

CITY OF ALBUQUERQUE



September 1, 2016

Kirk Randall
Anderson Wahlen & Associates
2010 No. Redwood Rd.
Salt Lake City, UT 84116

Re: Smith's #423 Fuel Center - 5640 4th St., NW
Request for Certificate of Occupancy- Transportation Development
Engineer's Stamp dated 02-02-16 (F14D072)
Certification dated 08-30-16

Dear Mr. Randall,

Based upon the information provided in your submittal received 08-31-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Monica Ortiz at (505) 924-3981 or me at (505)924-3991.

Sincerely,

Monica Ortiz
Plan Checker, Transportation & Hydrology
Development Review Services

mao via: email
C: CO Clerk, File

TRAFFIC CERTIFICATION

I, David G. Anderson, NMPE 20167, of the firm Anderson Wahlen & Associates, hereby confirm that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 2-4-16. Any record information edited onto the original design document has been obtained by Russ P. Hugg, NMPS 9750, of the firm Surv-Tek, Inc. I further verify that I have reviewed the site improvements and personnel under my direct supervision observed the project site on 8-24-16 and have determined by visual observation that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This documentation is submitted in support of a request for Permanent Occupancy Permit.

(Describe any exceptions and/or qualifications here in a separate paragraph)

-None

(Describe any deficiencies and/or corrections required here in a separate paragraph)

-None

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

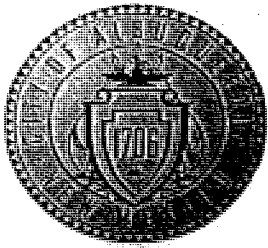


David G. Anderson, NMPE 20167

(seal)

Date





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: SMITH'S #423 FUEL CENTER Building Permit #: _____ Hydrology File #: F14-D072
DRB#: _____ EPC#: _____ Work Order#: 587880
Legal Description: LOTS 2, 3 & 4 HARPER ADDITION
City Address: 5640 4th ST. NW

Applicant: SMITH'S FOOD & DRUG CENTERS, INC. Contact: KIRK RANDALL
Address: 2010 No. REDWOOD ROAD, SLC. UT 84116
Phone#: 801-410-8520 Fax#: 801-521-9551 E-mail: KIRK@AWAENG.COM
Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ AS-BUILT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)

- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ GRADING/ESC PERMIT APPROVAL

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 8-30-16 By: KIRK RANDALL

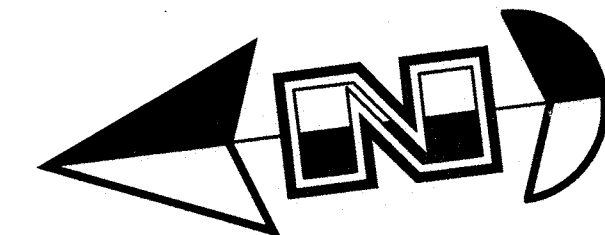
COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE RECEIVED: _____

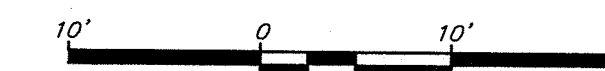
ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT
APPROVED

Signed *Enid* 2/4/16
Date

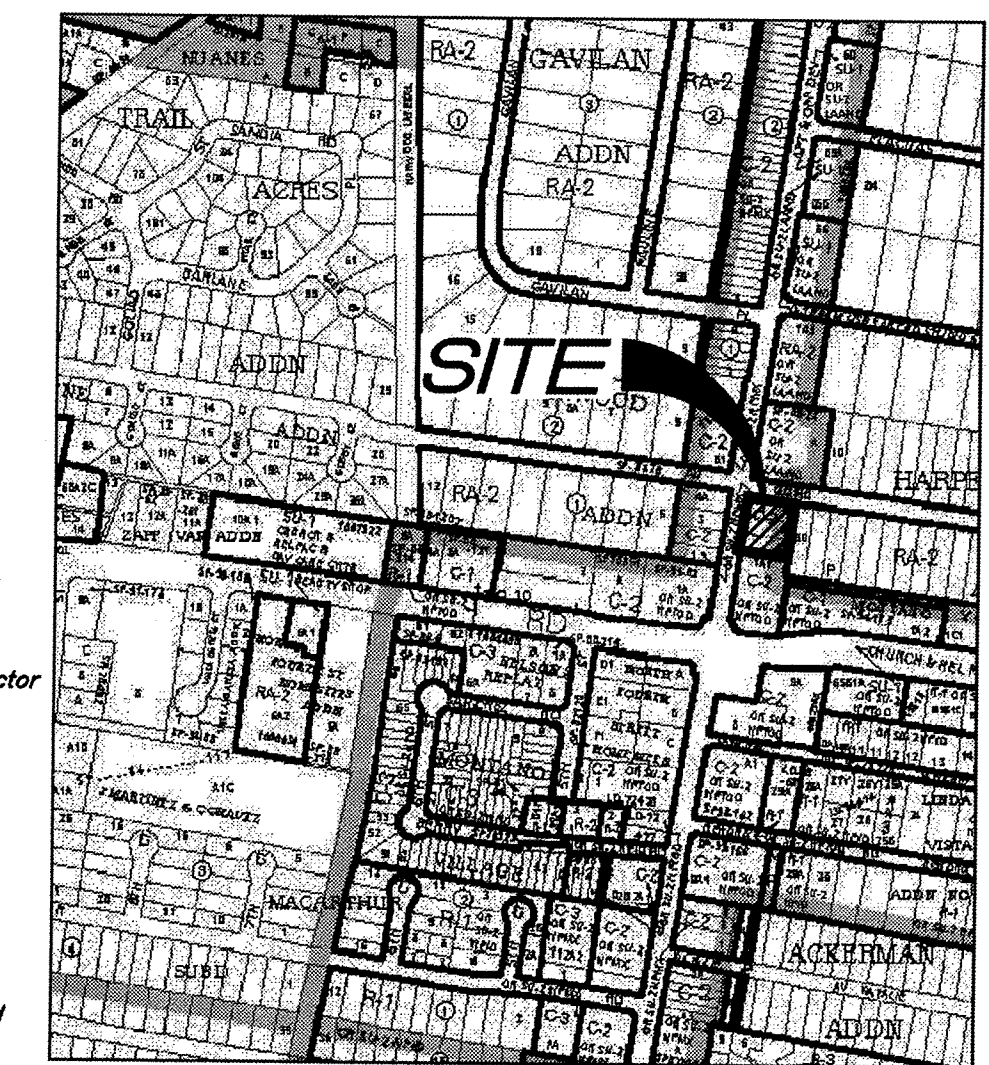


Scale: 1" = 10'



Site Construction Notes

- 1 Const. Bollard (18/24.3)
- 2 Install roof penetration in kiosk and weather proof for speaker/camera wire installation.
- 3 All concrete slabs shall be cleaned and sealed by Owner. Contractor shall coordinate with the Owner provided Contractor (White Mountain, Mike Letts 801-547-9278 or Romac Services 801-758-7315).
- 4 Provide caulking and painting as necessary to touch up exterior panels of the kiosk.
- 5 Provide a water tight seal between the kiosk foundation and canopy slab.
- 6 Const. Tank Vent Risers on Column (See Arch. Plans)
- 7 Paint all bollards and island forms with Contractor supplied Sherwin Williams Industrial Enamel 8542 Series Paint.
- 8 Install a diesel tee, plug, and fittings in the MPD sumps of the islands with diesel.
- 9 Construct 6" Thick Concrete Canopy Drive Slab w/ Rebar Reinforcing (See Arch. Plans)
- 10 Construct 8" Thick Concrete Tank Pad w/ Rebar Reinforcing (See Arch. Plans for Section)
- 11 Contractor Shall Construct Dispenser Islands w/ Bollard Protection and Install Fuel Dispenser (See Arch. Plans)
- 12 Overhead Canopy System Supplied and Installed by others. General Contractor to Install Footings, Conduits, & Conductors per Drawings by Madison Industries
- 13 Retail Merchandisers
- 14 General Contractor to Const. Floor and Foundation then Place Prefabricated Kiosk (See Arch. Plans)
- 15 Const. Remote Tank Vent Riser Modified for Separator (21/4.3)
- 16 Const. 4'x4'x6" Concrete Pad for Air (12/4.2)
- 17 Const. Asphalt Paving (2/4.2)
- 18 Const. 18" Concrete Curb and Gutter (1/4.1)
- 19 General Contractor to Install Mechanical Equipment Screen (Provided by Others)
- 20 Connect & Match Existing Grade
- 21 Dumpster Enclosure (18/22/24.3/24.3)
- 22 Provide Smooth Clean Edge, Sawcut Asphalt if Needed
- 23 Street Improvements & Work Order Limits; See Work Order #58780 Plans
- 24 Exist. Curb Wall to Remain
- 25 Pedestrian Warning Zone Striping (See Arch. Plans)
- 26 Const. 4" Paint Stripe (Color: White)
- 27 Const. 6" CMU Screen Wall (22/4.4)
- 28 Landscape (See Landscape Plan)
- 29 Const. 4" Waterway (2/4.1)
- 31 Pylon Sign by Separate Permit
- 32 Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Editions)
- 33 Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (17/4.3)
- 34 Const. Accessible Sign (16/24.3)
- 35 Const. Conc. Sidewalk (3/4.1)
- 36 Const. Truncated Domes per ICC/ANSI A117.1-2003 (Latest Addition)
- 37 Const. 7" Thick Conc. Paving (6/4.2)
- 38 Const. Conc. Wheel Stop (9/4.2)
- 39 Street Improvement Plan (Offsite) Boundary
- 40 Const. 6" Screen Wall (1/4.1)
- 41 Const. curb Transition (15/4.3)
- 42 Const. Turn Arrow & Asphalt markings per MUTCD
- 43 Const. Stop Sign (R1-1) per MUTCD
- 44 Const. 4" CMU Screen Wall (22/4.4)
- 45 Const. Emergency Fuel Stop (10/4.3)
- 46 Const. 4'x6" Concrete Pad (10/4.3)
- 47 Const. "NO PARKING" painting in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at rear of the parking space so as to be close to where an adjacent vehicles rear tire would be placed (Color: White), per 66-1-4.1B NMSA 1978
- 48 Sight Distance Triangle
Landscaping and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area. (See Landscape Plan)
- 49 Driveway Visibility
Landscaping and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area. (See Landscape Plan)
- 50 Const. 3" Waterway (8/4.4)



Vicinity Map
Zone Atlas Page F-14
5640 4th Street N.W.
Albuquerque, New Mexico 87107
Not to Scale

Legend

- Proposed Building
Proposed Curb & Gutter
Proposed Asphalt
Proposed Concrete
Existing Improvements
Existing Asphalt
Existing Concrete
Existing Building
Existing Power Pole
Existing Power Pole w/ Guy

Legal Description

Lots numbered Two (2), Three (3), and Four (4) of the HARPER ADDITION, a Subdivision of a tract of land in School District No. 4, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the plot of said Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico on December 28, 1945 in Volume D, folio 79.

1 10' Easement granted for Street And Right-Of-Way Purposes And For Construction And Maintenance Of Sanitary Sewers And Water And Other Utility Lines And Installations filed December 8, 1953 in Book D 262, Page 539.

Site Data

Total Site Area = 22,111 s.f. (0.51 ac.)
Landscape Area Provided = 3,350 s.f. (15%)
Impervious Area Provided = 18,521 s.f. (84%)
Building Area = 241 s.f. (1%)
Canopy Area = 3,955 s.f.
Parking Required = 1 stalls
Parking Provided = 1 stall + 1 Accessible Stall
+ 1 Motorcycle Stall = 3 Total

General Site Notes:

1. Stalls designated as Accessible will require a painted Accessible symbol and sign. (See Details)
2. Fire lane markings and signs to be installed as directed by the Fire Marshall.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. All dimensions are to back of curb unless otherwise noted.
5. Const. curb transition at all points where curb abuts sidewalk, see detail.

New Mexico One Call, Inc.

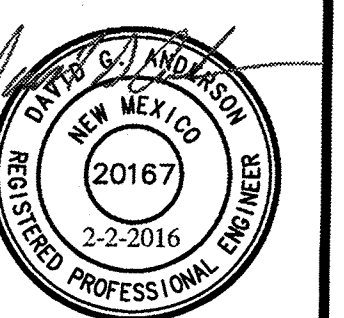


Smith's
FOOD & DRUG STORES
1550 South Redwood Road
Salt Lake City, Utah 84104
Telephone (801) 974-1400

#423
Albuquerque, NM

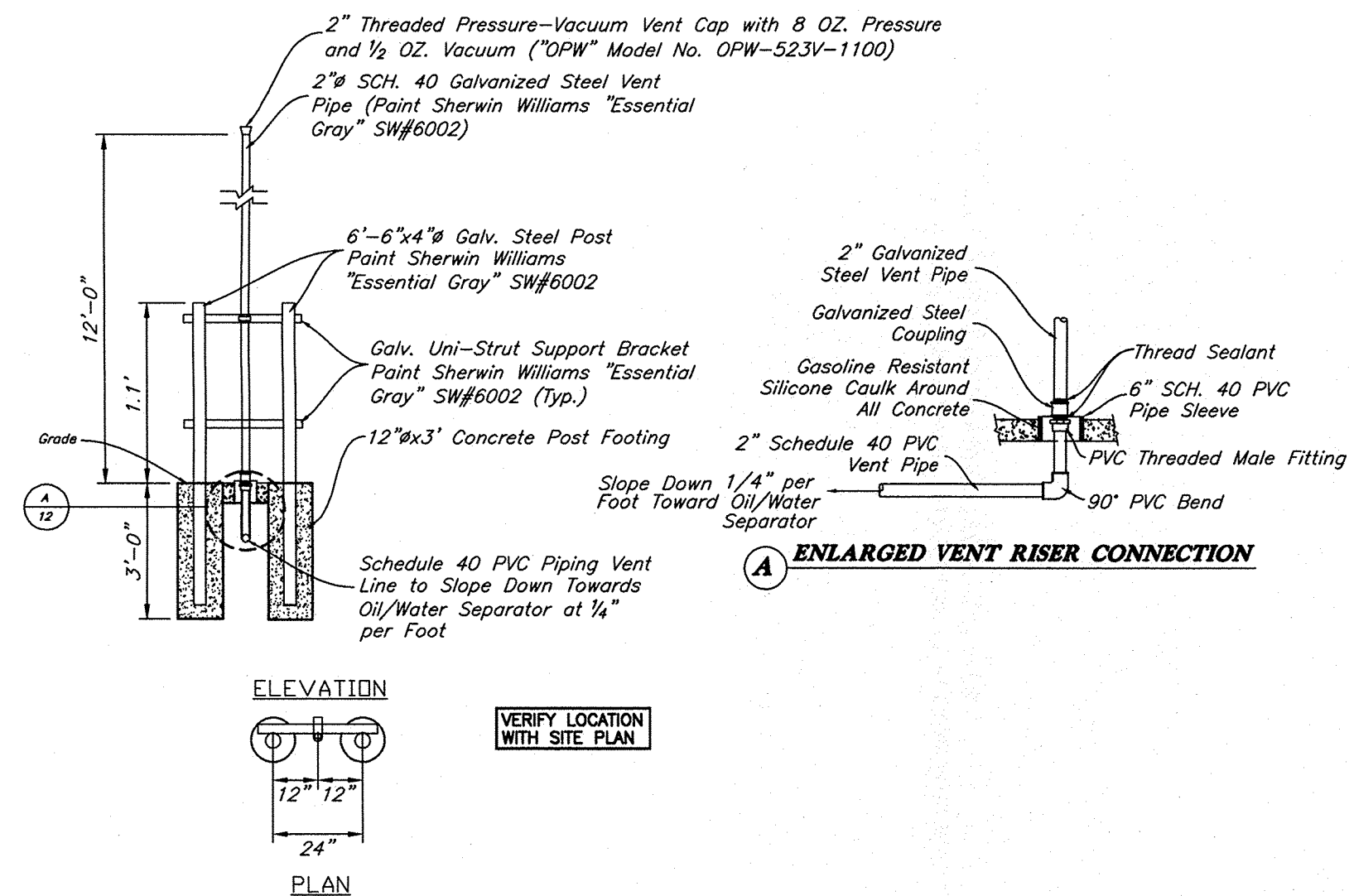
Anderson Wahlen & Associates
2010 North Redwood Road, Salt Lake City, Utah 84116
801 521-8529 - AWengineering.net

Traffic Circulation / Site Plan
Smith's #423 Fuel Center
5640 4th Street N.W.
Albuquerque, New Mexico 87107



Feb 02, 2016

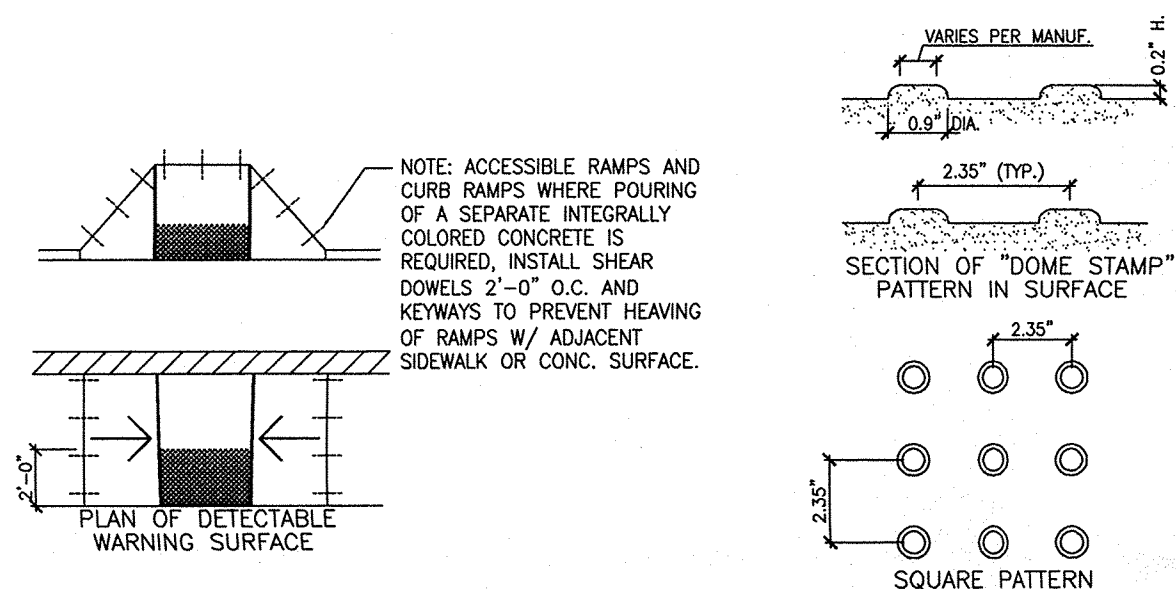
SHEET NO.
C1.1



2" Vent Riser for Oil/Water Separator & Tank Vent Riser

21

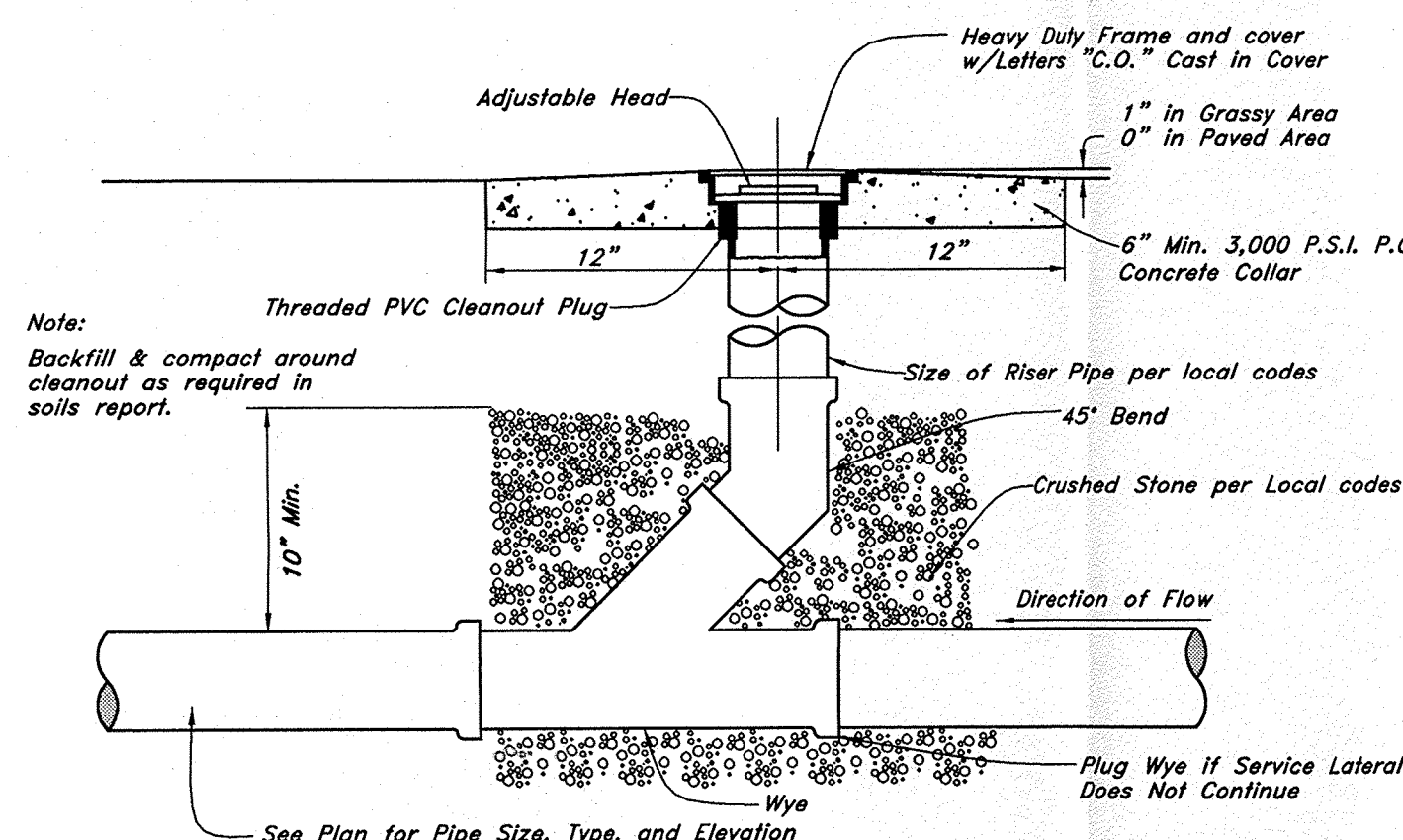
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Truncated Dome Detail

20

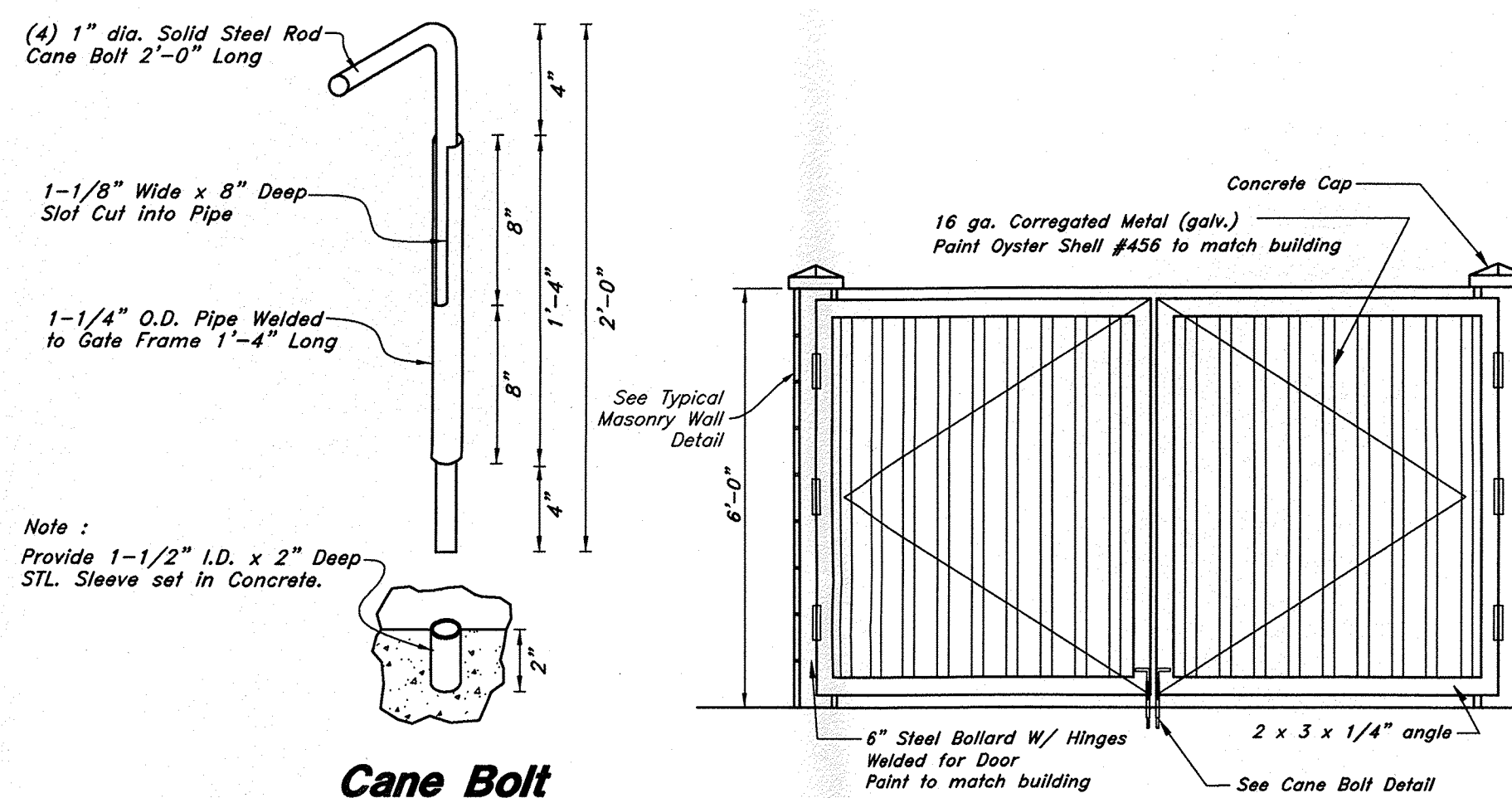
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Cleanout Detail

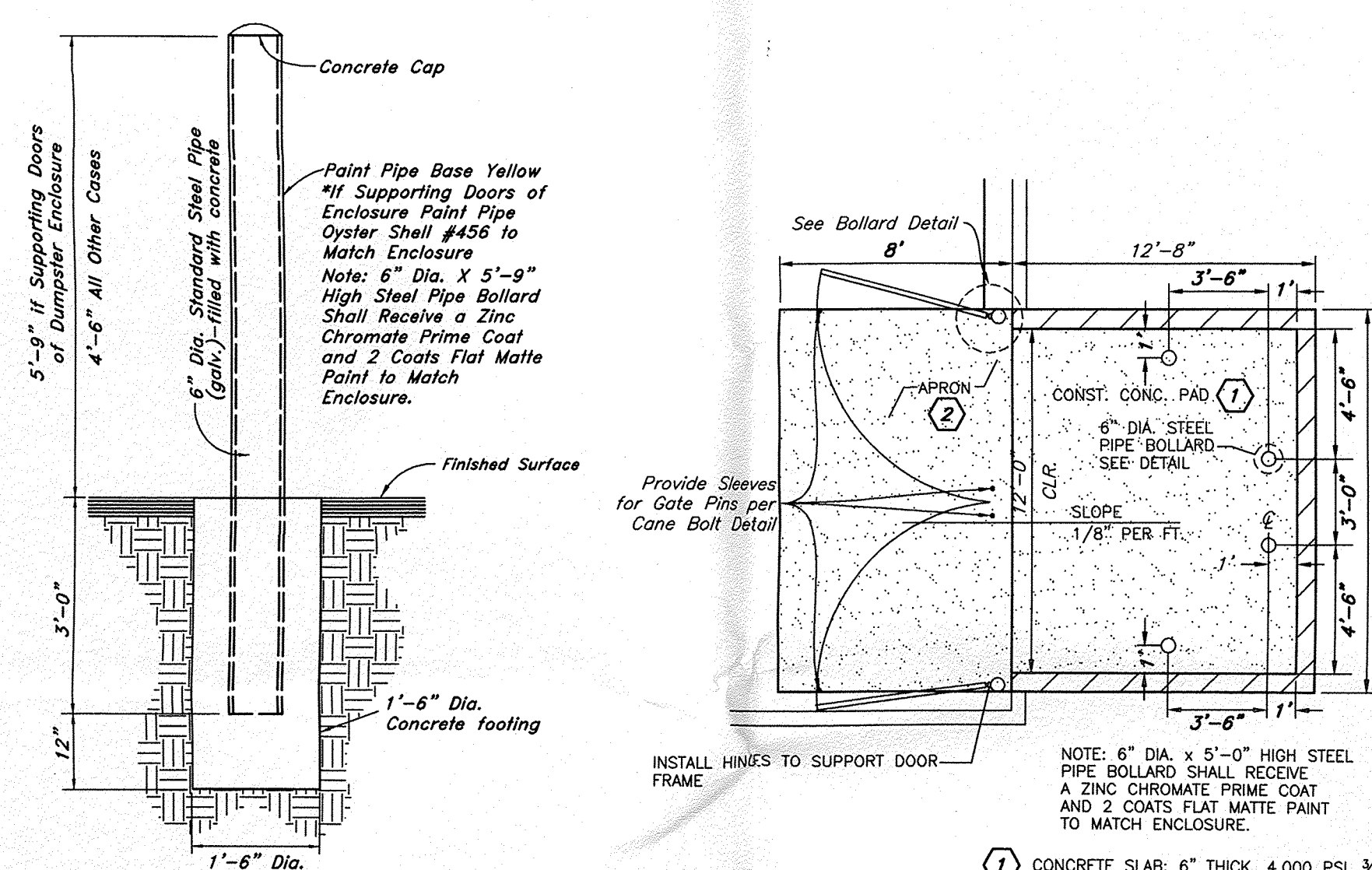
19

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Cane Bolt

Dumpster Elevation

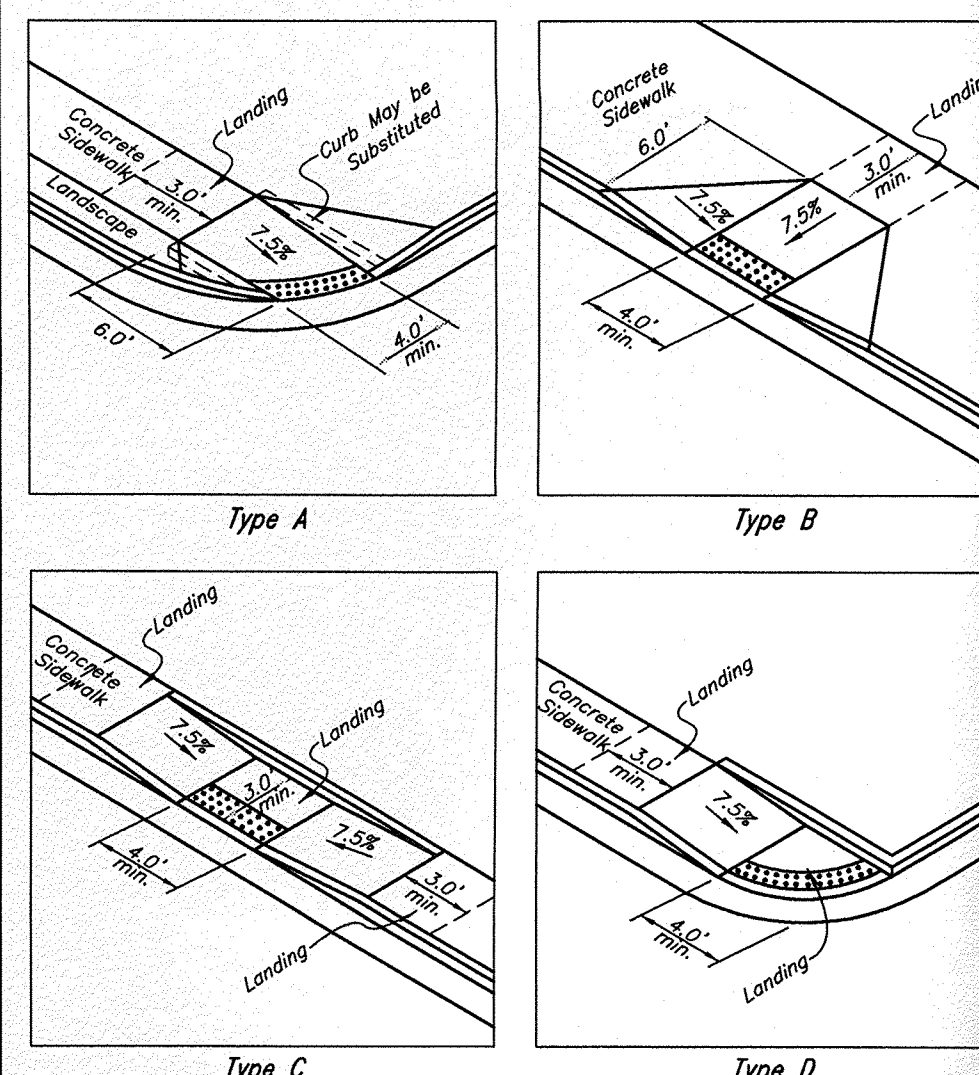


Bollard Detail

18

Trash Enclosure

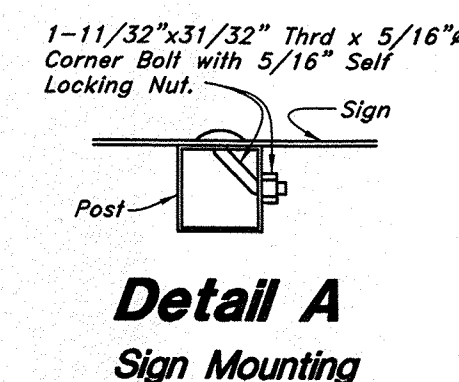
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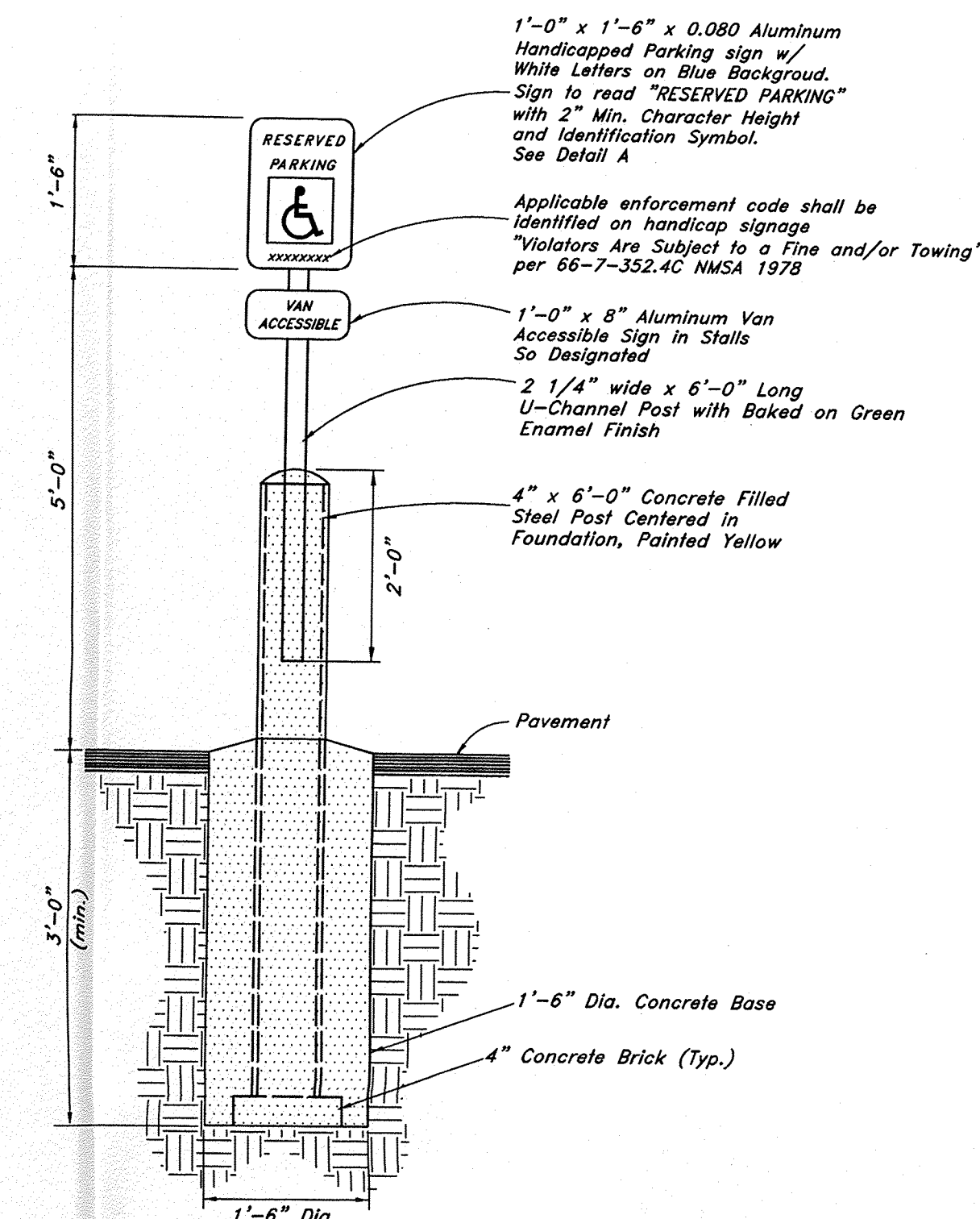
Typical Curb Ramp Detail

17

Not to Scale



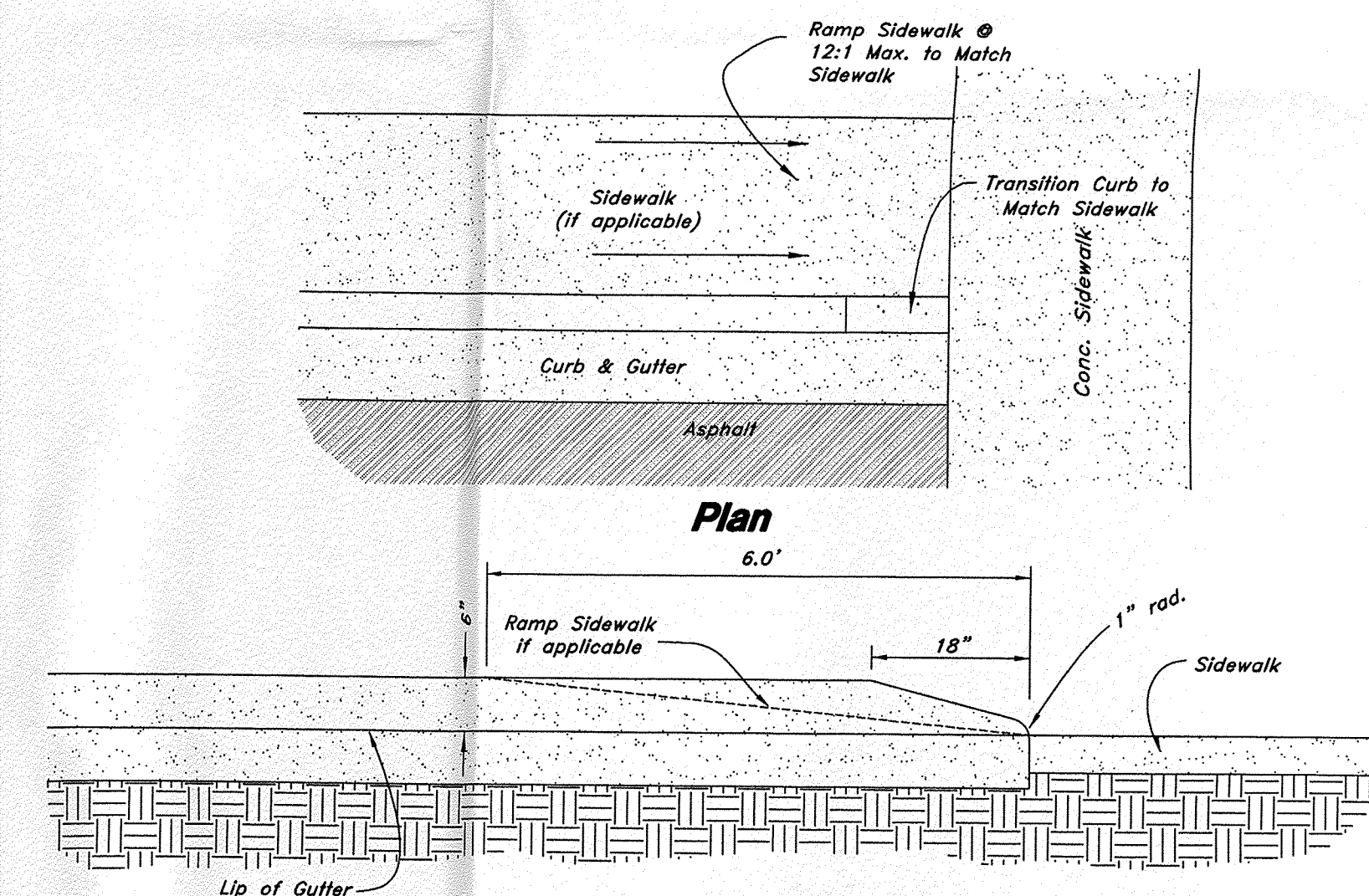
**Detail A
Sign Mounting**



ADA Parking Sign w/Bollard

16

Not to Scale



Curb Transition

15

Not to Scale

New Mexico One Call, Inc.
NMOC
Professional Resources for Damage Prevention
1-800-321-ALERT

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26 Jan, 2016

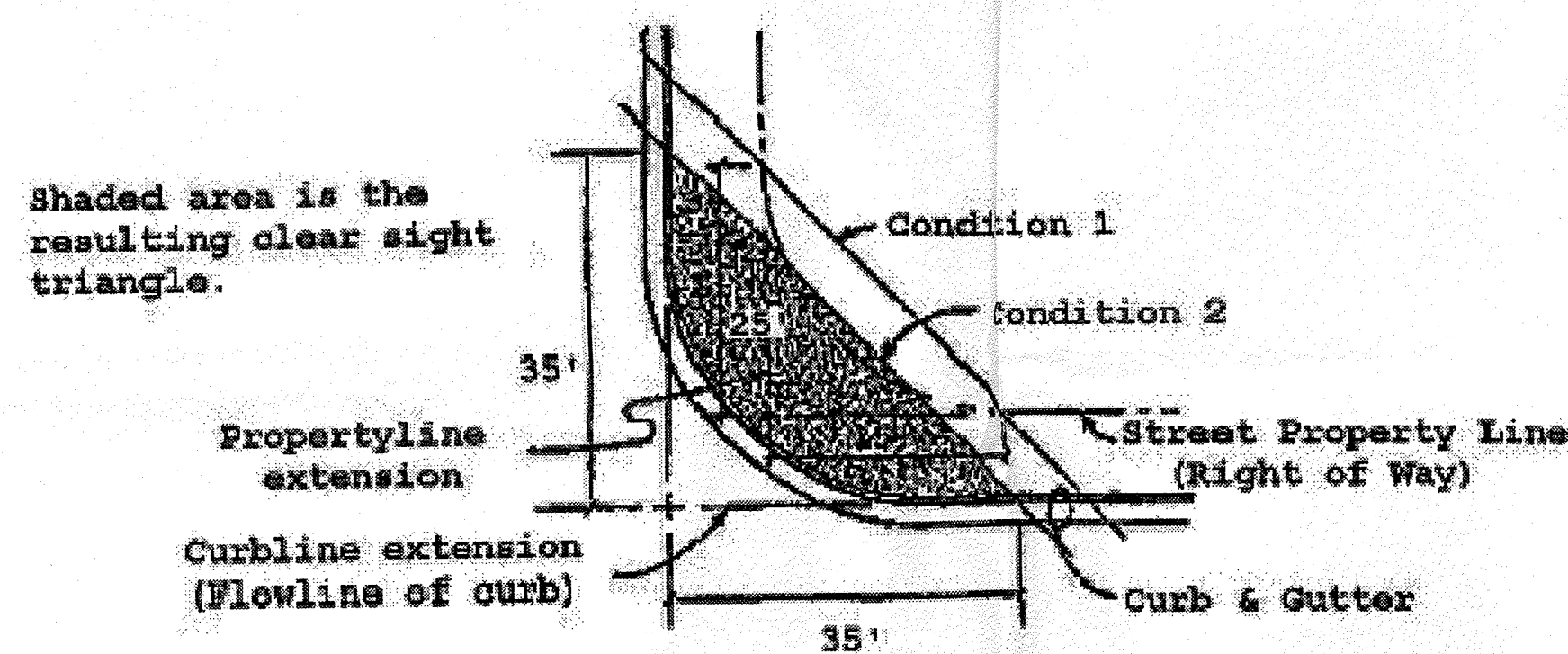
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C4.3

Note:
Intersection Sight Distance

a. Intersection designs must provide for clear sight distances in the horizontal plane. Minimum intersection visibility should comply with the following specific language from Section 2-15 of the Traffic Code:

"No such obstruction to view between three and eight feet above the gutter line shall be placed or maintained within a triangular area at the street corner, which area is bounded by: (1) the street property lines of the corner lot and a line connecting points twenty-five feet distant from the intersection of the property lines of such lot, or (2) the curb lines of an intersection and a line connecting points thirty-five feet distant from the corner of the intersection and such corner is determined by projecting the curb lines out to a specific point, whichever is the lesser."



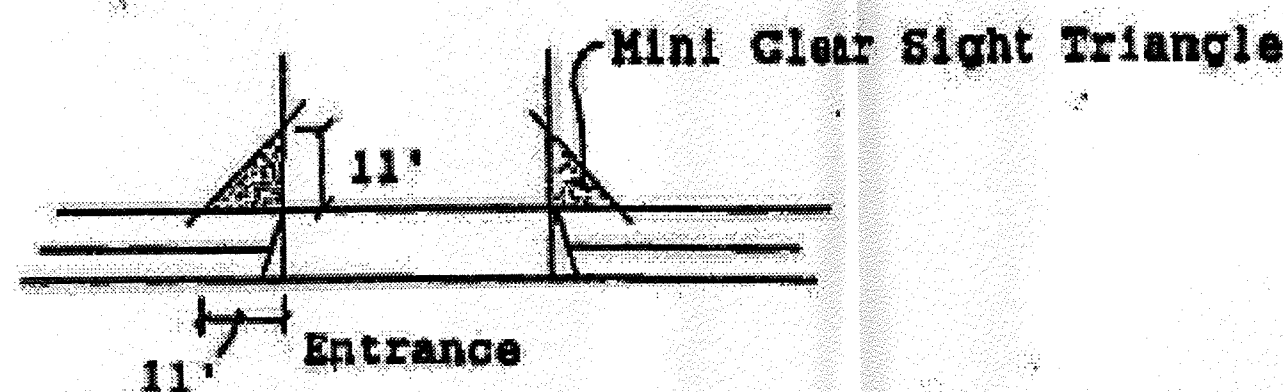
b. Intersections of local streets with major streets classified as collector or above shall not be located at or near horizontal curves without special evaluation of intersection sight distance. The location of an intersection on the "inside" of a horizontal curve is a situation that will typically result in intersection visibility problems. The location of any property lines, fences or other obstructions will need to be evaluated to ensure that the minimum sight distance is maintained. See figure IX-40 p 762, A Policy on Geometric Design of Highways and Streets, AASHTO, or latest update.

24 Sight Distance Triangle

Not to Scale

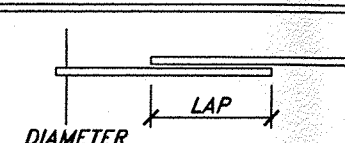
Note:
Visibility for Driveways

Driveways need to have sufficient visibility for the motorist utilizing the entrance or exit to perform his maneuver safely. Visibility needs to be maintained in accordance with the AASHTO guidelines for intersection visibility (see figure IX-40 p762) For all driveways on collector or arterial streets, the applicant must check the driveway visibility to determine whether these guidelines are met. Landscaping, fencing and/or berming will need to meet the requirements for driveway visibility. In addition, a mini-clear sight triangle needs to be maintained starting at the sidewalk and measuring 11 feet on a side as shown below



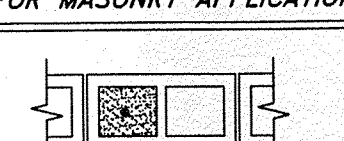
23 Driveway Visibility

Not to Scale

2012 IBC REBAR LAP SPICE SCHEDULE FOR CONCRETE APPLICATIONS (ACI 318 - 05)					
					
BAR SIZE NO.	DIA.	F _c = 3000 PSI		TOP BAR SPICES	
		CLASS 'A'	CLASS 'B'	CLASS 'A'	CLASS 'B'
4	0.500	22"	29"	29"	38"
5	0.625	28"	36"	36"	47"
6	0.750	33"	43"	43"	56"

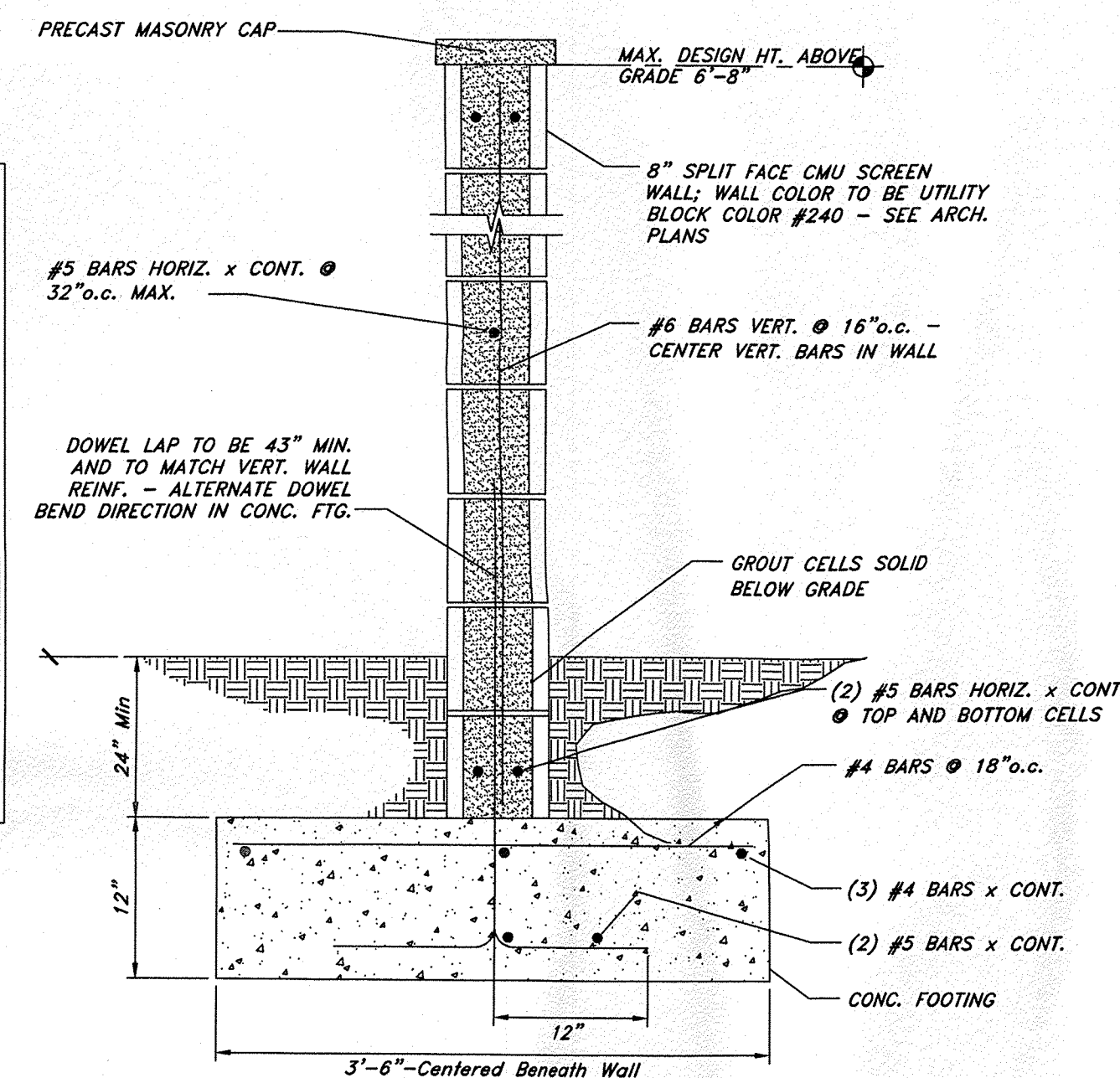
NOTES:
1. ALL LAP SPICE LENGTHS ARE CLASS 'A' UNLESS NOTED OTHERWISE.
2. MECHANICAL COUPLERS MAY BE USED IN LIEU OF LAP SPICES SHOWN. SEE STRUCTURAL NOTES FOR MINIMUM COUPLER CAPACITY. WHERE MECHANICAL COUPLERS ARE USED, STAGGER ADJACENT SPICES A MINIMUM OF 24".
3. CONCRETE LAP LENGTHS SHALL BE INCREASED BY 50% WHERE EPOXY COATING IS USED.
4. TOP BAR IS ANY HORIZONTAL BAR WITH MORE THAN 12" OF FRESH CONCRETE CAST BELOW IT.

SCHEDULE

2012 IBC REBAR LAP SPICE SCHEDULE FOR MASONRY APPLICATIONS (ACI 530 - 05) (USING F _m = 1500 PSI)					
					
(1) BAR AT C OF WALL (VERT. OR HORIZ.)			BARS AT EACH FACE OF WALL (VERTICAL OR HORIZONTAL)		
BAR SIZE			BAR SIZE		
NO. DIA.			NO. DIA.		
4	0.500	20"	4	0.500	29"
5	0.625	25"	5	0.625	45"
6	0.750	43"	6	0.750	54"

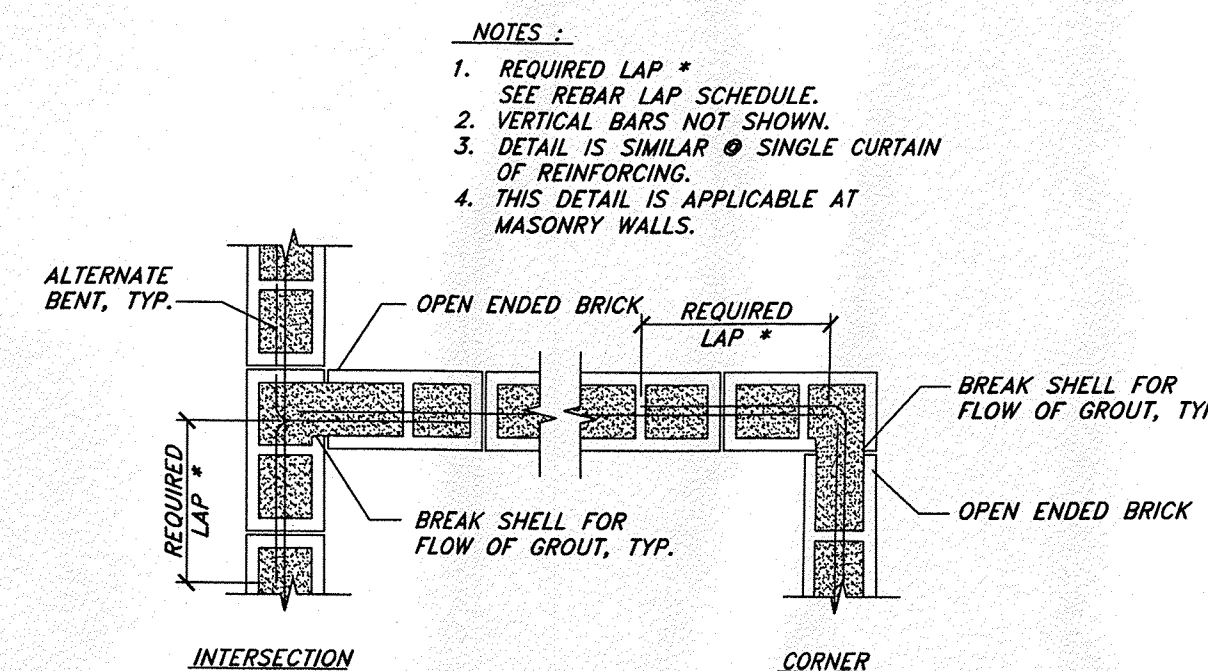
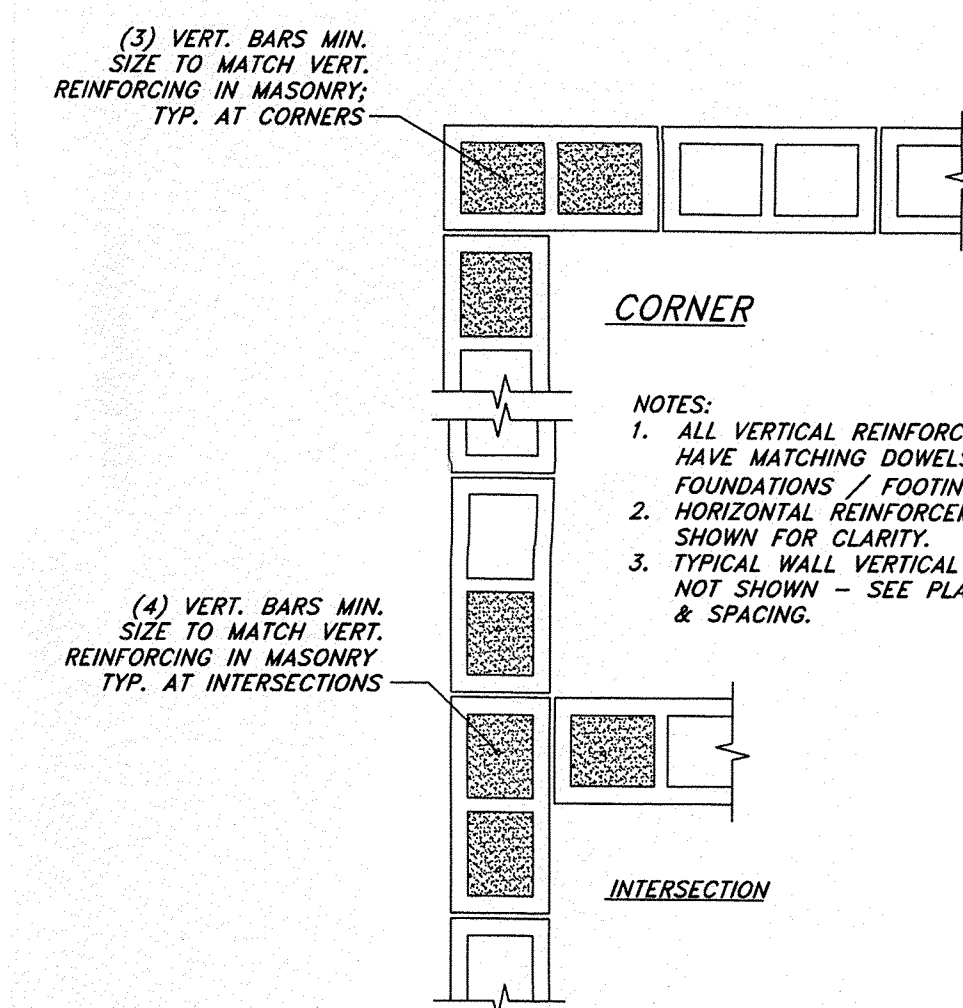
NOTES:
1. MECHANICAL COUPLERS ARE REQUIRED FOR BARS IN MASONRY AS NOTED IN THE SCHEDULE.
2. MECHANICAL COUPLERS MAY BE USED IN LIEU OF LAP SPICES SHOWN IN SCHEDULE.
3. SEE STRUCTURAL NOTES FOR MINIMUM COUPLER CAPACITIES.

SCHEDULE



CMU RETAINING WALL NOTES:

- F_m = 1500 psi - USE TYPE 'S' MORTAR
- F_y = 60 ksi
- F_c = 3000 psi
- ALLOWABLE SOIL BEARING PRESSURE = 1500 psf (MIN.) - SEE SOILS REPORT
- MAX FROST DEPTH = 30" TO BOTTOM OF FOOTING - SEE SOILS REPORT FOR MORE INFO.
- MINIMUM COVER OVER TOP OF FOOTING = 24"
- MAXIMUM DESIGN CRITERIA FOR WIND SPEED = 110 mph EXPOSURE C
- MAXIMUM SDS FOR WALL DESIGN = 1.20
- ALL FOOTINGS SHALL BE PLACED ON SOIL WHICH HAS BEEN PREPARED PER THE SOILS REPORT.
- ALL DOWELS AND REINFORCEMENT SHALL BE HELD IN PLACE PRIOR TO AND DURING CONCRETE AND / OR GROUT PLACEMENT.
- SEE TYPICAL DETAIL FOR STEPS IN THE SCREEN WALL.
- ALL WORK SHALL BE IN ACCORDANCE WITH SECTION 109 AND CHAPTER 17 OF THE IBC.
- ALL VERTICAL BARS TO BE CENTERED IN CELLS.
- NOTE: HAVING A SITE SPECIFIC SOILS REPORT AND REDUCING THE WIND SPEEDS TO MEET LOCAL CODE REQUIREMENTS MAY RESULT IN REDUCED FOOTING SIZES.

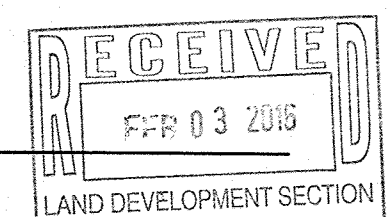


TYPICAL REINFORCEMENT @ INTERSECTION OF CMU

TYPICAL VERTICAL REINFORCING

Screen & Dumpster Wall

Not to Scale



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NMOC
Professional Resources for Damage Prevention
1-800-321-ALERT

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SHEET NO.

C4.4