



**Planning Department
Transportation Development Services**

October 7, 2015

Carmen Onken
Mark D. McCluggage, AIA, CCS
1525 E. Douglas

Re: Taco Bell Renovations
4815 4th St., NW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 9-4-15 (F14-D071)

Dear Ms. Onken,

Based upon the information provided in your submittal received 9-22-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

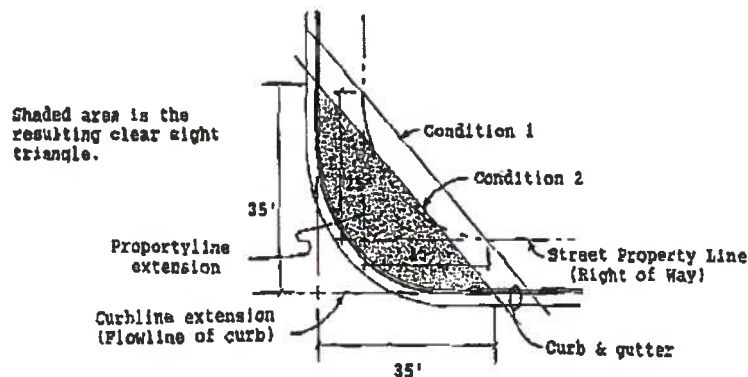
www.cabq.gov

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces. Please include the number of required handicap parking spaces.
3. Please identify all existing buildings, doors, structures, sidewalks, curbs, drive pads, walls and anything that influences the parking and circulation on the site.
4. Identify all existing access easements and rights of way with dimensions.
5. Identify the right of way width, medians, curb cuts, and street widths on 4th St. and Palo Duro Ave.
6. Please list the width and length for all parking spaces. Detail the overall length of all the diagonal parking spaces and overall drive isle widths.
7. Please detail the drive thru queuing length.
8. The handicap accessible spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width.
9. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."**
10. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

CITY OF ALBUQUERQUE



11. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details from both 4th St. and Palo Duro Ave.
12. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway from the handicap parking space.
13. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
14. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*) for both 4th St. and Palo Duro Ave.



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15. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
16. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Taco Bell Renovations

City Drainage #: F14 D071

DRB#:

EPC#:

Work Order#:

Legal Description: Tract 1-A-1 Block 1 Plat of Tracts 1-A-1 and 1-A-2 Block 1 Sandia Place

City Address: 4815 4th Street NW, Albuquerque, NM 87107

Engineering Firm:

Contact:

Address:

Phone#:

Fax#:

E-mail:

Owner: Alvarado Concepts, Inc.

Contact:

Address: 924 W. Colfax Avenue, Suite 201, Denver, CO 80204

Phone#: (303) 745-0555

Fax#:

E-mail:

Architect: Mark D. McCluggage, AIA, CCS

Contact: Carmen Onken

Address: 1525 E. Douglas, Nichita Kansas 67211

Phone#: (316) 265-9367

Fax#: (316) 265-5646

E-mail: conken@glvm.com

Surveyor:

Contact:

Address:

Phone#:

Fax#:

E-mail:

Contractor:

Contact:

Address:

Phone#:

Fax#:

E-mail:

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ Yes ☐ No ☐ Conf. Pending

DATE SUBMITTED: September 22, 2015

By: 

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development