

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

August 4, 2021

Levi J. Valdez, PE
George T Rodriguez-Development Consultant
12800 San Juan Rd. SE
Albuquerque, NM 87123

**RE: 704 Griegos – Residential Development
Grading and Drainage Plan
Engineer's Stamp Date: 05/20/21
Hydrology File: F14D069**

Dear Mr. Valdez:

Based upon the information provided in your resubmittal received 06/23/2021, the Grading and Drainage Plan is approved for Grading Permit, Work Order and for action by the DRB for Preliminary Plat.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 704 GRIEGOS RD. N.W. Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: 2018-001398 Work Order#: _____

Legal Description: PORTION OF TRACT 'B', LANDS OF ELLA B. ROSSITER

City Address: 704 GRIEGOS ROAD N.W.

Applicant: ECO-GREEN BUILDING Contact: MICHAEL CUMMINGS

Address: ALBUQUERQUE, N.M.

Phone#: 505-582-9571 Fax#: _____ E-mail: michaelcummings@sehs.com

Other Contact: LEVI J. VALDEZ, P.E. Contact: LEVI VALDEZ

Address: GEORGE T. RODRIGUEZ - DEVEL. CONSULT. 12800 SAN JUAN N.E., ALBUQUERQUE, N.M. 87123

Phone#: 505-610-0593 Fax#: _____ E-mail: pa.wrod@hotmail.com

TYPE OF DEVELOPMENT: ☒ PLAT (# of lots) 5 RESIDENCE ☒ DRB SITE ☐ ADMIN SITE

IS THIS A RESUBMITTAL? ☐ Yes ☒ No

DEPARTMENT ☐ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☒ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

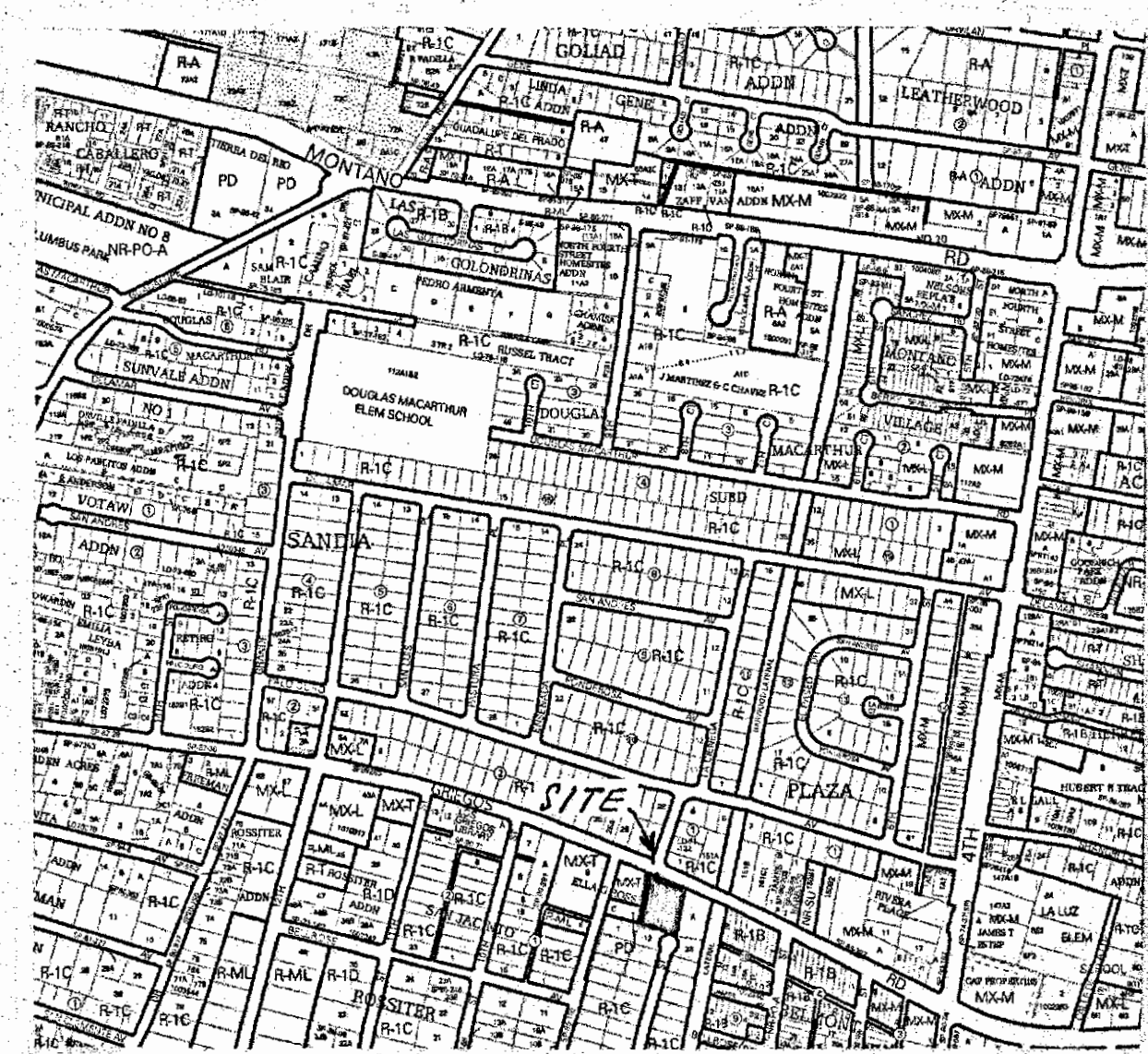
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☒ PRELIMINARY PLAT APPROVAL
- ☒ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☒ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 06-17-2021 By: GEORGE T. RODRIGUEZ

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



VICINITY MAP

IDO Zone Atlas
May 2018

Zone Atlas Page
F-14-Z

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERM, DITCH, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN BROOD FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 266-1900 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS, SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

GENERAL NOTES:

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

LEGEND:

TOP OF CURB ELEVATION = $TC = 73.30$
CURB FLOWLINE ELEVATION = $LC = 72.60$
EXISTING SPOT ELEVATION = $x73.5$
EXISTING CONTOUR ELEVATION = n/a
PROPOSED SPOT ELEVATION = $+74.00$
PROPOSED CONTOUR ELEVATION = 73.0
PROPOSED OR EXISTING CONCRETE SURFACE = $---$
EXISTING FENCE LINE = $---$
(PROPOSED) = $---$

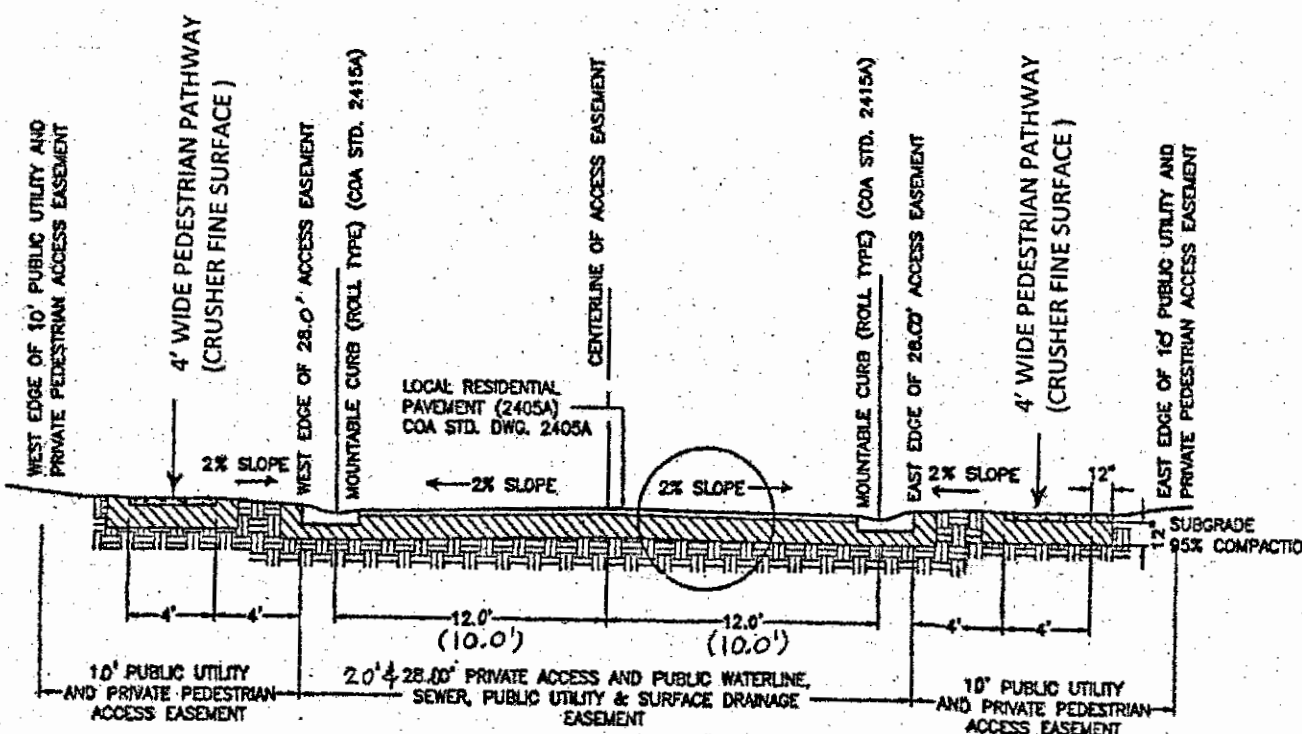
CLEAR SIGHT TRIANGLE NOTE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY, BETWEEN 3 AND 4 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

AREA TABLE:

LOT 'A' = 0.1915 ACRES GROSS / 0.1386 ACRES NET
LOT 'B' = 0.1761 ACRES GROSS / 0.1196 ACRES NET
LOT 'C' = 0.1304 ACRES GROSS / 0.1184 ACRES NET
LOT 'D' = 0.1302 ACRES GROSS / 0.1182 ACRES NET
LOT 'E' = 0.1302 ACRES GROSS / 0.1182 ACRES NET

GEORGE T. RODRIGUEZ
LAND USE, DEVELOPMENT AND
REDEVELOPMENT CONSULTANT
LEVI J. VALDEZ, P.E.
12800 SAN JUAN, N.E.
ALBUQUERQUE, NEW MEXICO, 87123
(505)610-0593



SECTION 'A' & SECTION 'B'

INDIVIDUAL LOTS: (TYPICAL)
RESIDENTIAL STRUCTURE = 2,284.0 SQ. FT.
CONCRETE DRIVEPAD = 320.0 SQ. FT.
CONCRETE SIDEWALK = 30.0 SQ. FT.
TOTAL "D" EACH LOT = 2,634.0 SQ. FT.

NOTES:

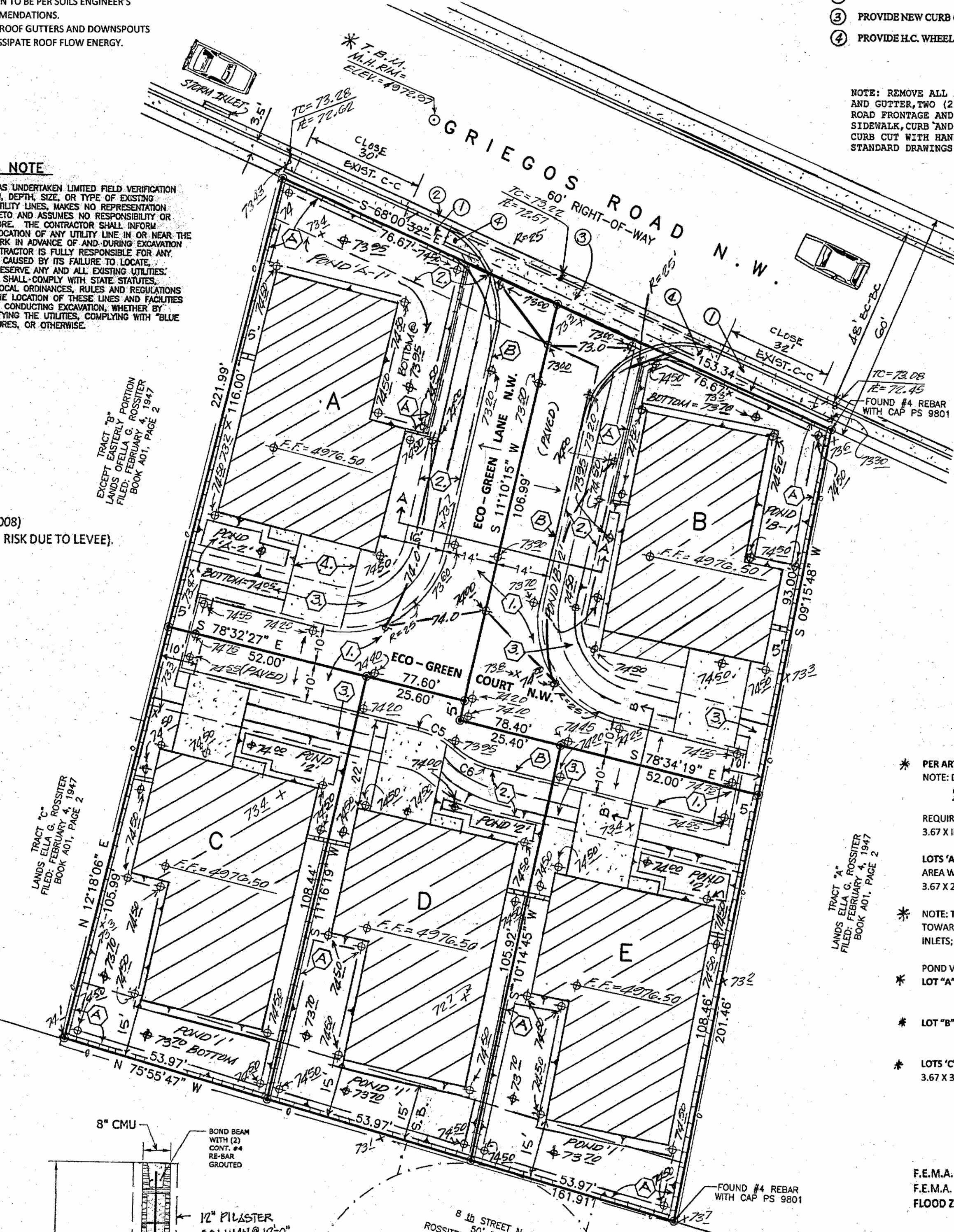
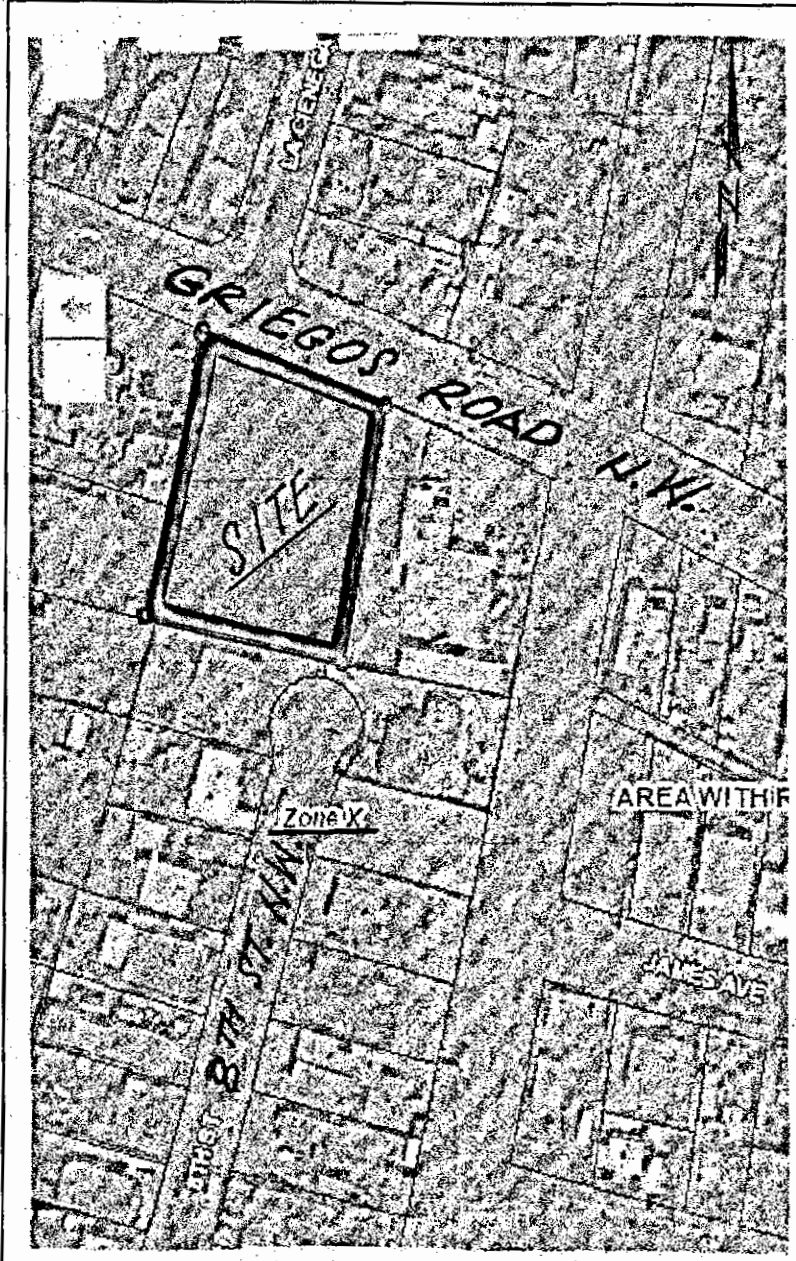
- BUILDING PAD COMPACTED TO BE PER SOILS ENGINEER'S TEST RESULTS AND RECOMMENDATIONS.
- CONTRACTOR TO PROVIDE ROOF GUTTERS AND DOWNSPOUTS WITH SPLASH BOXES TO DISSIPATE ROOF FLOW ENERGY.

NOTE:

THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITIES LINES, MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL KNOW ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

F.E.M.A. FLOOD ZONE INFORMATION:

F.E.M.A. FIRM PANEL NO. 35001C0119G, (EFFECTIVE: 09-26-2008)
FLOOD ZONE DESIGNATION 'X', (AREA WITH REDUCED FLOOD RISK DUE TO LEVEE).



SITE GARDEN WALL
NTS
(8"X8"X16" STANDARD SMOOTH FACE BLOCK WALL)
CENTERED ON COMMON PROPERTY LINES

GRADING/DRAINAGE PLAN

BENCH MARK REFERENCE: ACS STATION "DOUGLAS" HAVING AN ELEVATION OF 4975.078, (NAVD 1988); TOPOGRAPHY SURVEY PERFORMED BY HARRIS SURVEYING, INC., ANTHONY L. HARRIS, N.M.P.S. NO. 11463, ALBUQUERQUE, NEW MEXICO.

- PROVIDE NEW SIDEWALK (STD.DWG.# 2430), (4.0')
- PROVIDE NEW CURB AND GUTTER (STD.DWG.# 2415-A).
- PROVIDE NEW CURB CUT - DRIVEPAD (STD. DWG.# 2442)
- PROVIDE H.C. WHEEL CHAIR RAMPS (STD. DWG. # 2441).

NOTE: REMOVE ALL EXISTING SIDEWALK, CURB AND GUTTER, TWO (2) CURB CUTS ALONG GRIEGOS ROAD FRONTAGE AND PROVIDE NEW 4.0' WIDE SIDEWALK, CURB AND GUTTER, AND NEW 28.0' WIDE CURB CUT WITH HAND-CAP RAMPS, PER C.O.A. STANDARD DRAWINGS LISTED HEREON.

A.1 PRECIPITATION ZONES:

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

TABLE A-1. PRECIPITATION ZONES	
ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40, and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40

The 6-hour excess precipitation, E, by zone and treatment is summarized in TABLE 6.2.13.

TABLE 6.2.13 6-hour Excess Precipitation, E'				
Zone	Land Treatment			
	A	B	C	D
100-YEAR EXCESS PARTICIPATION, E (IN)				
1	0.55	0.73	0.95	2.24
2	0.62	0.80	1.03	2.33
3	0.67	0.86	1.09	2.58
4	0.76	0.95	1.20	3.34

FIGURE 6.2.3 Precipitation Zones

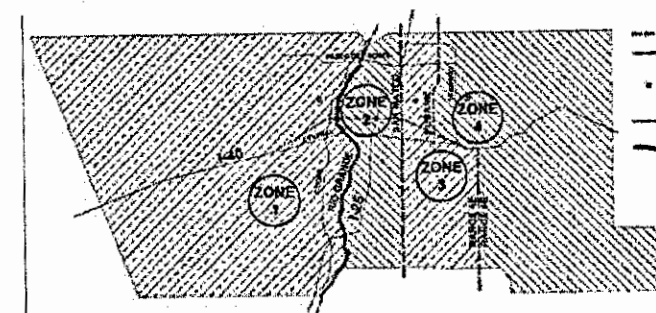


TABLE A-4. LAND TREATMENTS	
Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densest with minimal disturbance to grading, groundwater and infiltration capacity. Cephale, United Aeration.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil uncompacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Curb cut or rock on plastic (down landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatment, determine respective acreages. In lieu of specific measurements for treatment D, the area percentages in TABLE A-5 may be employed.

Section 6-2(4)(5) Peak Discharge Rate for Small Watersheds

The peak discharge rate is given in TABLE 6.2.14 for small watersheds, less than or equal to 40 acres, where the time of concentration is assumed to be 12 minutes.

TABLE 6.2.14 Peak Discharge				
Zone	Land Treatment			
	A	B	C	D
100-YEAR PEAK DISCHARGE (CSF/ACRE)				
1	1.54	2.16	2.87	4.12
2	1.71	2.36	3.05	4.34
3	1.84	2.49	3.17	4.49
4	2.09	2.73	3.41	4.78

DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE SOUTH SIDE OF GRIEGOS ROAD N.W. BETWEEN SIXTH STREET N.W. AND NINTH STREET N.W., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (IDO ZONE ATLAS PAGE "F-14-Z").

THE SUBJECT SITE, 1, IS AN EXISTING INFILL VACANT PROPERTY, 2, PROPOSES TO HAVE A FIVE (5) SINGLE FAMILY RESIDENTIAL DEVELOPMENT CONSTRUCTED THEREON, 3, DOES NOT ACCEPT OR WILL CONTRIBUTE OFFSITE FLOWS OF ADJACENT PROPERTIES, 4, IS TO PROVIDE FOR REQUIRED RETENTION PONDS FOR EACH INDIVIDUAL RESIDENTIAL LOT PER ARTICLE 6-5 "VALLEY DRAINAGE CRITERIA OF THE DPM".

PER THE DEVELOPMENT PROCESS MANUAL FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, HYDROLOGY, CHAPTER 6, ARTICLE 6-2(a), EFFECTIVE DATE: JUNE 8, 2020.

SITE AREA = 0.76 ACRE

PRECIPITATION ZONE: TWO (2)

"LAND TREATMENT METHOD" FOR CALCULATION OF "Qp"

PRECIPITATION: 360 = 2.29 IN.

EXCESS PRECIPITATION:
TREATMENT A = 0.62 IN.
TREATMENT B = 0.80 IN.
TREATMENT C = 1.03 IN.
TREATMENT D = 2.33 IN.

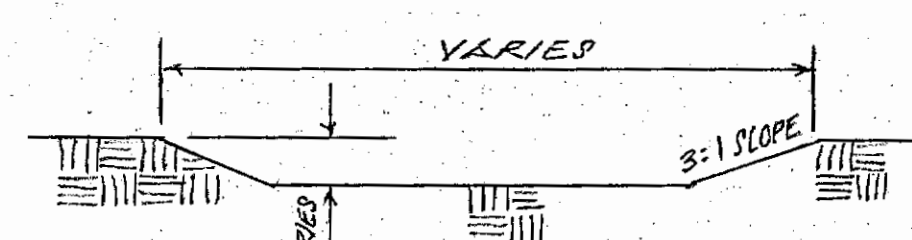
EXISTING CONDITIONS:
AREA:
TREATMENT A = 0.76 AC.
TREATMENT B = 0.00 AC.
TREATMENT C = 0.00 AC.
TREATMENT D = 0.00 AC.

EXISTING EXCESS PRECIPITATION:
WEIGHTED "E" = $(0.62 \times 0.76) + (0.80 \times 0.00) + (1.03 \times 0.00) + (2.33 \times 0.00) / 0.76 = 0.62$ IN.
V100-360 = $(0.62 \times 0.76) / 12 = 0.03927$ AC. FT. = 1,710.5 CU. FT.

EXISTING PEAK DISCHARGE:
Q-100 = $(1.71 \times 0.76) + (2.36 \times 0.00) + (3.05 \times 0.00) + (4.34 \times 0.00) = 1.30$ CFS

PROPOSED EXCESS PRECIPITATION:
WEIGHTED "E" = $(0.62 \times 0.00) + (0.80 \times 0.00) + (1.03 \times 0.32) + (2.33 \times 0.44) / 0.76 = 1.78$ IN.
V100-360 = $(1.78 \times 0.76) / 12 = 0.11273$ AC. FT. = 4,910.7 CU. FT.

PROPOSED PEAK DISCHARGE:
Q-100 = $(1.71 \times 0.00) + (2.36 \times 0.00) + (3.05 \times 0.32) + (4.34 \times 0.44) = 2.89$ CFS
INCREASE: V100-360 = 3,200.2 CU. FT. Q = 1.59 CFS

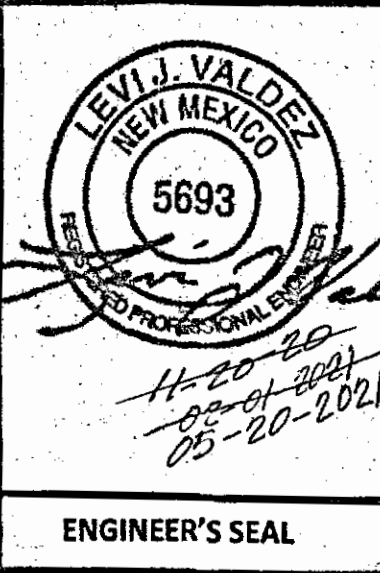


TYPICAL POND SECTION
L.F.S.

- NOTES:
- "PRIVATE WAYS" ACCESS EASEMENTS GRANTED BY REPLATTING.
 - 10.0' WIDE PUBLIC UTILITY EASEMENT GRANTED BY REPLATTING.
 - PEDESTRIAN PATHWAY (4.0' WIDE / 3" DEEP CRUSHER FINE SURFACE).
 - 16" WIDE (4" THICK) CONCRETE DRIVEPAD (TYPICAL)

LEGAL DESCRIPTION:

LOTS 'A', 'B', 'C', 'D', AND 'E', LANDS OF ELLA B. ROSSITER, BEING A REPLAT OF PORTION OF TRACT 'B', LANDS OF ELLA B. ROSSITER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (IDO ZONE ATLAS PAGE "F-14-Z").



A FIVE (5) UNIT
RESIDENTIAL DEVELOPMENT
BY
ECO-GREEN BUILDING
704 GRIEGOS ROAD, N.W.
ALBUQUERQUE, NEW MEXICO
JANUARY, 2021