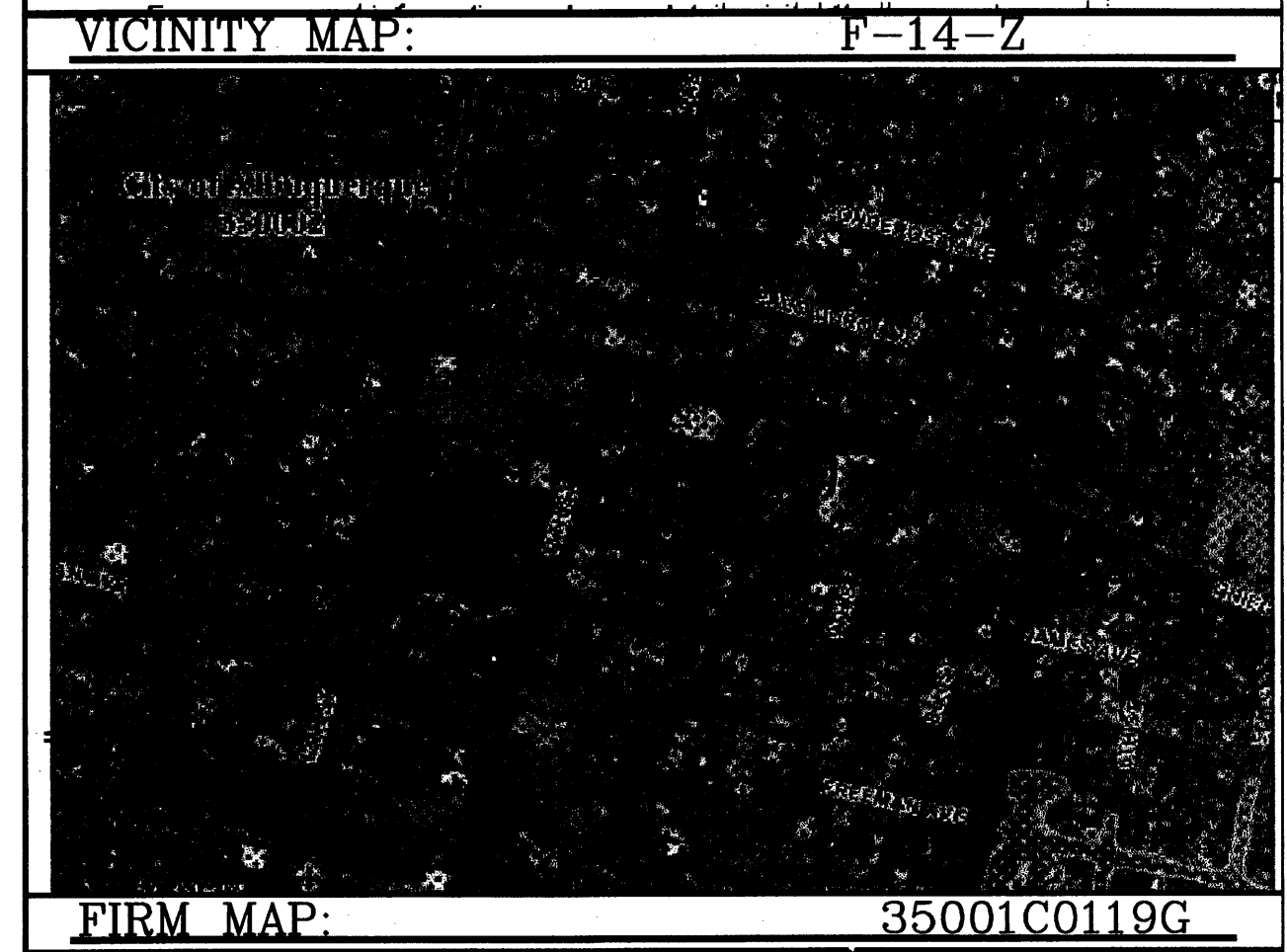
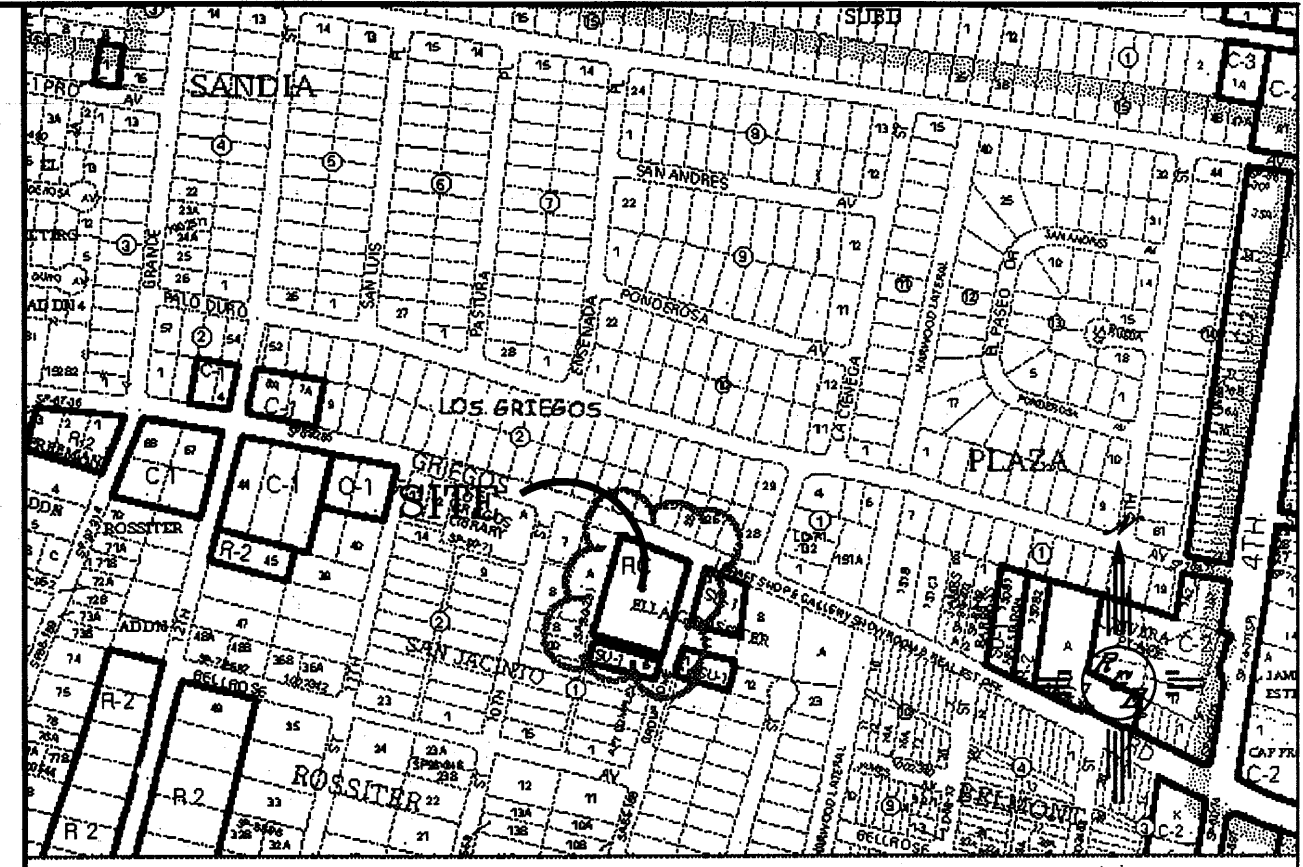
DRAWING TITLE:
TRAFFIC CONTROL LAYOUT

DATE
FEB. 6, 2013
PROJECT NO.
BUCH2
DRAWING NO.

C102
REVISED



- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
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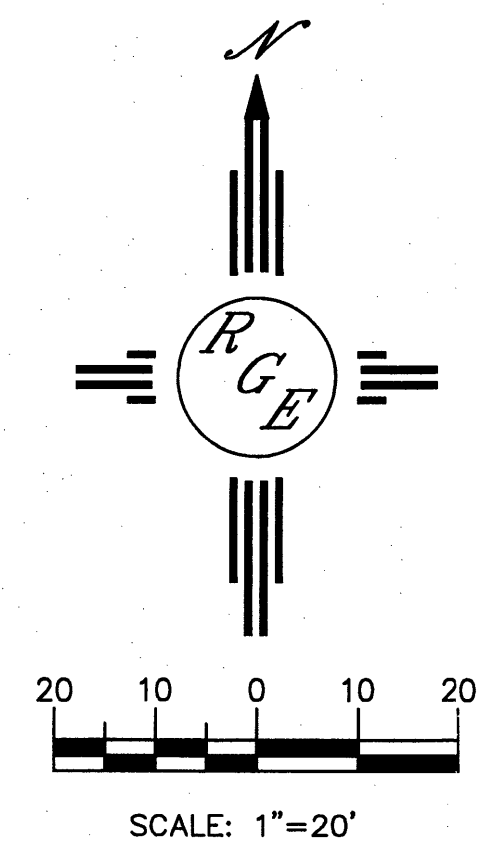
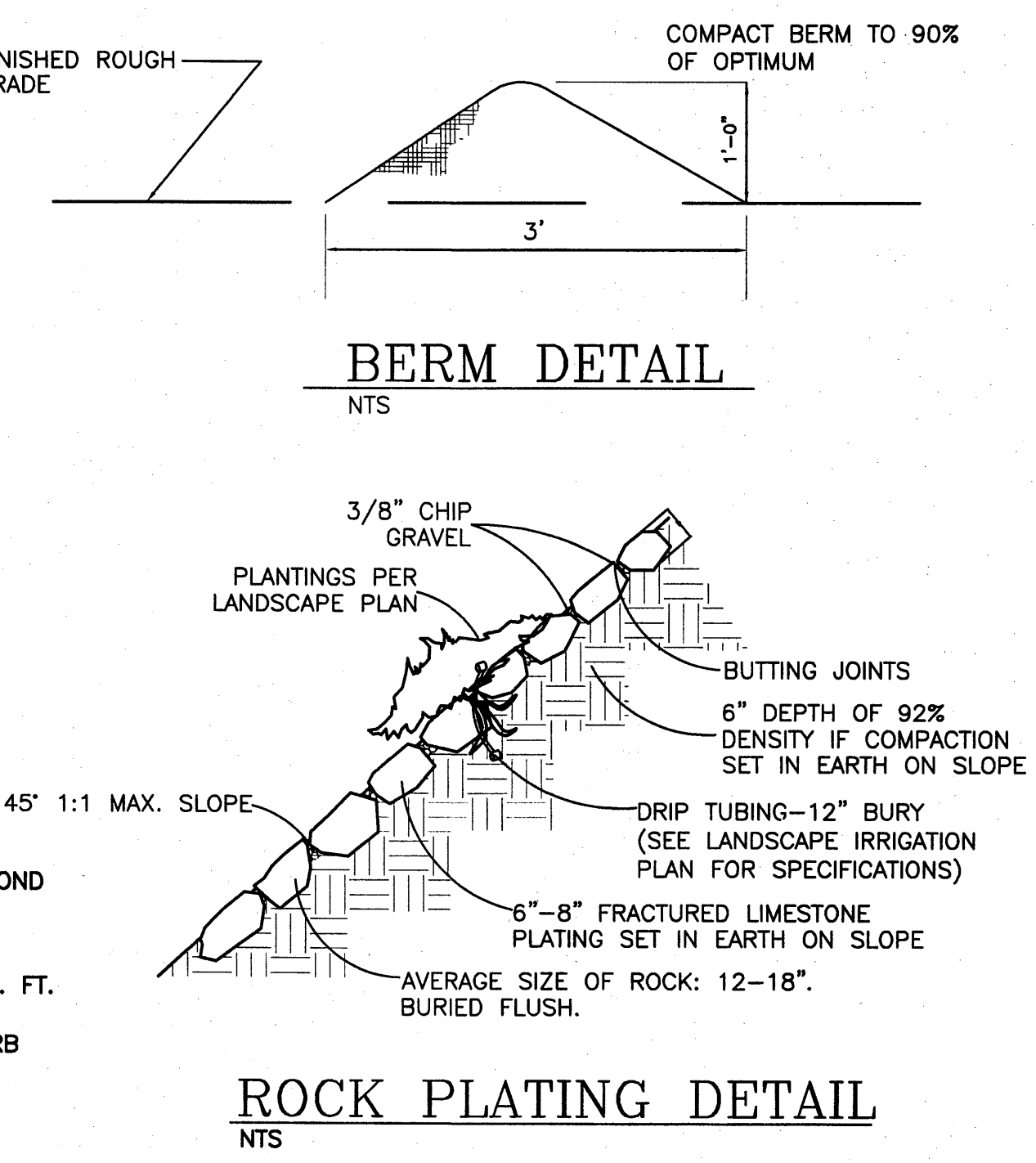
LEGAL DESCRIPTION:
EASTERLY PORTION OF TR.8, LANDS OF ELLA G. ROSSITER

NOTES:

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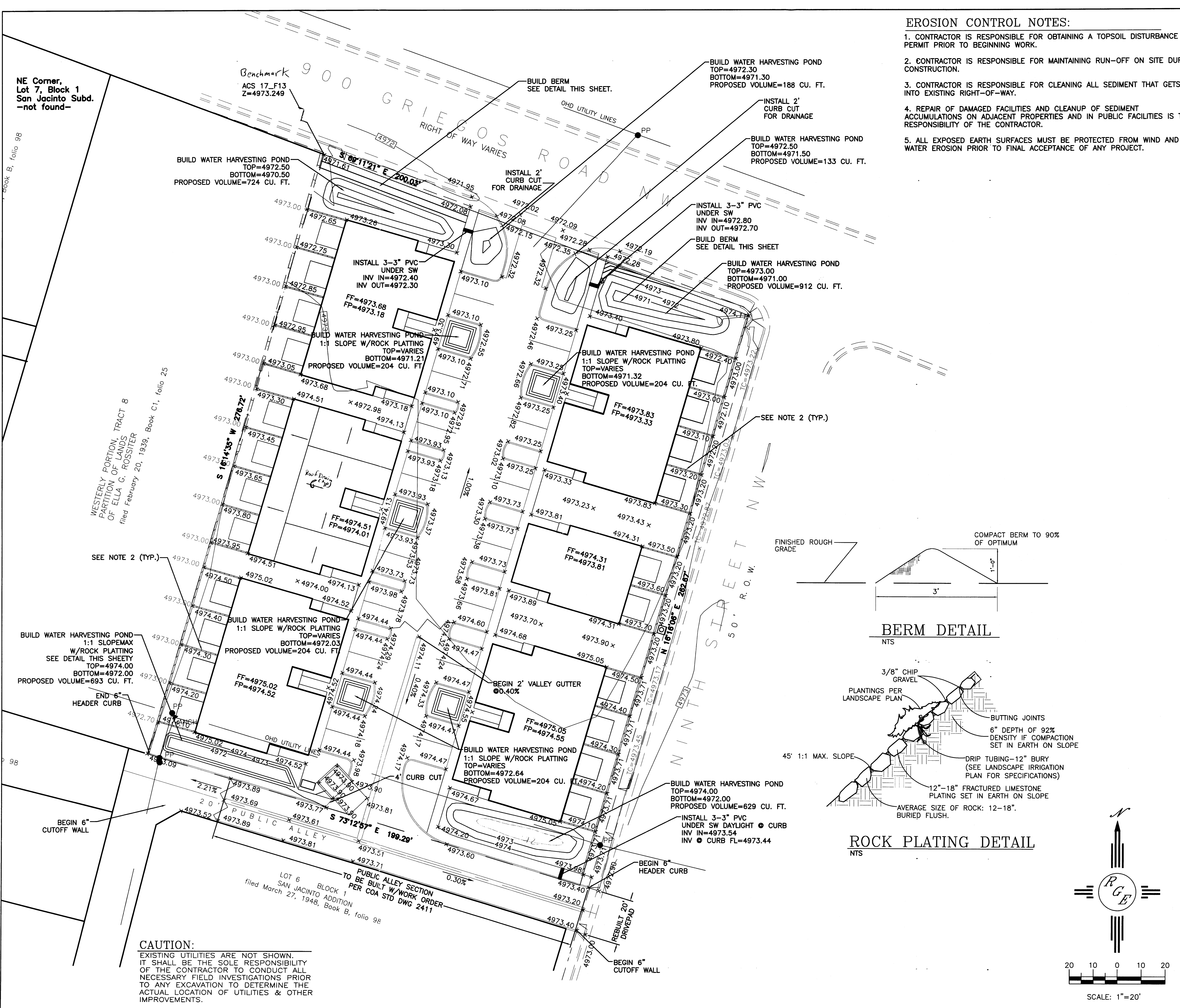
LEGEND

---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED SCREEN WALL (18" MAX. RETAINAGE)
---	EXISTING SCREEN WALL
---	PROPOSED BUILDING
---	EXISTING EDGE OF CONCRETE
---	ROOF DRAINAGE (TYP. FOR ALL BLDGS)



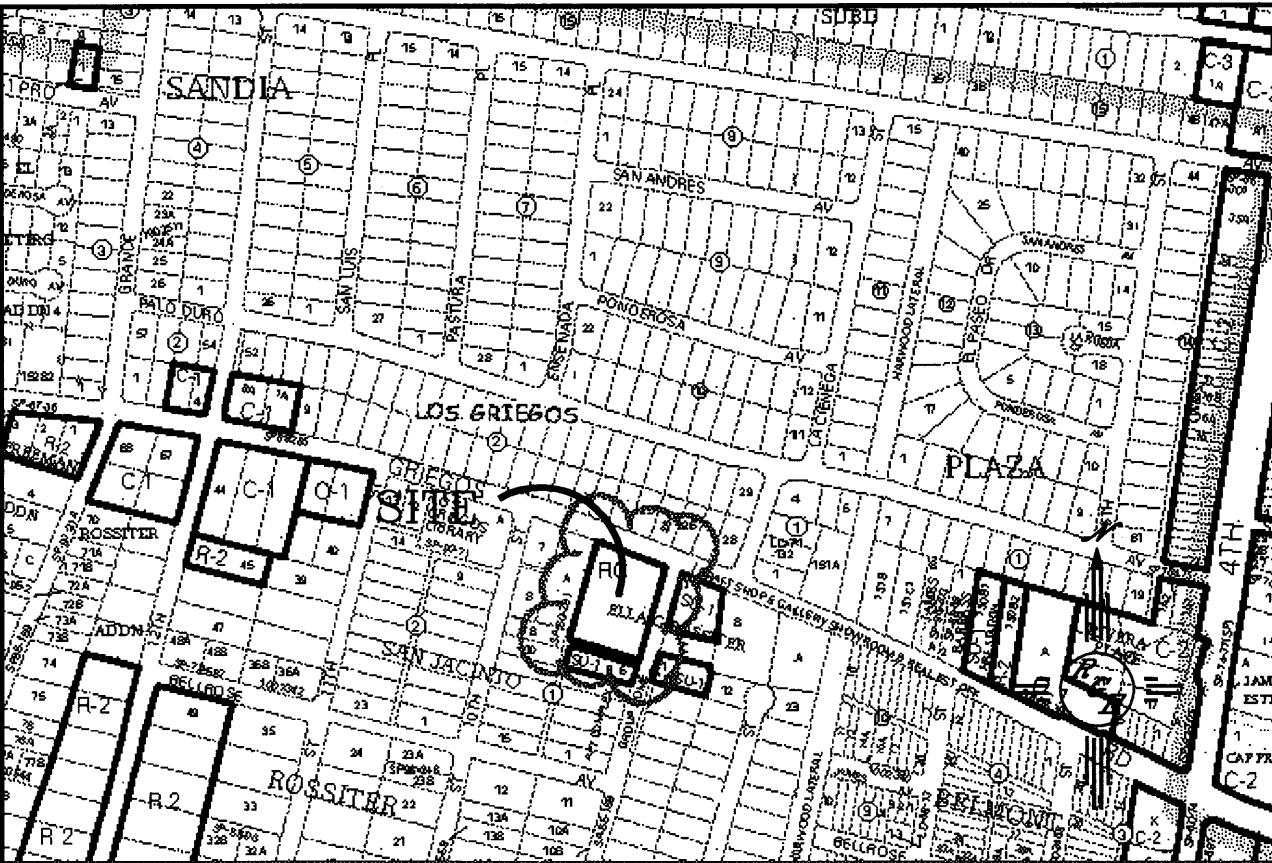
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	900 GRIEGOS ROAD TOWNHOUSE PROJECT	DRAWN BY WCWJ
	GRADING AND DRAINAGE PLAN	DATE 2-04-13
	DAVID SOULE P.E. #14522	21258-LAYOUT-11-13-12
		SHEET # 3 OF 6
		JOB # 21258



EROSION CONTROL NOTES:

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VICINITY MAP:

F-14-Z



FIRM MAP:

35001C0119G

LEGAL DESCRIPTION:

EASTERLY PORTION OF TR.8, LANDS OF ELLA G. ROSSITER

NOTES:

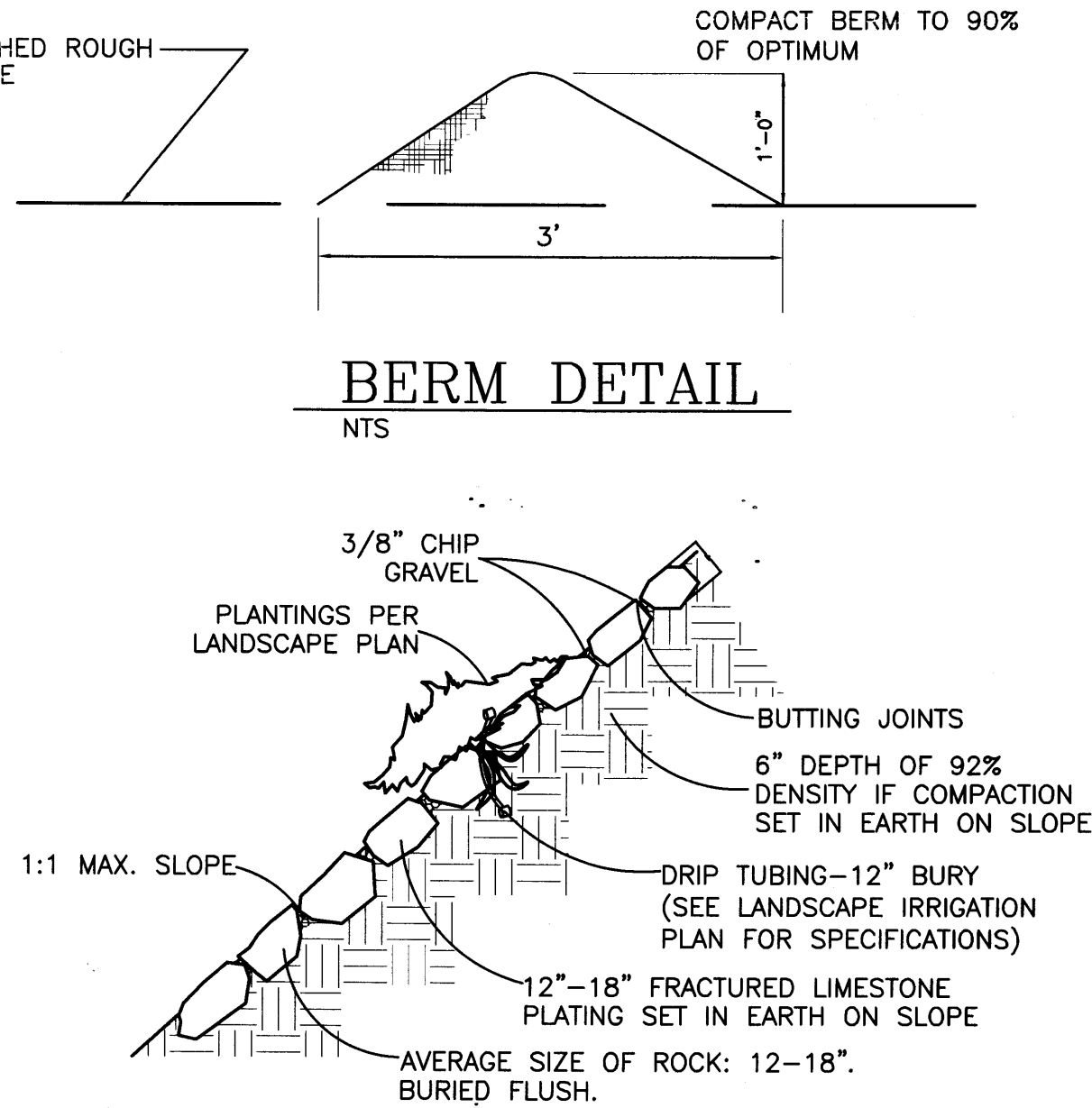
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LEGEND

- 5601— EXISTING CONTOUR
- 5600— EXISTING INDEX CONTOUR
- 5601— PROPOSED CONTOUR
- 5600— PROPOSED INDEX CONTOUR
- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- ===== PROPOSED SCREEN WALL (18" MAX. RETAINAGE)
- ===== EXISTING SCREEN WALL
- ===== PROPOSED BUILDING
- EXISTING EDGE OF CONCRETE
- ROOF DRAINAGE (TYP. FOR ALL BLDGS)

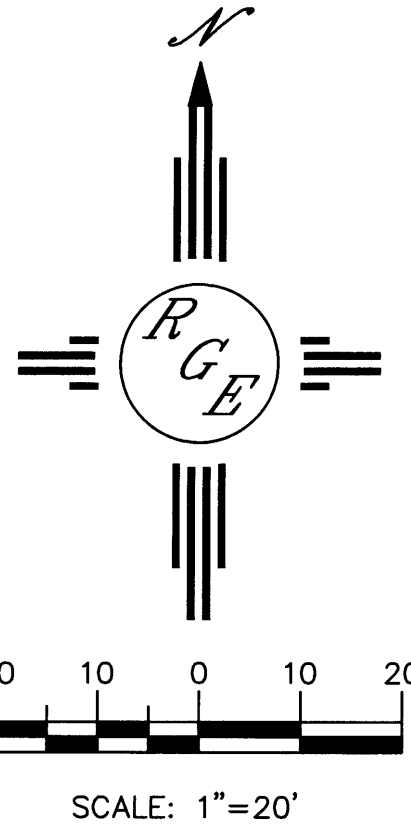
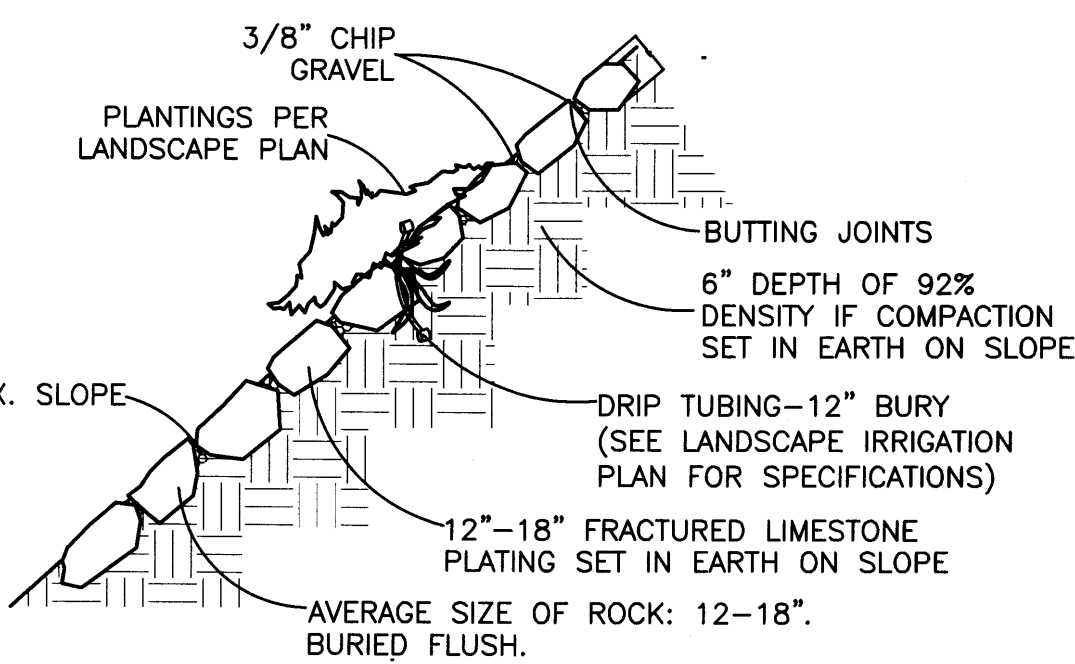
BERM DETAIL

NTS



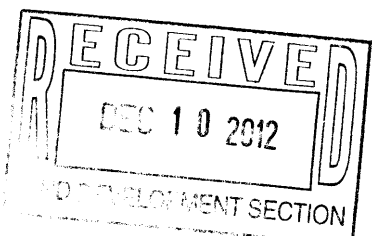
ROCK PLATING DETAIL

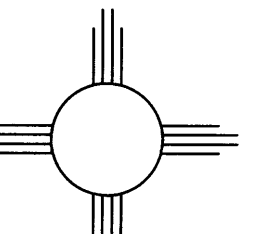
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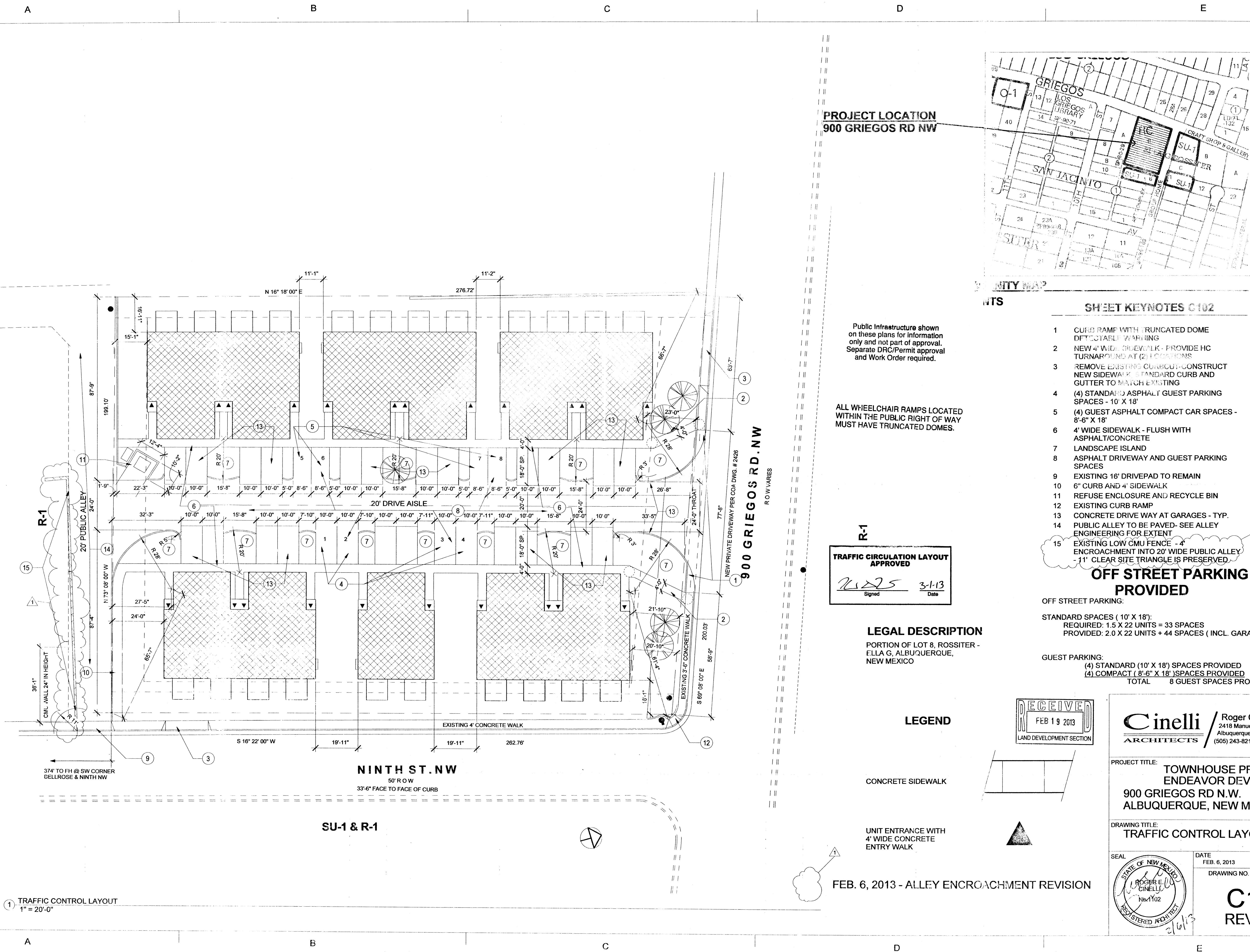


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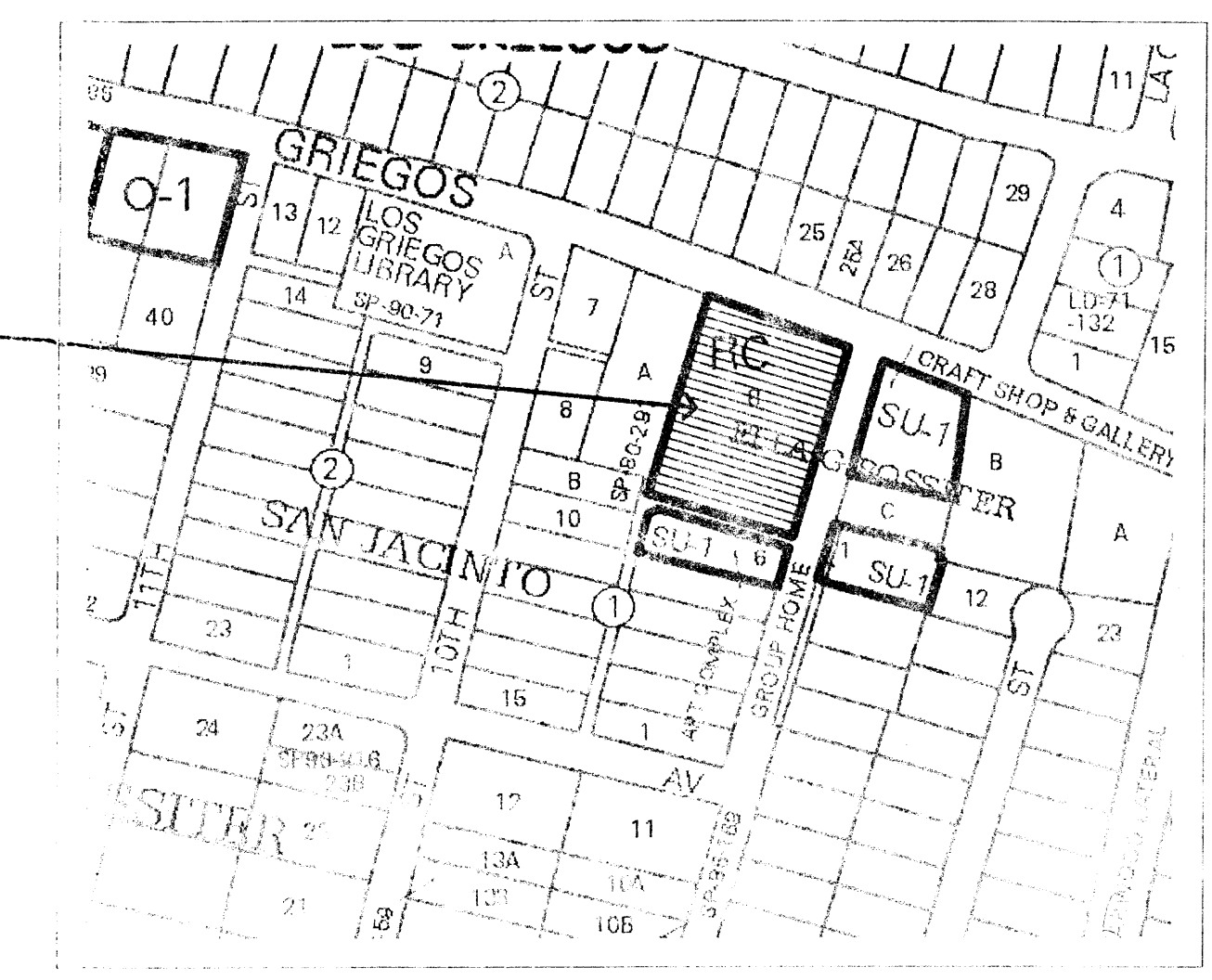
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ENGINEER'S SEAL  DAVID SOULE P.E. #14522	900 GRIEGOS ROAD TOWNHOUSE PROJECT	DRAWN BY WCHU
	GRADING AND DRAINAGE PLAN	DATE 11-15-12
	 Rio Grande Engineering 1808 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	21258-LAYOUT-11-15-12
		SHEET #
		JOB # 21258



PROJECT LOCATION
900 GRIEGOS RD NW



NTS
SHEET KEYNOTES C102

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on these plans for information
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Separate DRC/Permit approval
and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

R-1
TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] Date: 3-1-13

LEGAL DESCRIPTION
PORTION OF LOT 8, ROSSITER -
ELLA G. ALBUQUERQUE,
NEW MEXICO

LEGEND

CONCRETE SIDEWALK

UNIT ENTRANCE WITH
4' WIDE CONCRETE
ENTRY WALK

FEB. 6, 2013 - ALLEY ENCROACHMENT REVISION

- 1 CURB RAMP WITH TRUNCATED DOME
DETECTABLE WARNING
- 2 NEW 4' WIDE SIDEWALK - PROVIDE HC
TURNAROUND AT (2) LOCATIONS
- 3 REMOVE EXISTING CURBOUT-CONSTRUCT
NEW SIDEWALK - STANDARD CURB AND
GUTTER TO MATCH EXISTING
- 4 (4) STANDARD ASPHALT GUEST PARKING
SPACES - 10' X 18'
- 5 (4) GUEST ASPHALT COMPACT CAR SPACES -
8'-6" X 18'
- 6 4' WIDE SIDEWALK - FLUSH WITH
ASPHALT/CONCRETE
- 7 LANDSCAPE ISLAND
- 8 ASPHALT DRIVEWAY AND GUEST PARKING
SPACES
- 9 EXISTING 16' DRIVEPAD TO REMAIN
- 10 6" CURB AND 4' SIDEWALK
- 11 REFUSE ENCLOSURE AND RECYCLE BIN
- 12 EXISTING CURB RAMP
- 13 CONCRETE DRIVE WAY AT GARAGES - TYP.
- 14 PUBLIC ALLEY TO BE PAVED- SEE ALLEY
ENGINEERING FOR EXTENT
- 15 EXISTING LOW CMU FENCE - 4'
ENCROACHMENT INTO 20' WIDE PUBLIC ALLEY
- 11' CLEAR SITE TRIANGLE IS PRESERVED

OFF STREET PARKING
PROVIDED

OFF STREET PARKING:
STANDARD SPACES (10' X 18'):
REQUIRED: 1.5 X 22 UNITS = 33 SPACES
PROVIDED: 2.0 X 22 UNITS + 44 SPACES (INCL. GARAGES) COMPLIES

GUEST PARKING:
(4) STANDARD (10' X 18') SPACES PROVIDED
(4) COMPACT (8'-6" X 18') SPACES PROVIDED
TOTAL 8 GUEST SPACES PROVIDED

RECEIVED
FEB 19 2013
LAND DEVELOPMENT SECTION

Cinelli / Roger Cinelli & Assoc.
ARCHITECTS
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

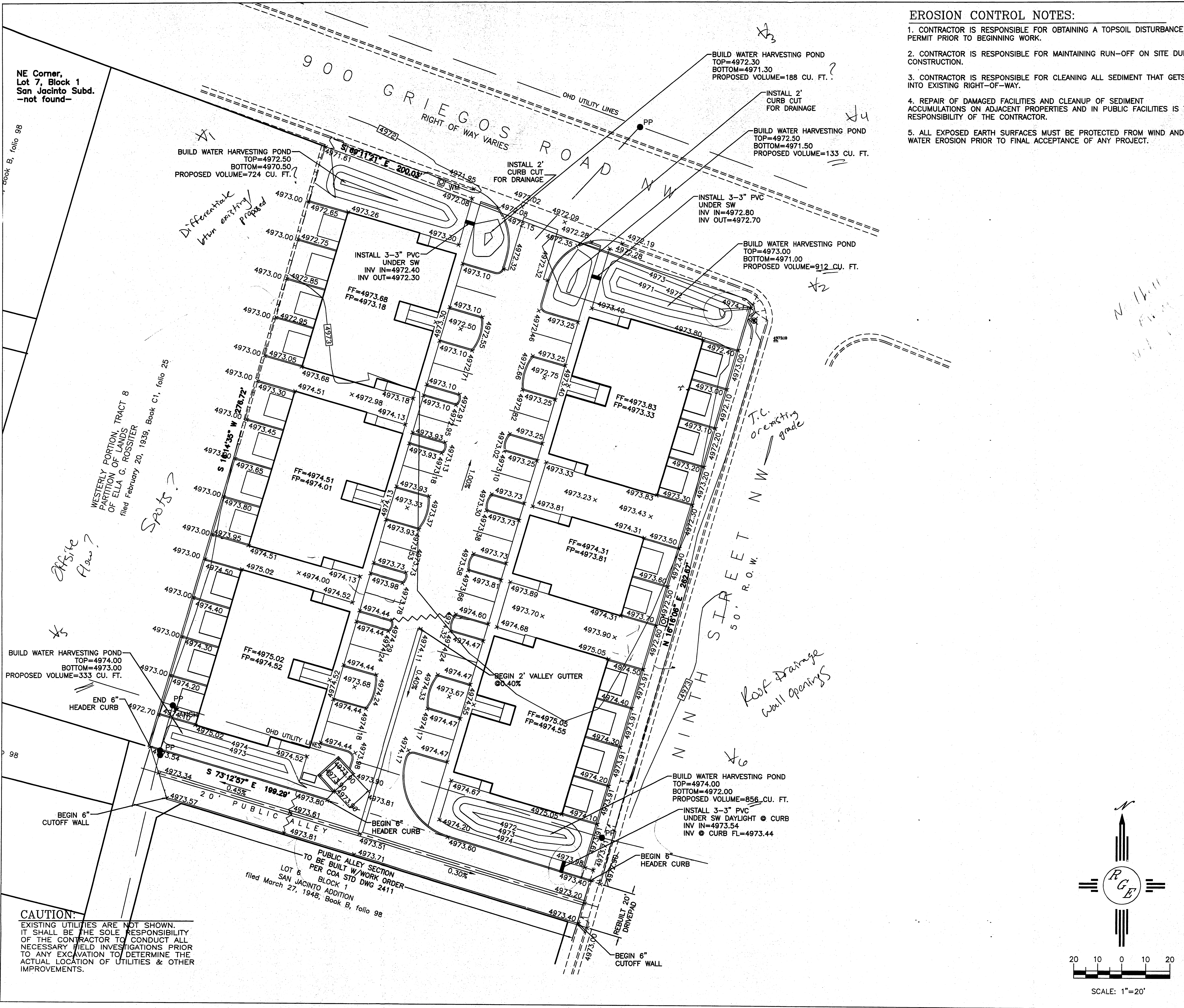
PROJECT TITLE:
TOWNHOUSE PROJECT
ENDEAVOR DEV. CORP.
900 GRIEGOS RD N.W.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
TRAFFIC CONTROL LAYOUT

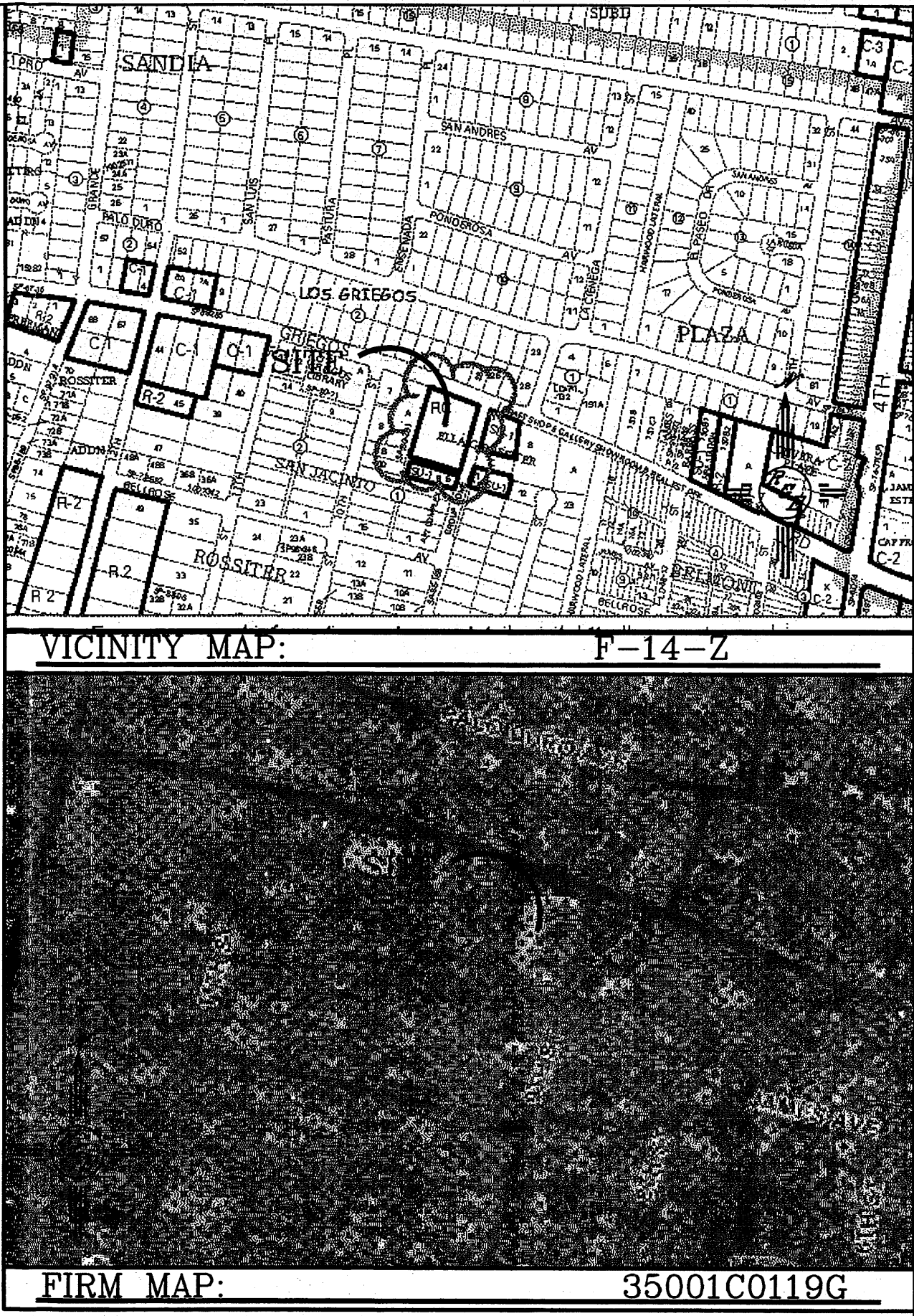
SEAL: [Seal]
DATE: FEB. 6, 2013
PROJECT NO.: BUCH2
DRAWING NO.:

C102
REVISED

1 TRAFFIC CONTROL LAYOUT
1" = 20'-0"



- EROSION CONTROL NOTES:**
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LEGAL DESCRIPTION:
EASTERLY PORTION OF TR.8, LANDS OF ELLA G. ROSSITER

NOTES:

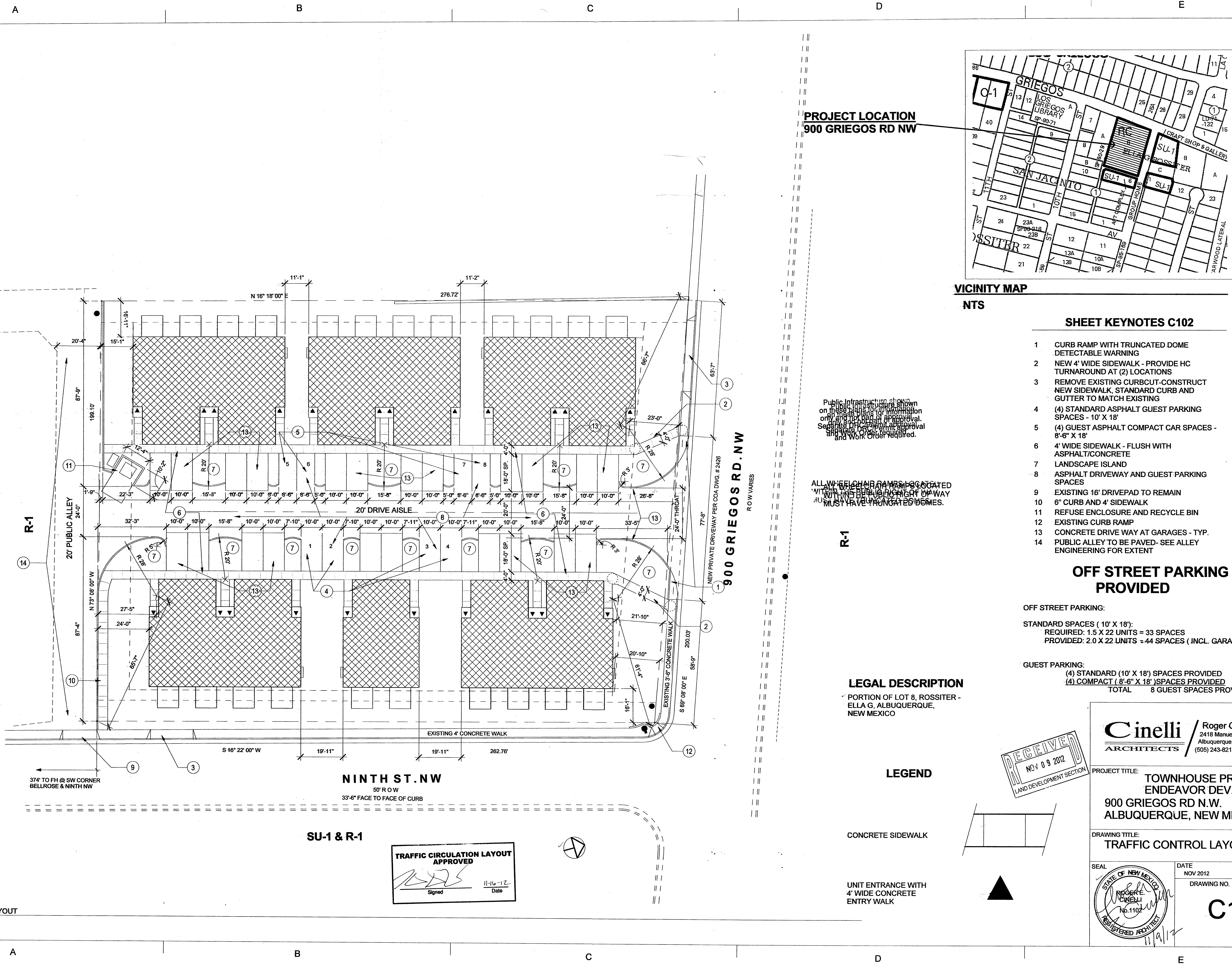
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LEGEND

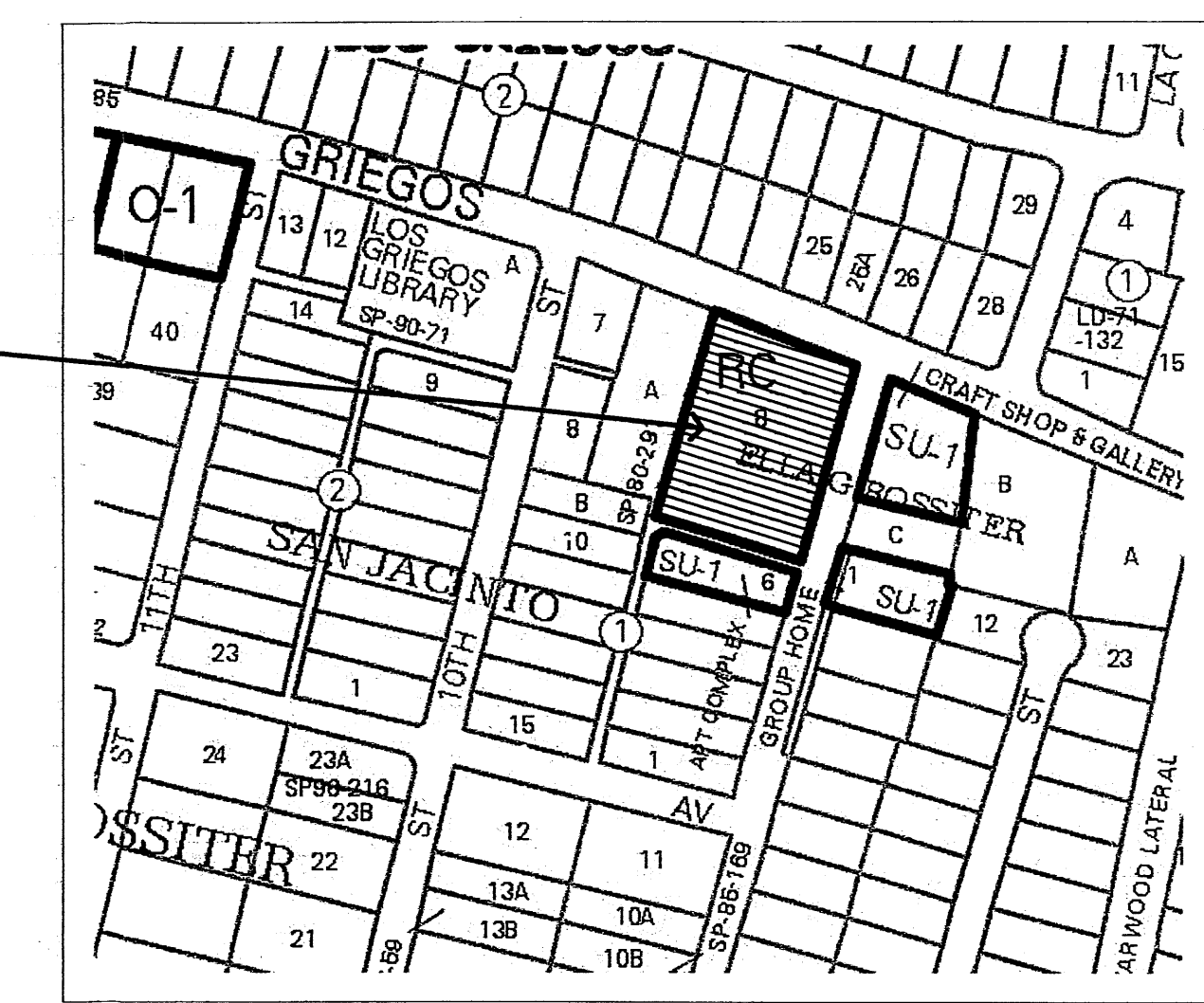
—5601—	EXISTING CONTOUR
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—5601—	PROPOSED CONTOUR
—5600—	PROPOSED INDEX CONTOUR
----	BOUNDARY
----	CENTERLINE
----	RIGHT-OF-WAY
=====	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
=====	PROPOSED BUILDING
----	EXISTING EDGE OF CONCRETE

ENGINEER'S SEAL DAVID SOULE P.E. #14522	900 GRIEGOS ROAD TOWNHOUSE PROJECT	DRAWN BY WCUJ
	GRADING AND DRAINAGE PLAN	DATE 11-15-12
	 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0899	SHEET # — JOB # 21258

RECEIVED
NOV 26 2012
LAND DEVELOPMENT SECTION



PROJECT LOCATION
900 GRIEGOS RD NW



VICINITY MAP
NTS

SHEET KEYNOTES C102

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NEW MEXICO

LEGEND

CONCRETE SIDEWALK

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4' WIDE CONCRETE
ENTRY WALK

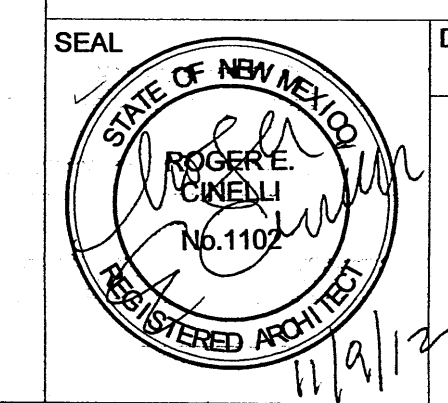


Cinelli / Roger Cinelli & Assoc.
ARCHITECTS 2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
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PROJECT TITLE:
TOWNHOUSE PROJECT
ENDEAVOR DEV. CORP.
900 GRIEGOS RD N.W.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
TRAFFIC CONTROL LAYOUT

SEAL DATE NOV 2012 PROJECT NO. BUCH2
DRAWING NO.



C102

1 TRAFFIC CONTROL LAYOUT
1" = 20'-0"

