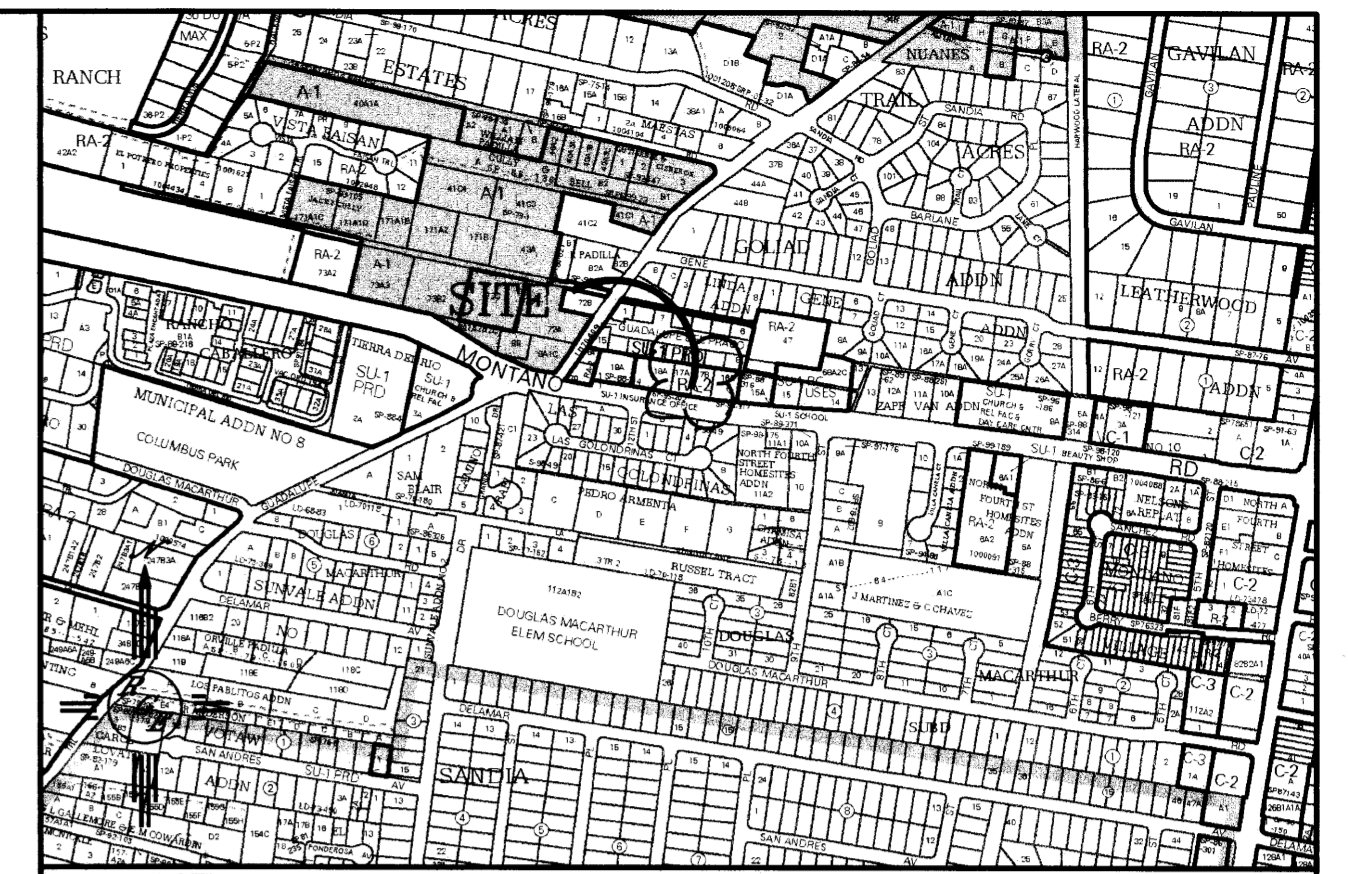
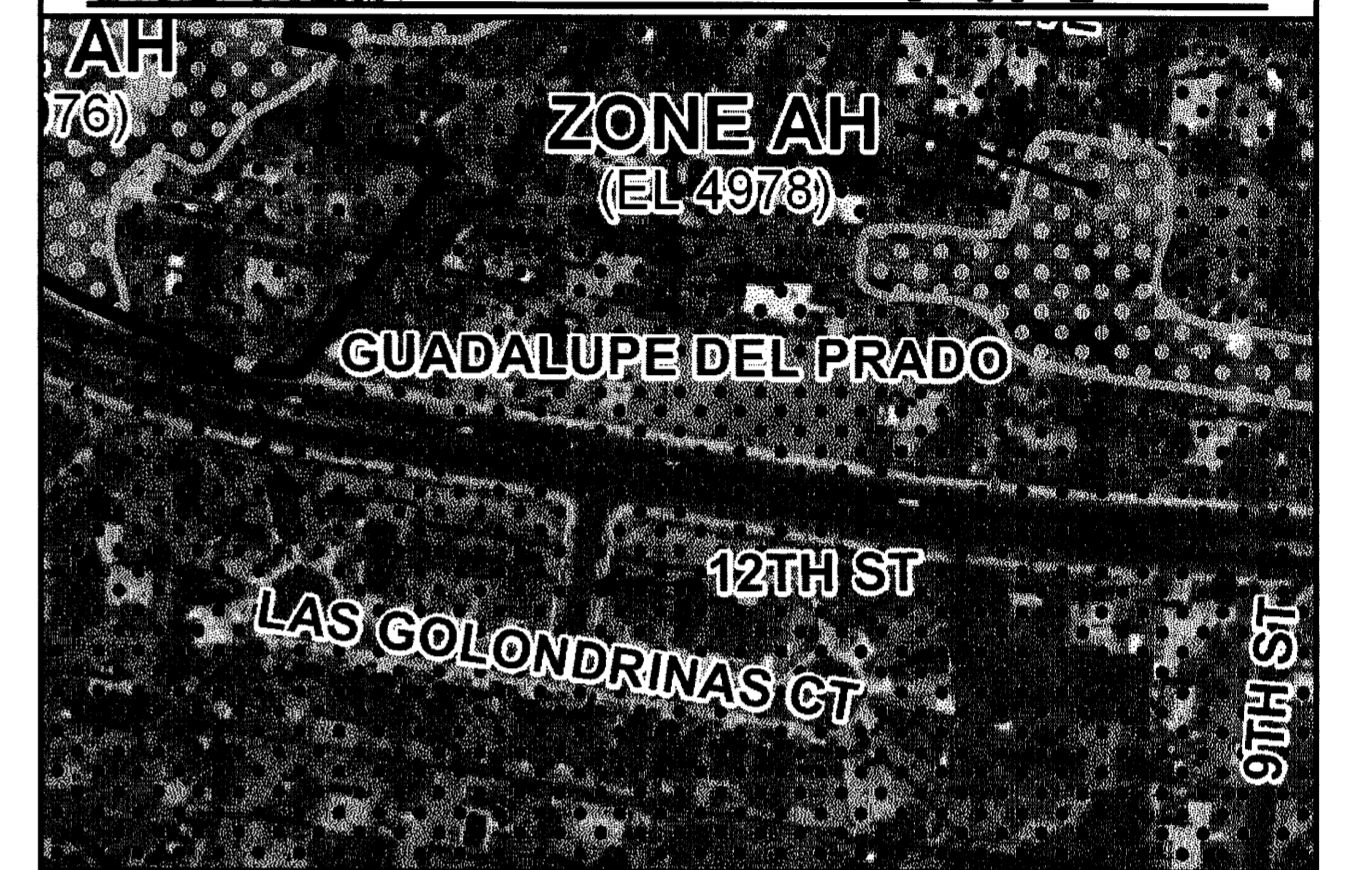


1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



ZONE ATLAS: F-14-Z

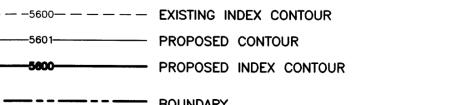


FIRM MAP: 35001C0119G

LOTS NUMBERED 17A & 17B, ZAPF VAN ADDITION #10



1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

2. ALL INTERIOR BACK YARD SCREEN WALLS BETWEEN TOWNHOUSES SHALL HAVE EVERY 3RD BLOCK TURNED AT GRADE FOR DRAINAGE.



	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY
	PROPOSED SCREEN WALL (18" MAX. RETAINAGE)
	EXISTING SCREEN WALL
	PROPOSED BUILDING
	EXISTING EDGE OF CONCRETE
	ROOF DRAINAGE (TYP. FOR ALL BLDGS)

RECEIVED
APR 19 2013
AND DEVELOPMENT SECTION

	ENGINEER'S SEAL	Casas de Oro Townhomes 921 & 923 Montano Rd.	DRAWN BY WCW/J
		GRADING AND DRAINAGE PLAN	DATE 4-19-13
		 <i>Rio Grande</i> Engineering 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0989	21319-LAYOUT-4-16-13
DAVID SOULE P.E. #14522			SHEET # —
			JOB # 21319

LSS-206 1993".
NAD 83 Position
Datum: NAD 83
Projection: New Mexico State Plane
Zone: Central
Latitude: 35 - 8 - 24.51512
Longitude: 106 - 39 - 4.40105
Ellipsoidal Height (meters): 1495.649
Order: 1 Class: 2
Ground to Grid Factor: 0.99962322
Mapping Angle: -0_13.51.38
Northing (US survey feet): 1506539.234
Easting (US survey feet): 1520466.916
Northing (meters): 459194.077
Easting (meters): 463439.243
NAVD 1988 Elevation
Datum: NAVD 1988
Orthometric Height (US survey feet): 4976.652
Order: 2 Class: 2

BUILD RETENTION POND-
3:1 SLOPE
TOP=4977.00
BOTTOM=4975.50
PROPOSED VOLUME=275 CU. FT.

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
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OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

Diagram illustrating the components and installation of a slope stabilization system:

- 3/8" CHIP GRAVEL
- PLANTINGS PER LANDSCAPE PLAN
- BUTTING JOINTS
- 6" DEPTH OF 92% DENSITY IF COMPACTION SET IN EARTH ON SLOPE
- DRIP TUBING—12" BURY (SEE LANDSCAPE IRRIGATION PLAN FOR SPECIFICATIONS)
- 6"—8" FRACTURED LIMESTONE PLATING SET IN EARTH ON SLOPE
- AVERAGE SIZE OF ROCK: 6"—8", BURIED FLUSH.
- SLOPE

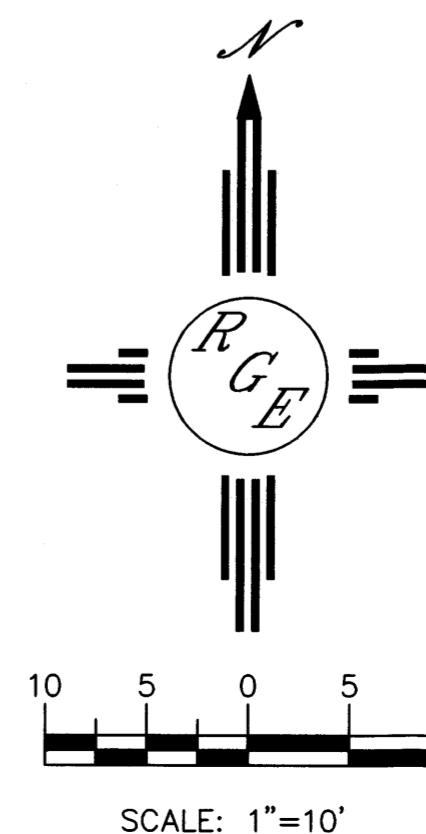
ROCK PLATING DETAIL

7.99
Dlact
4972.95

NTS

* Back of SW
elevation
* Back up against
object
lot to North

* 100 yr - 10 days



NOTICE TO CONTRACTORS

Notice to Contractor
(Special Order 19 - "50-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" (or (505) 280-1900) for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.

APPROVAL	NAME	DATE
INSPECTOR		

BUILD RETENTION POND
3:1 SLOPE
TOP=4977.00
BOTTOM=4975.50
PROPOSED VOLUME=161 CU. FT.

BACK YARDS FLAT BOTTOM
ELEV=4977.00
SURFACE AREA =1056 SF

"LSS-206 1993".
NAD 83 Position
Datum: NAD 83
Projection: New Mexico State Plane
Zone: Central
Latitude: 35 - 8 - 24.51512
Longitude: 106 - 39 - 4.40105
Ellipsoidal Height (meters): 1495.549
Order: 1 Class: 2
Ground to Grid Factor: 0.999692322
Mapping Angle: -0.13.51.38
Northing (US survey feet): 1506539.234
Easting (US survey feet): 1520466.916
Northing (meters): 459194.077
Easting (meters): 463439.243
NAVD 1988 Elevation
Datum: NAVD 1988
Orthometric Height (US survey feet): 4976.652
Order: 2 Class: 2

BUILD 1-SIDEWALK CULVERT
PER COA STD DWG #2236
TACK WELD BOLTS
TURN WALL BLOCK
INV @ WALL=4977.00
FL @ CURB=4976.63

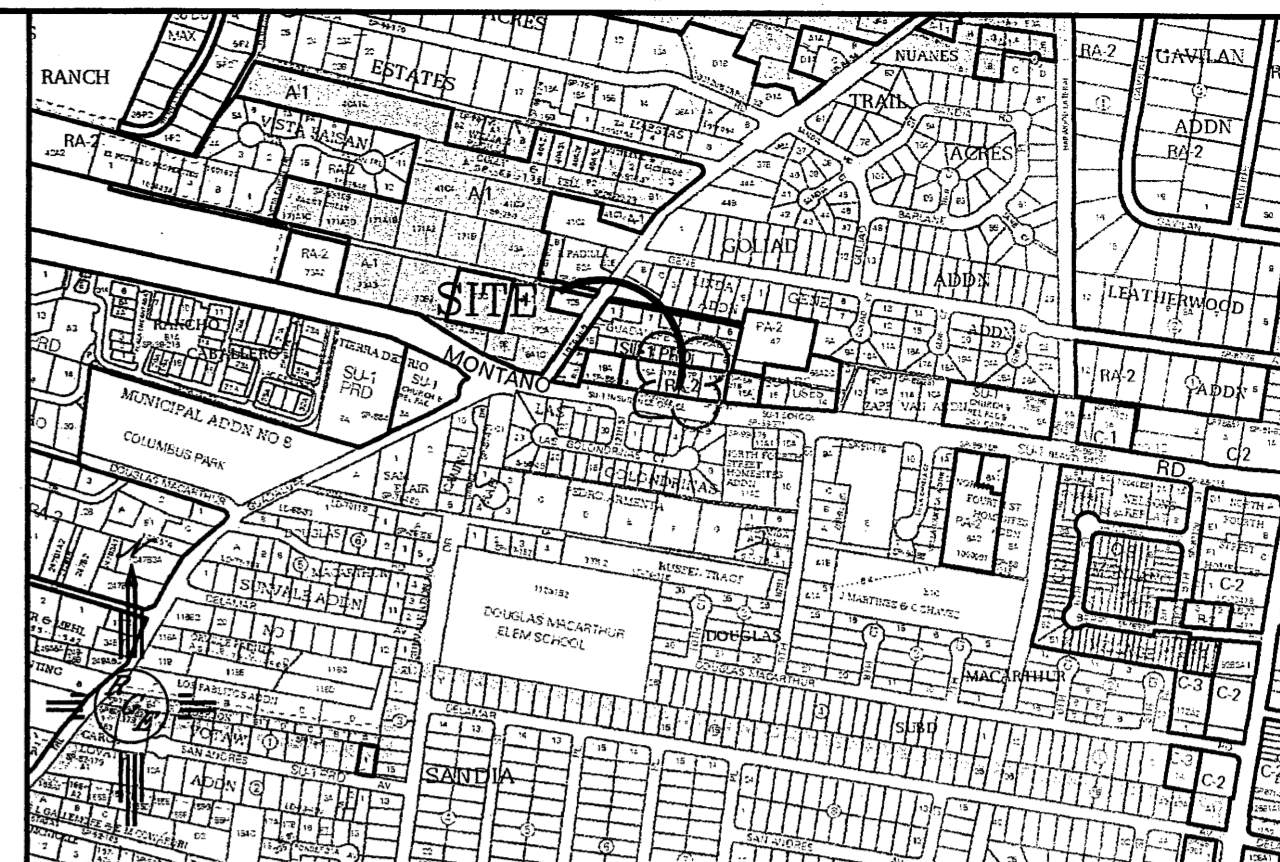
BUILD RETENTION POND
3:1 SLOPE
TOP=4977.00
BOTTOM=4975.50
PROPOSED VOLUME=275 CU. FT.

CAUTION:
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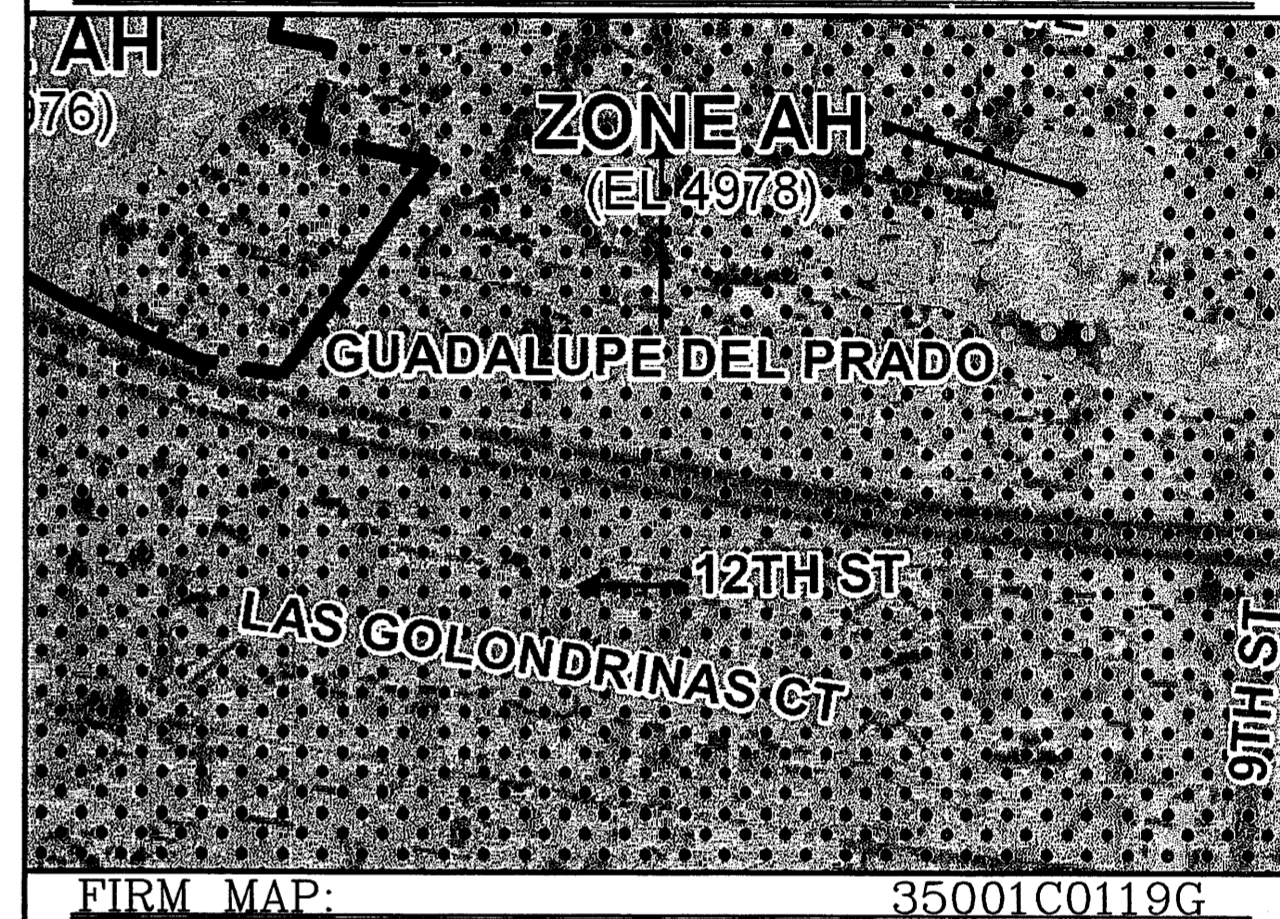
BUILD RETENTION POND
1:1 SLOPE
W/ROCK PLATING
SEE DETAIL THIS SHEET
TOP=4977.00
BOTTOM=4971.00
PROPOSED VOLUME=972 CU. FT.

EROSION CONTROL NOTES:

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ZONE ATLAS: F-14-Z



FIRM MAP: 35001C0119G

LEGAL DESCRIPTION:

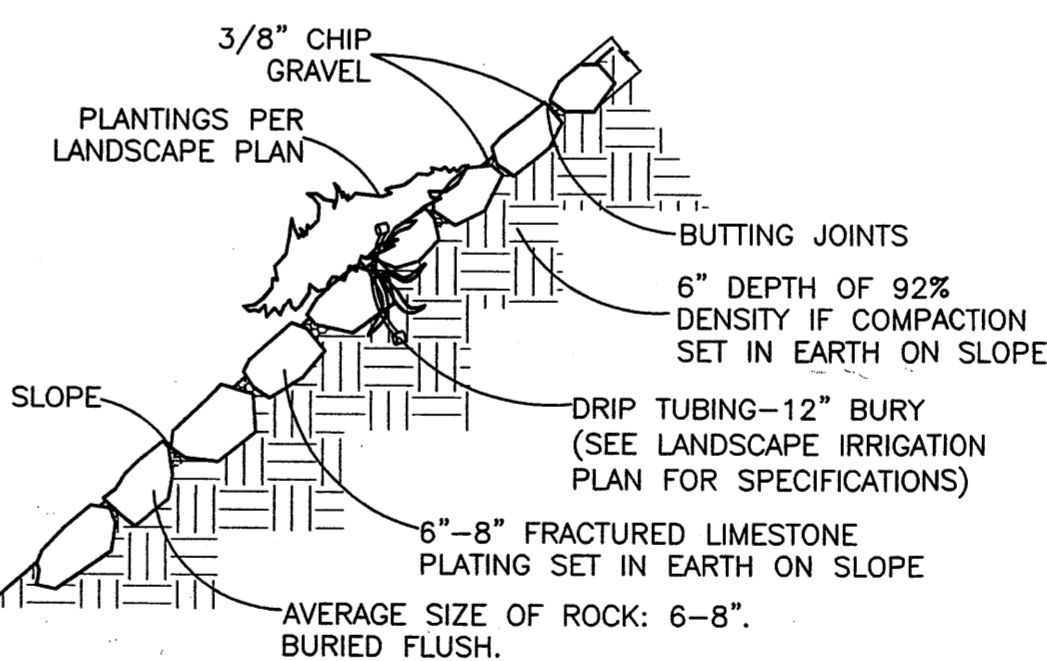
LOTS NUMBERED 17A & 17B, ZAPF VAN ADDITION #10

NOTES:

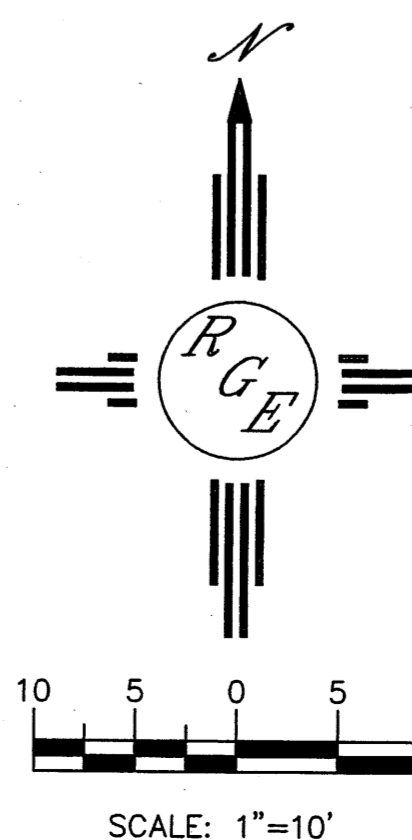
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL INTERIOR BACK YARD SCREEN WALLS BETWEEN TOWNHOUSES SHALL HAVE EVERY 3RD BLOCK TURNED AT GRADE FOR DRAINAGE.

LEGEND

---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED SCREEN WALL (18" MAX. RETAINAGE)
---	EXISTING SCREEN WALL
---	PROPOSED BUILDING
---	EXISTING EDGE OF CONCRETE
---	ROOF DRAINAGE (TYP. FOR ALL BLDGS)



ROCK PLATING DETAIL
NTS



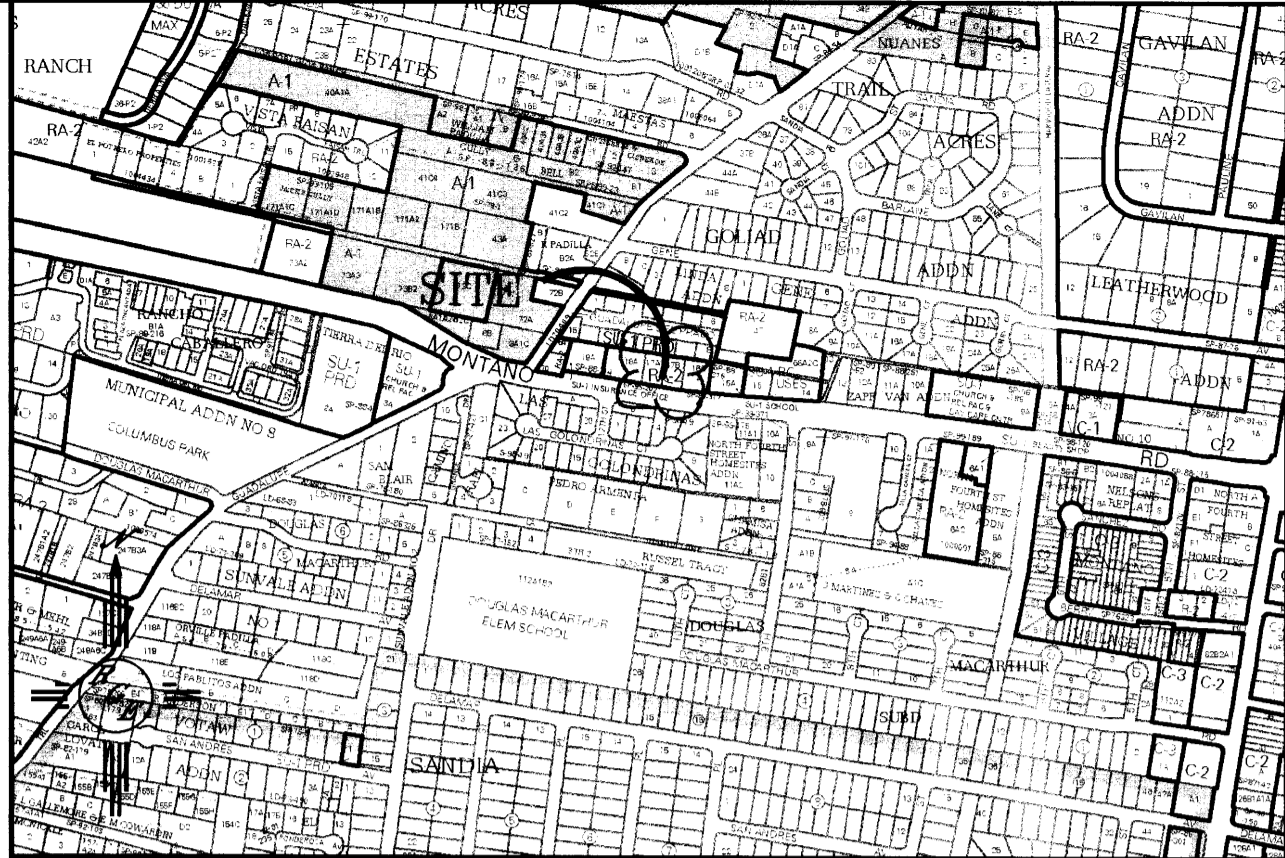
ENGINEER'S SEAL DAVID SOULE REGISTERED PROFESSIONAL ENGINEER NEW MEXICO 14522	Casas de Oro Townhomes 921 & 923 Montano Rd. GRADING AND DRAINAGE PLAN Rio Grande ENGINEERING SUITE 201 1800 CENTRAL AVENUE ALBUQUERQUE, NM 87106 (505) 872-0998 LAND DEVELOPMENT SECTION	DRAWN BY WCUJ DATE 4-24-13 21319-LAYOUT-4-16-13 SHEET # JOB # 21319
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NOTICE TO CONTRACTORS

Noce to Contractor
(Special Order 19 ~ "50-19")

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3. Two working days prior to any excaavn, the contractor must contact **New Mexico One Call**, dial "811" [or (505) 260-1990] for the locaon of exisng ulies.
4. Prior to construcion, the contractor shall excavate and verify the locaons of all obstrucions. Should a conict exist, the contractor shall noly the engineer so that the conict can be resolved with a minimum amount of delay.
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APPROVAL	NAME	DATE
INSPECTOR		



LEGAL DESCRIPTION:

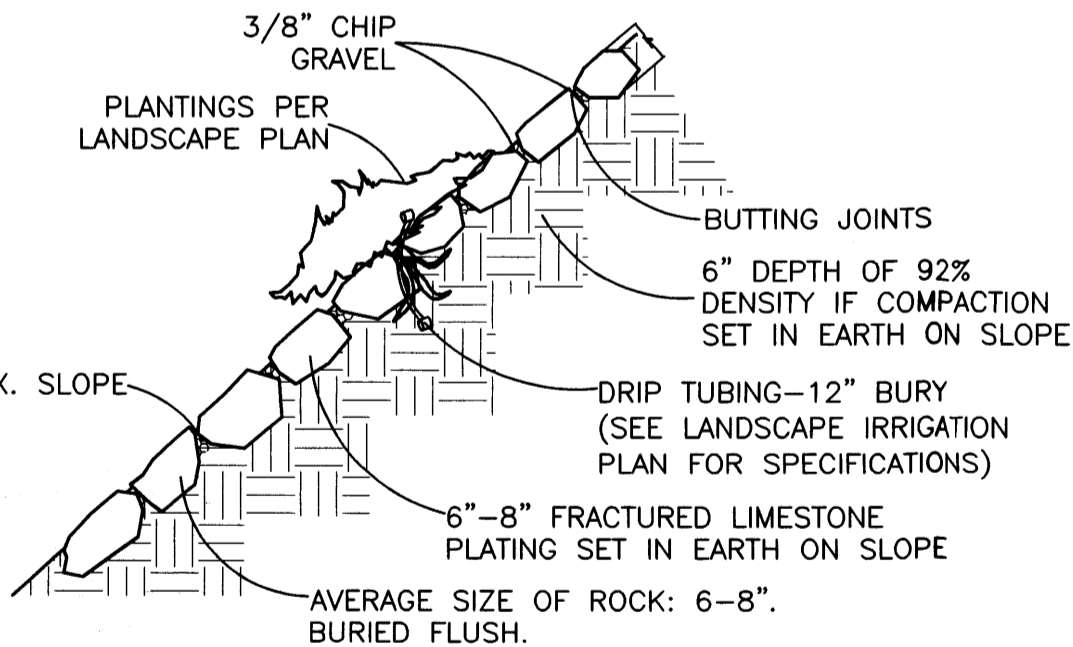
LOTS NUMBERED 17A & 17B, ZAPP VAN ADDITION #10

NOTES:

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LEGEND

---	5601	EXISTING CONTOUR
---	5600	EXISTING INDEX CONTOUR
---	5601	PROPOSED CONTOUR
---	5600	PROPOSED INDEX CONTOUR
---		BOUNDARY
---		CENTERLINE
---		RIGHT-OF-WAY
---		PROPOSED SCREEN WALL (18" MAX. RETAINAGE)
---		EXISTING SCREEN WALL
---		PROPOSED BUILDING
---		EXISTING EDGE OF CONCRETE
---		ROOF DRAINAGE (TYP. FOR ALL BLDGS)

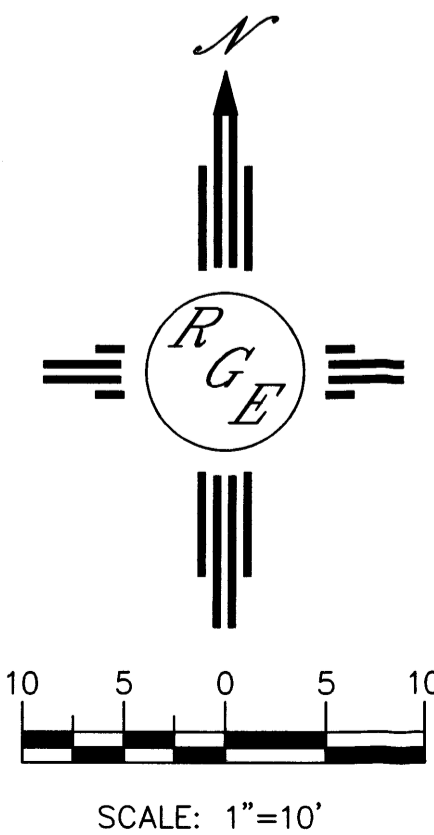


ROCK PLATING DETAIL

NTS

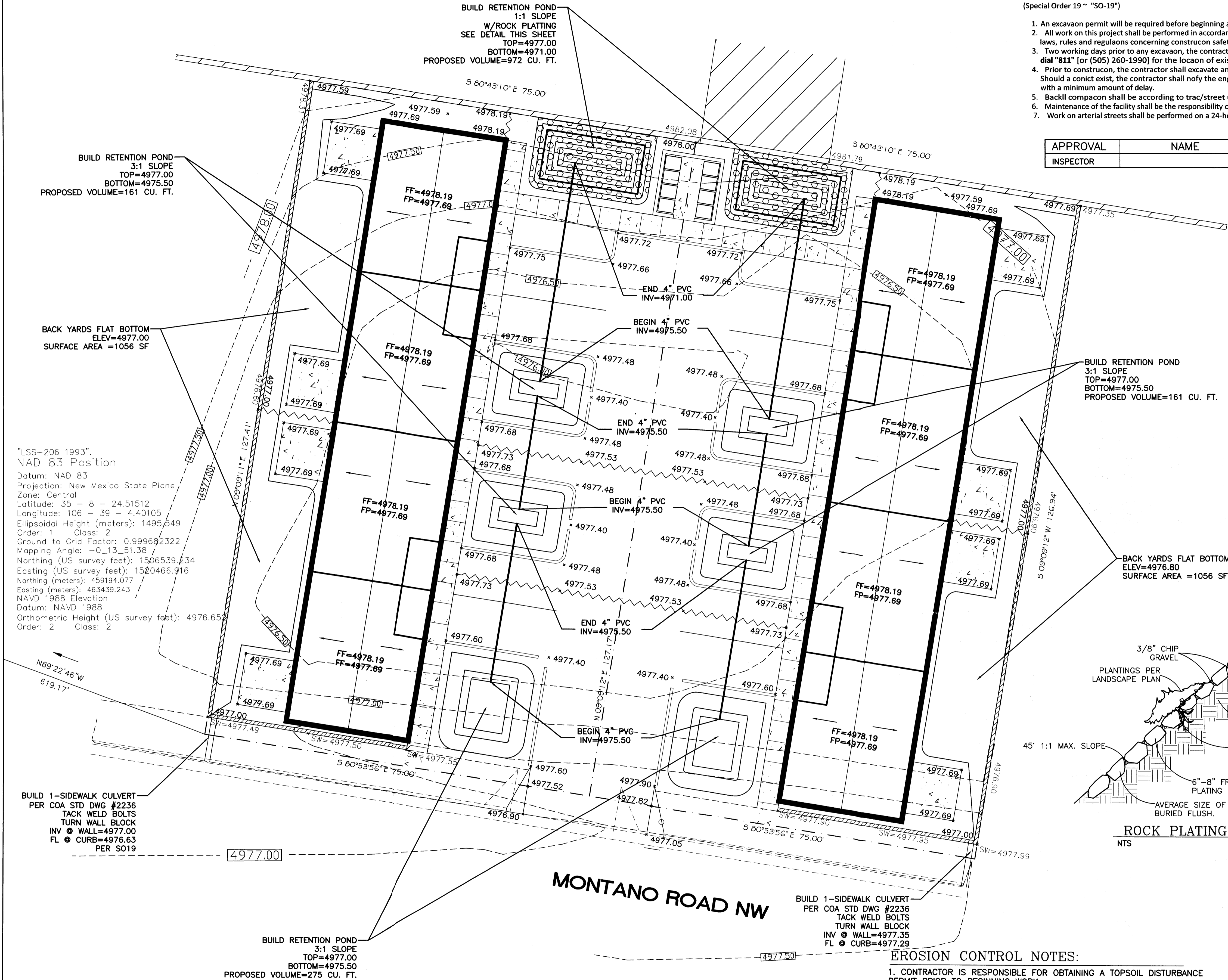
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SCALE: 1"=10'

ENGINEER'S SEAL	Casas de Oro Townhomes 921 & 923 Montano Rd.	DRAWN BY WCWJ
DAVID SOULE REGISTERED PROFESSIONAL ENGINEER (14522)	GRADING AND DRAINAGE PLAN	DATE 4-24-13
DAVID SOULE P.E. #14522	Rio Grande Engineering 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	21319-LAYOUT-4-16-13
		SHEET #
		JOB # 21319



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