

CITY OF ALBUQUERQUE



February 4, 2016

Kirk Randall
Anderson Wahlen & Associates
2010 No. Redwood Rd.
Salt Lake City, UT 84116

Re: Smith's #423 Fuel Center(Resubmittal)
5640 4th St., NW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 2-2-16 (F14-D072)

Dear Mr. Randall,

The TCL submittal received 2-3-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: SMITH'S #423 FUEL CENTER Building Permit #: _____ Hydrology File #: F14-D072
DRB#: _____ EPC#: _____ Work Order#: 587880
Legal Description: LOTS 2, 3 & 4 HARPER ADDITION
City Address: 5640 4th St. NW

Applicant: SMITH'S FOOD & DRUG CENTERS, INC. Contact: KIRK RANDALL
Address: 2010 No. REDWOOD ROAD, SLC. UT 84116
Phone#: 801-410-8520 Fax#: 801-521-9551 E-mail: KIRK@ANAENG.COM

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING/ESC PERMIT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING?
☐ OTHER (SPECIFY) _____

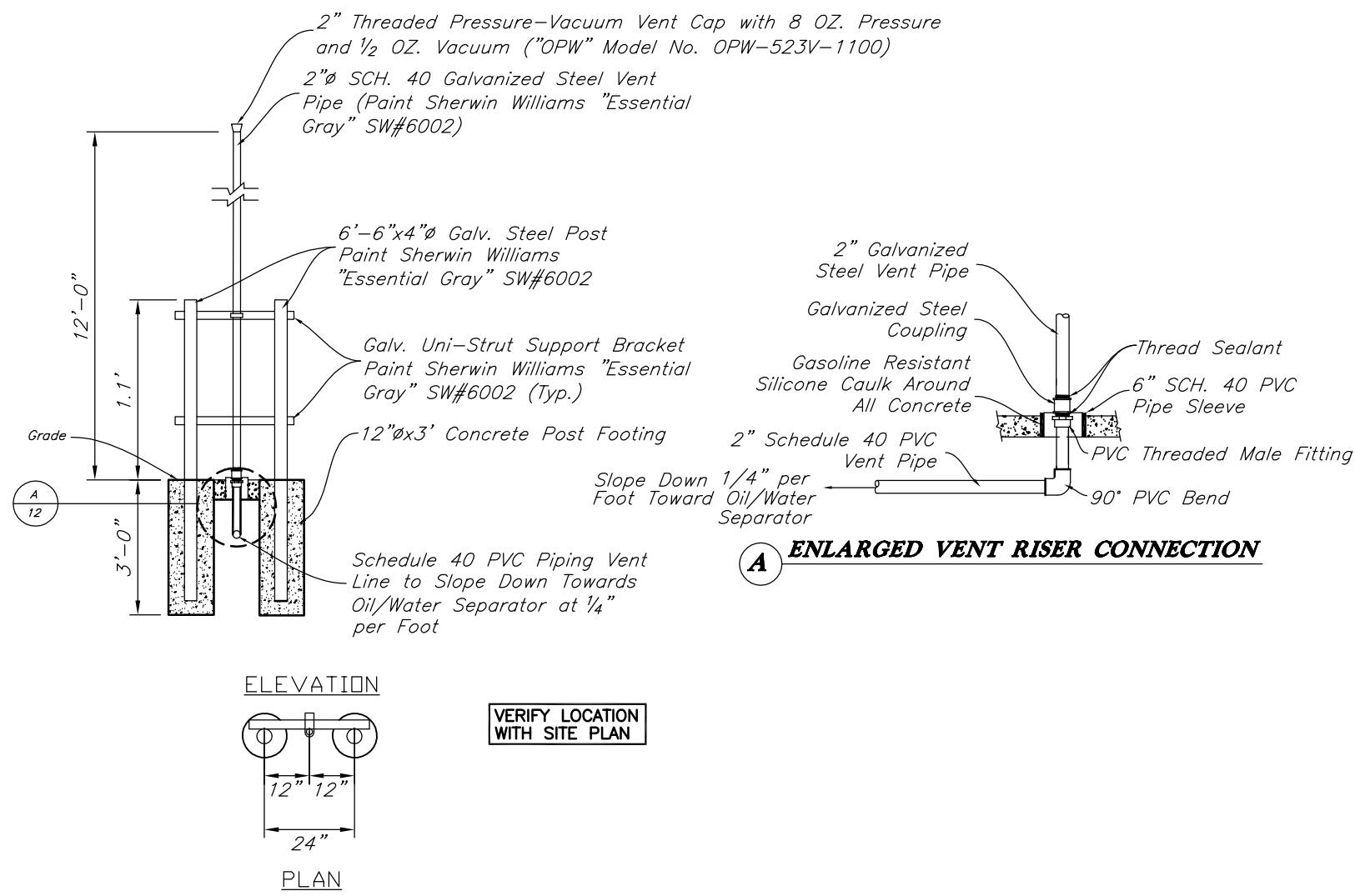


IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 2-3-16 By: Kirk Randall

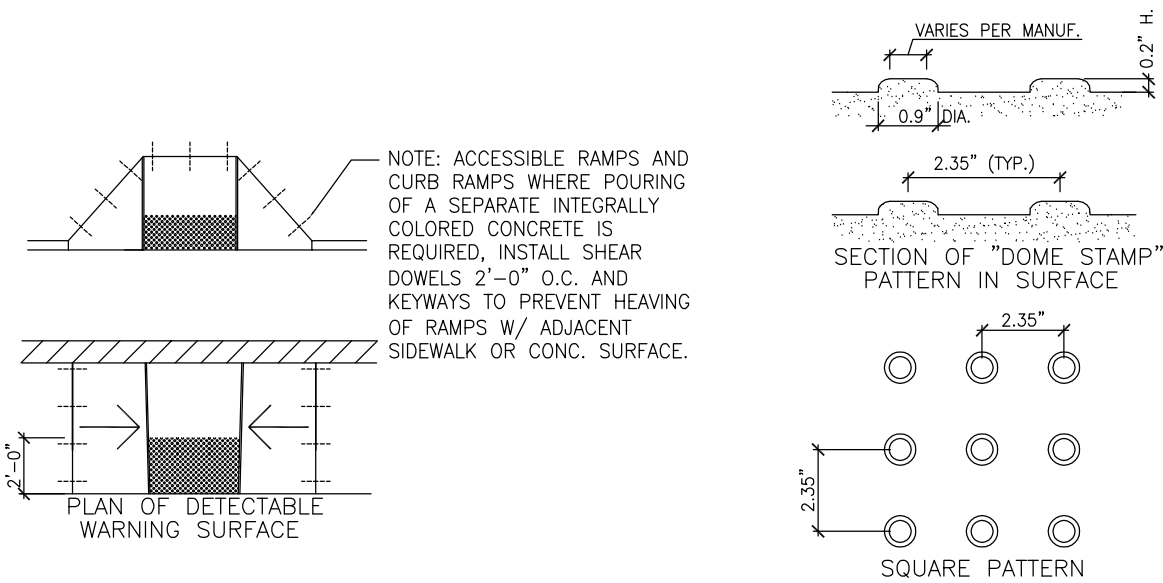
COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

FEE RECEIVED: _____



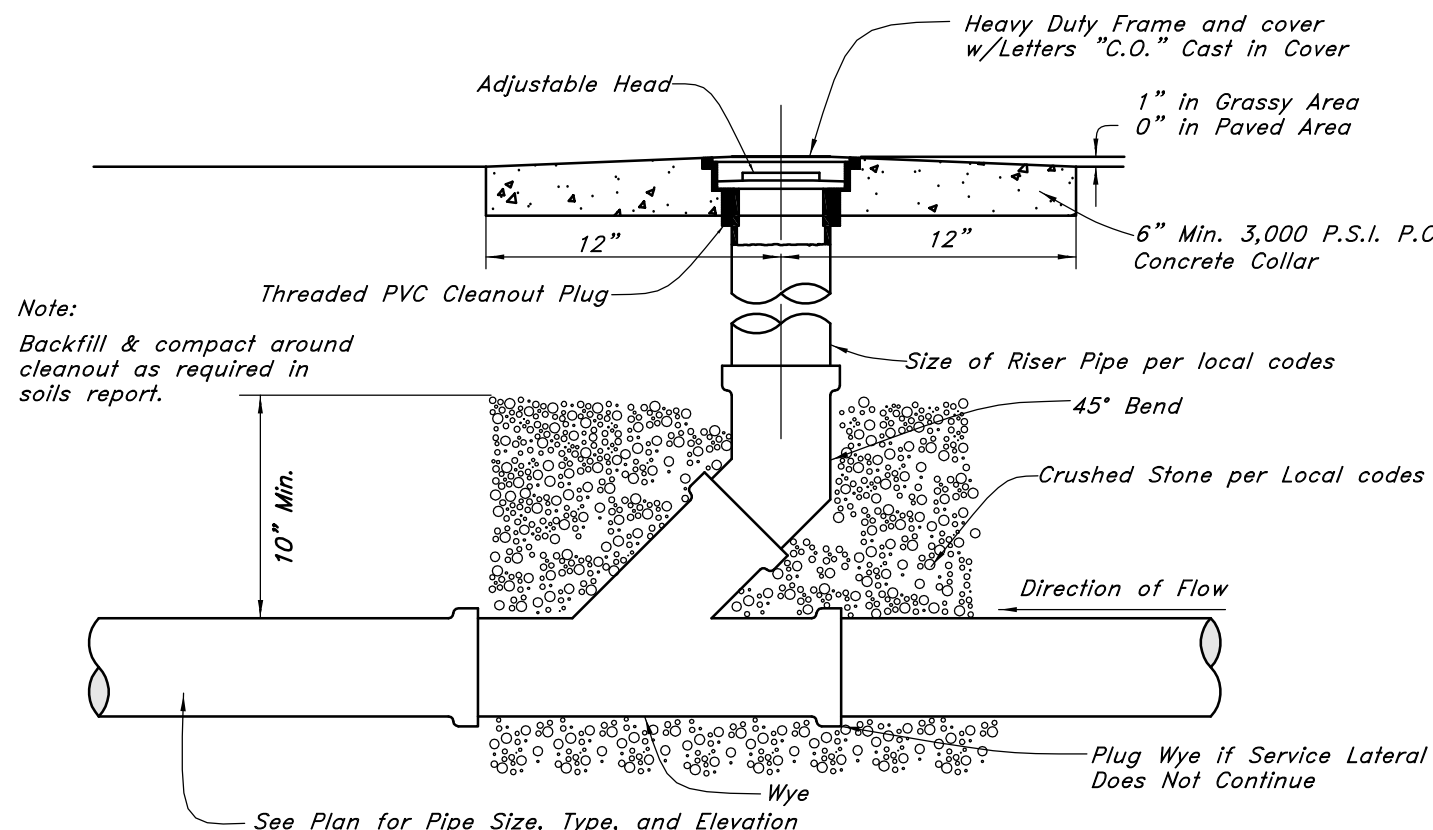
2" Vent Riser for Oil/Water Separator & Tank Vent Riser

21



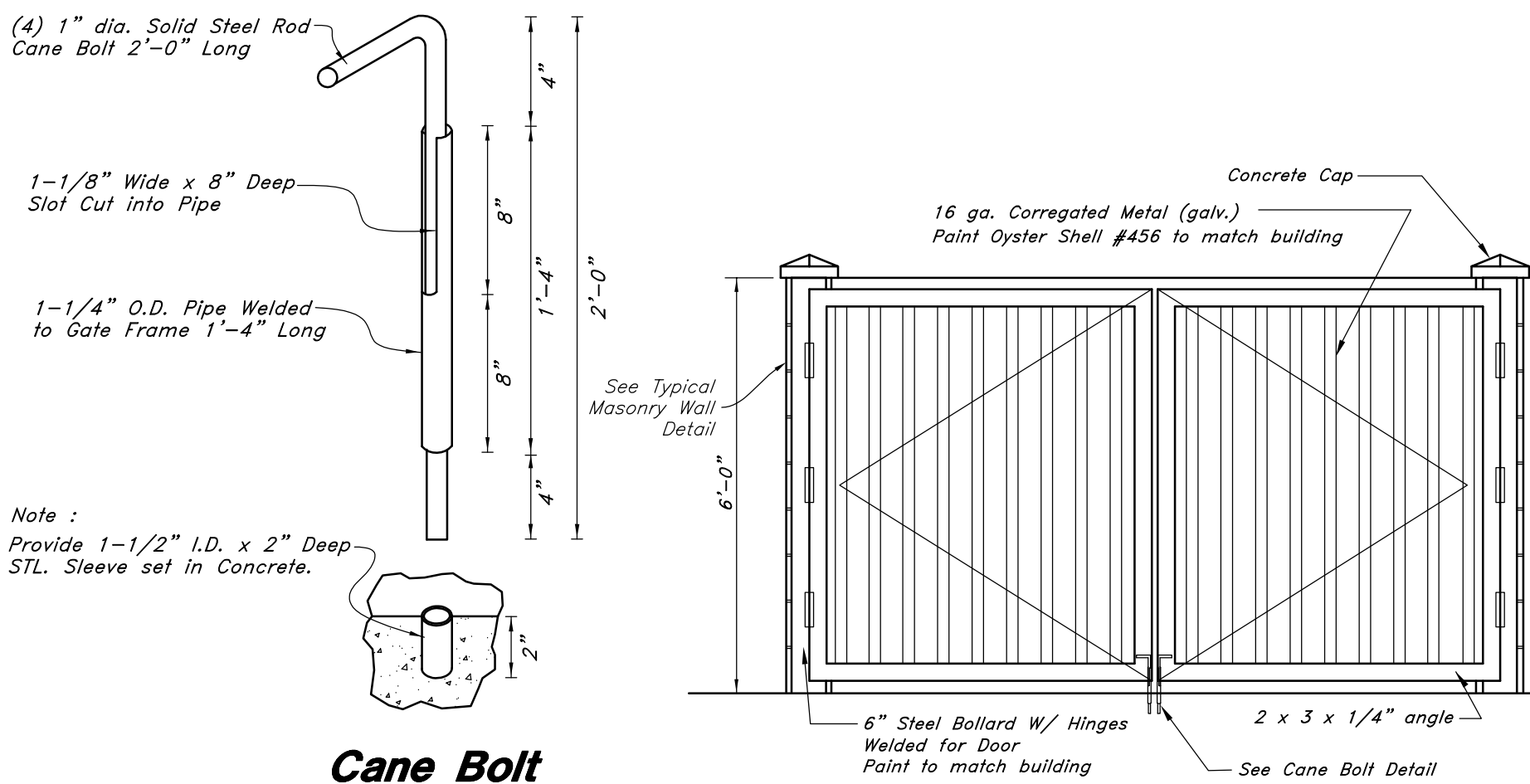
Truncated Dome Detail

20

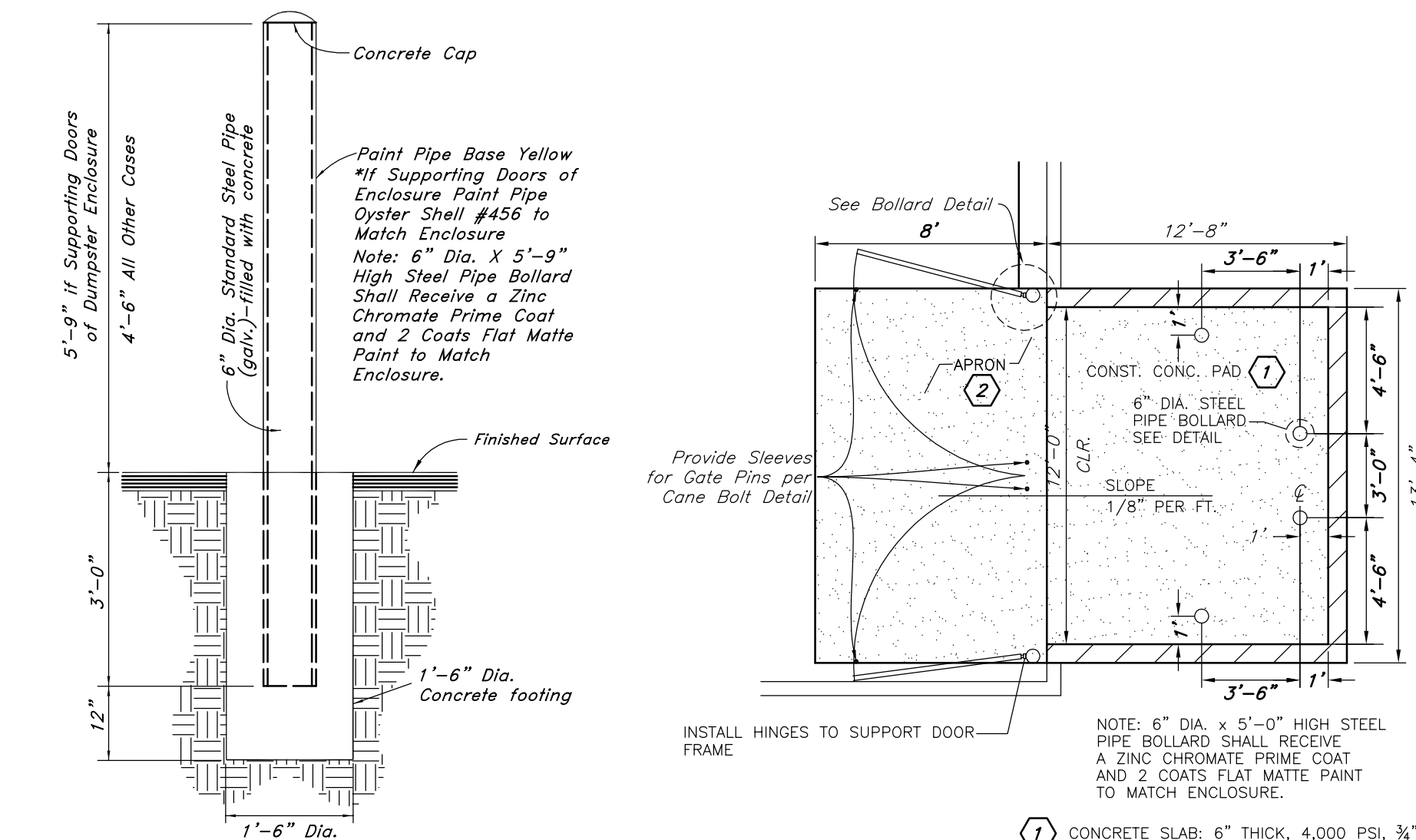


Cleanout Detail

19



Dumpster Elevation

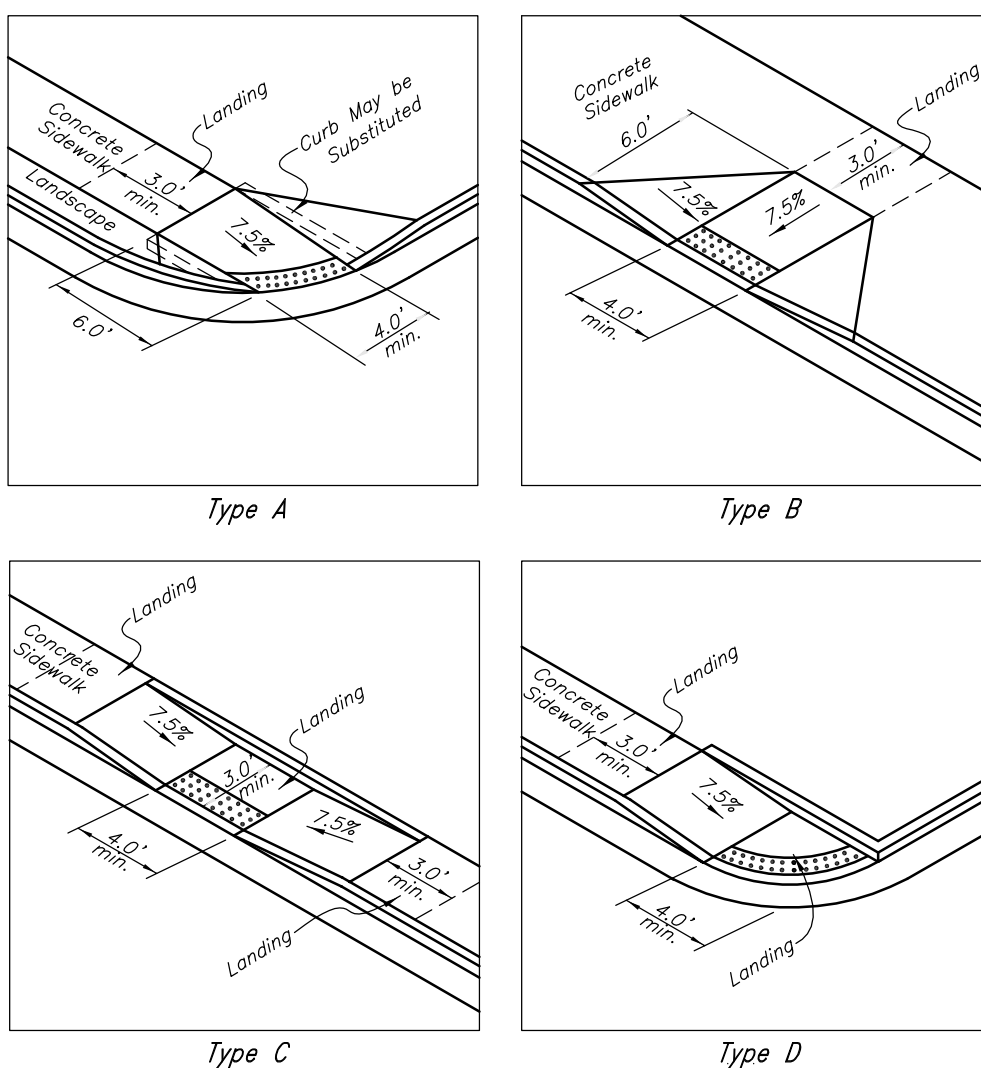


Bollard Detail

18

Trash Enclosure

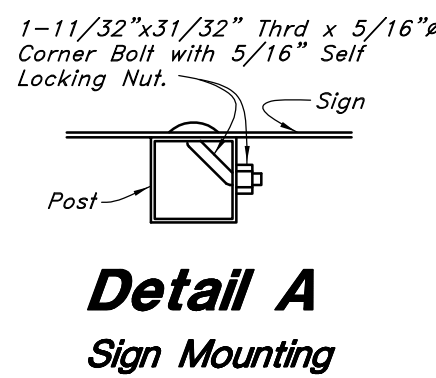
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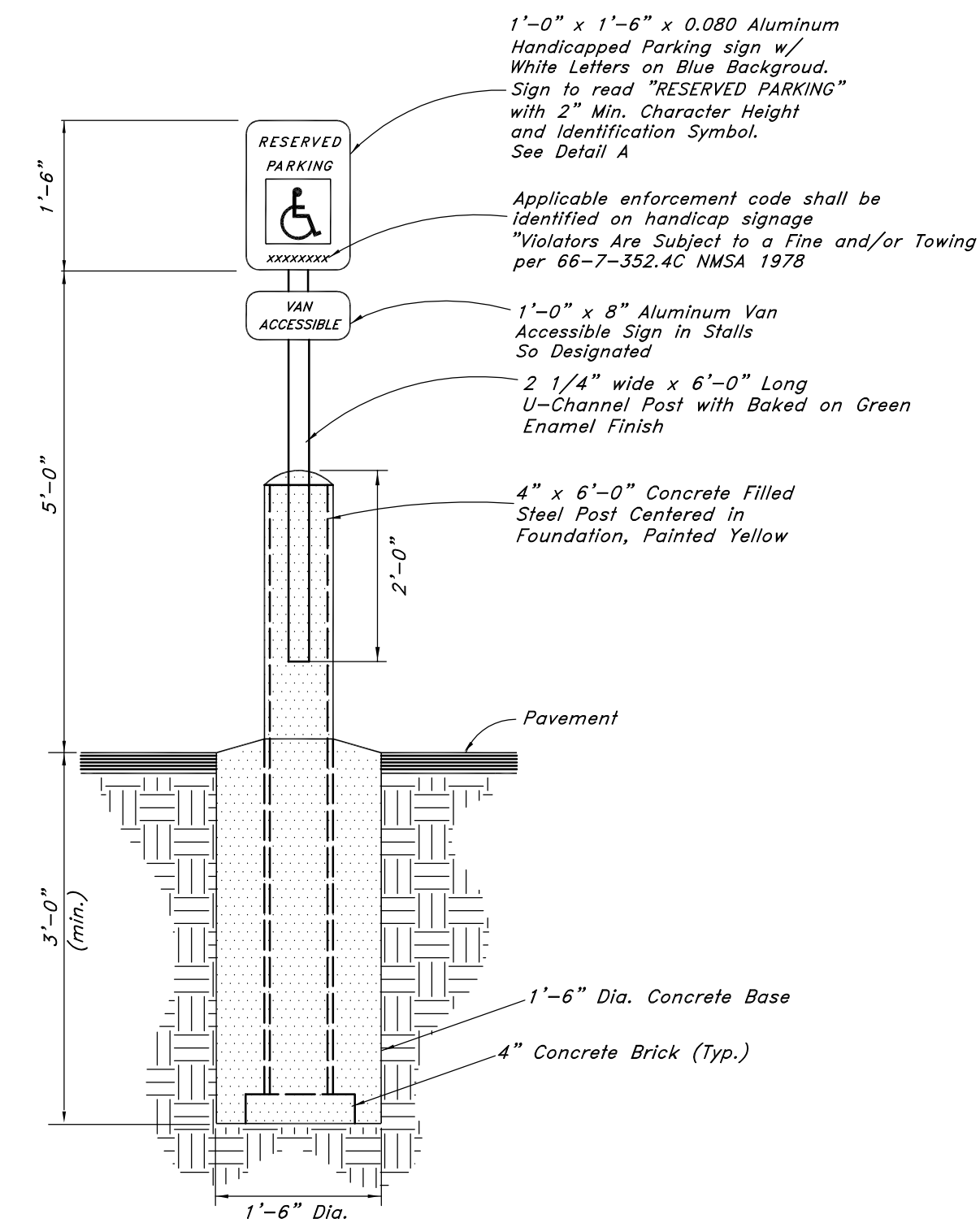
Typical Curb Ramp Detail

17

Not to Scale



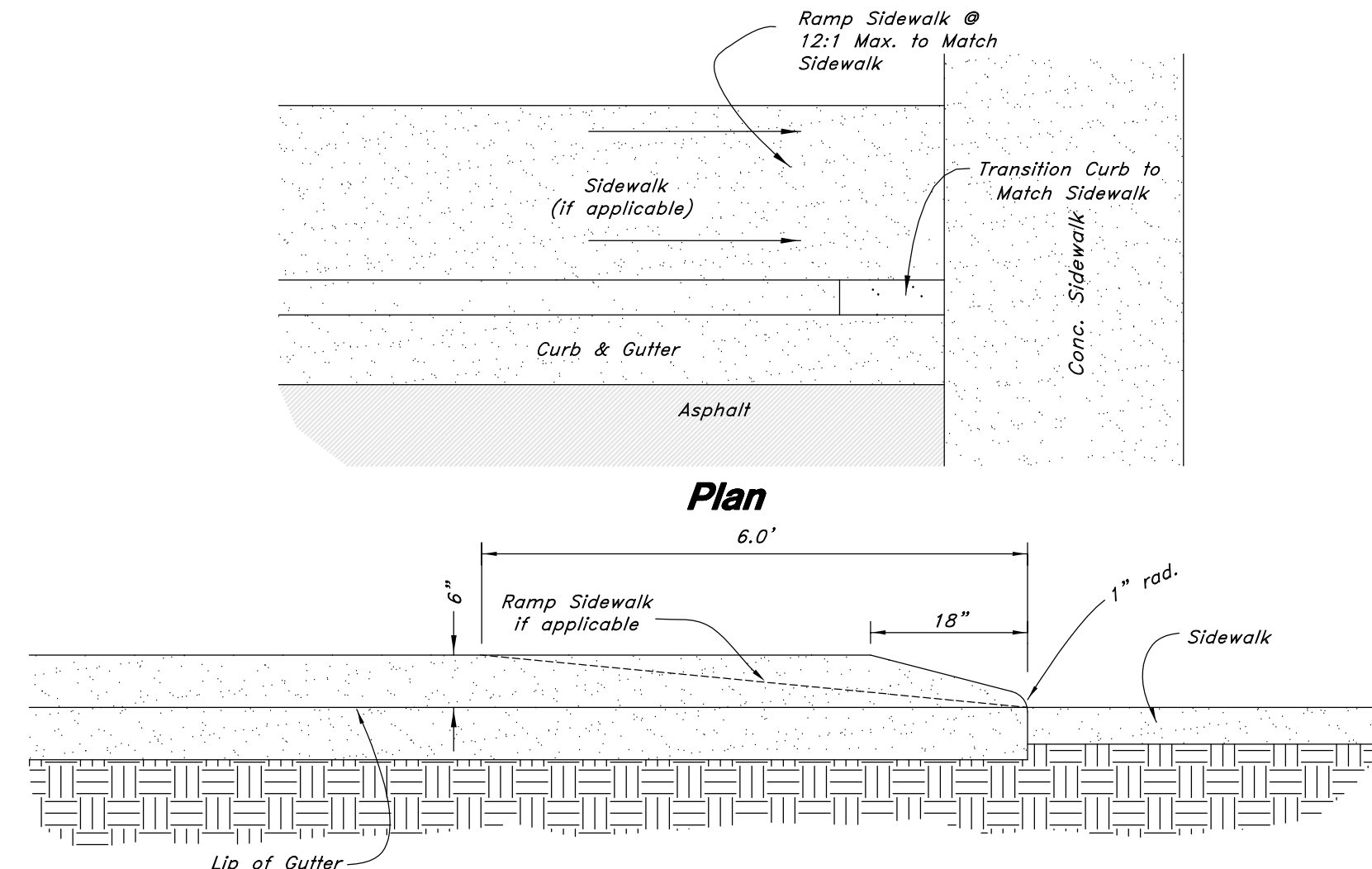
**Detail A
Sign Mounting**



ADA Parking Sign w/Bollard

16

Not to Scale



Section

Curb Transition

Not to Scale

15

New Mexico One Call, Inc.
NMOC
 Professional Resources for Damage Prevention
 1-800-321-ALERT

Smith's
FOOD & DRUG STORES
 1550 South Redwood Road
 Salt Lake City, Utah 84104
 Telephone (801) 974-1400
#423
Albuquerque, New Mexico

ANDERSON WAHLEN & ASSOCIATES
 2010 North Redwood Road, Salt Lake City, Utah 84116
 801.521.8529 - AWAengineering.net

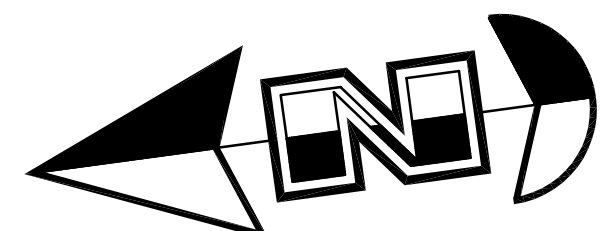
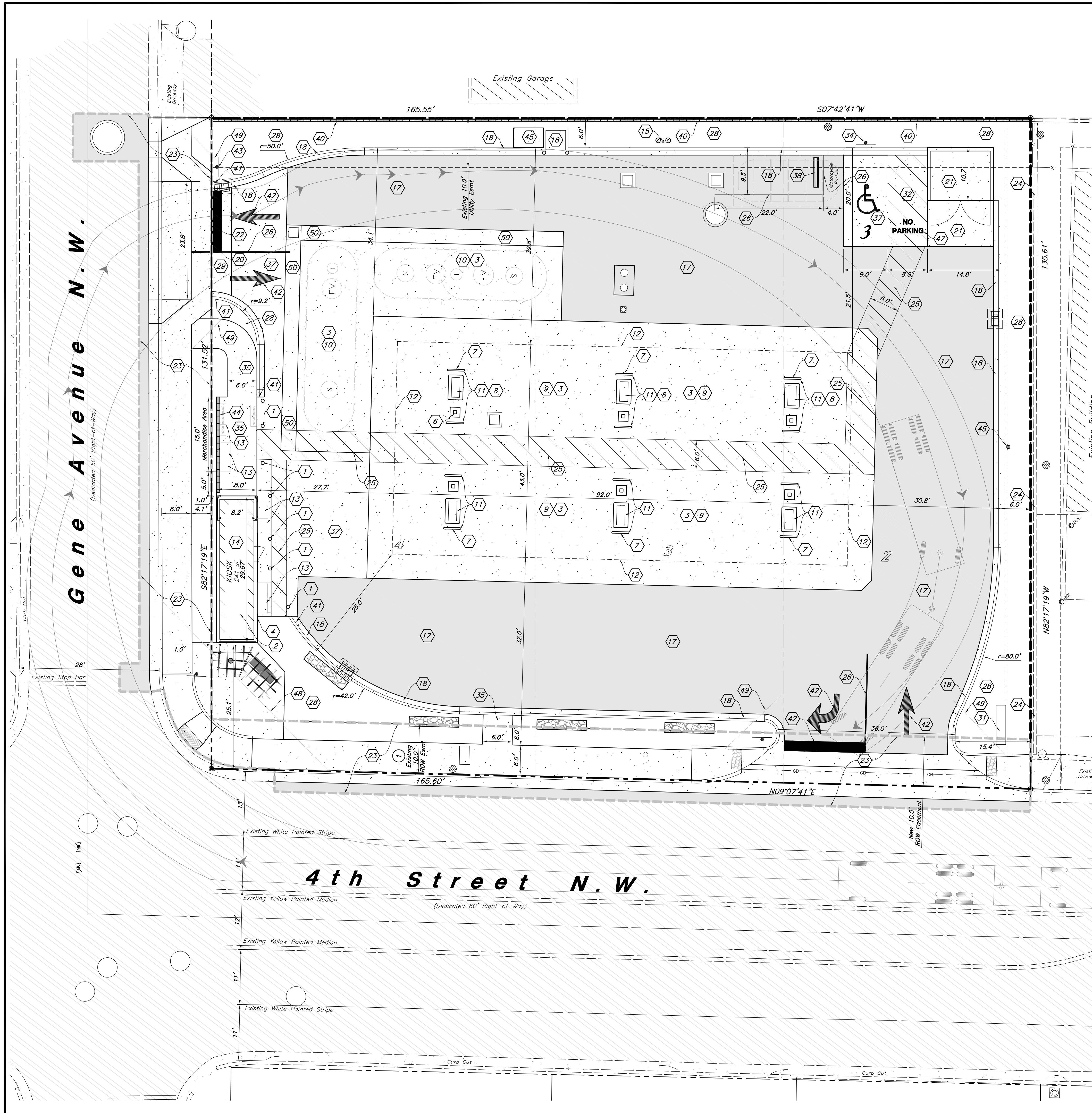
Smith's #423 Fuel Center
 5640 4th Street N.W.
 Albuquerque, New Mexico 87107

DAVID G. ANDERSON
 NEW MEXICO
 20167
 1-26-2016
 REGISTERED PROFESSIONAL ENGINEER

26 Jan, 2016

SHEET NO.

C4.3



Scale: 1" = 10'



Site Construction Notes

1. Const. Bollard (18/24.3)
2. Install roof penetration in kiosk and weather proof for speaker/camera wire installation.
3. All concrete slabs shall be cleaned and sealed by Owner. Contractor shall coordinate with the Owner provided Contractor (White Mountain, Mike Letts 801-547-9278 or Romac Services 801-759-7315).
4. Provide caulking and painting as necessary to touch up exterior panels of the kiosk.
5. Provide a water tight seal between the kiosk foundation and canopy slab.
6. Const. Tank Vent Risers on Column (See Arch. Plans)
7. Paint all bollards and island forms with Contractor supplied Sherwin Williams Industrial Enamel B54Z Series Paint.
8. Install a diesel tee, plug, and fittings in the MPD sumps of the islands with diesel.
9. Construct 6" Thick Concrete Canopy Drive Slab w/ Rebar Reinforcing (See Arch. Plans)
10. Construct 8" Thick Concrete Tank Pad w/ Rebar Reinforcing. (See Arch. Plans for Section)

11. Contractor Shall Construct Dispenser Islands w/ Bollard Protection and Install Fuel Dispenser (See Arch. Plans)
12. Overhead Canopy System Supplied and Installed by others. General Contractor to Install Footings, Conduits, & Conductors per Drawings by Madison Industries
13. Retail Merchandisers
14. General Contractor to Const. Floor and Foundation then Place Prefabricated Kiosk (See Arch. Plans)
15. Const. Remote Tank Vent Riser Modified for Separator (21/24.3)
16. Const. 4'x4'x6" Concrete Pad for Air (12/24.2)
17. Const. Asphalt Paving (2/24.1)
18. Const. 18" Concrete Curb and Gutter (1/24.1)

19. General Contractor to Install Mechanical Equipment Screen (Provided by Others)
20. Connect & Match Existing Grade
21. Dumpster Enclosure (18/22/24.3/24.9)
22. Provide Smooth Clean Edge, Sawcut Asphalt if Needed
23. Street Improvements & Work Order Limits; See Work Order #587880 Plans
24. Exist. Curb Wall to Remain
25. Pedestrian Warning Zone Striping (See Arch. Plans)
26. Const. 4" Paint Stripe (Color: White)
27. Const. 6" CMU Screen Wall (22/24.4)
28. Landscape (See Landscape Plan)
29. Const. 4' Waterway (9/24.1)

31. Pylon Sign by Separate Permit
32. Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Editions)
33. Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (17/24.3)
34. Const. Accessible Sign & ICC/ANSI A117.1 (Latest Editions) (16/24.3)
35. Const. Conc. Sidewalk (3/24.1)
36. Const. Truncated Domes per ICC/ANSI A117.1-2003 (Latest Addition)
37. Const. 7" Thick Conc. Paving (6/24.2)
38. Const. Conc. Wheel Stop (9/24.2)
39. Street Improvement Plan (Offsite) Boundary
40. Const. 6" Screen Wall (1/24.1)
41. Const. curb Transition (15/24.3)
42. Const. Turn Arrow & Asphalt markings per MUTCD

43. Const. Stop Sign (R1-1) per MUTCD
44. Const. 4' CMU Screen Wall (22/24.4)
45. Const. Emergency Fuel Stop (See Arch. Plans) (10/24.9)
46. Const. 4'x6" Concrete Pad (See Arch. Plans) (10/24.9)
47. Const. "NO PARKING" painting in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at rear of the parking space so as to be close to where adjacent vehicles rear tire would be placed (Color: White), per 65-1-4.18 NMSA 1979
48. Sight Distance Triangle Landscaping and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area. (See Landscape Plan) (24/24.4)
49. Driveway Visibility Landscaping and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area. (See Landscape Plan) (23/24.4)
50. Const. 3" Waterway (9/24.1)



Vicinity Map
Zone Atlas Page F-14
5640 4th Street N.W.
Albuquerque, New Mexico 87107
Not to Scale

Legend

- Proposed Building
Proposed Curb & Gutter
Proposed Asphalt
Proposed Concrete
Existing Improvements
Existing Asphalt
Existing Concrete
Existing Building
Existing Power Pole
Existing Power Pole w/ Guy

Legal Description

Lots numbered Two (2), Three (3), and Four (4) of the HARPER ADDITION, a Subdivision of a tract of land in School District No. 4, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the plat of said Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico on December 28, 1945 in Volume D, Folio 79.

10' Easement granted for Street And Right-Of-Way Purposes And For Construction And Maintenance Of Sanitary Sewers And Water And Other Utility Lines And Installations filed December 8, 1953 in Book D 262, Page 539.

Site Data

Total Site Area = 22,111 s.f. (0.51 ac.)
Landscape Area Provided = 3,350 s.f. (15%)
Impervious Area Provided = 18,521 s.f. (84%)
Building Area = 241 s.f. (1%)
Canopy Area = 3,955 s.f.
Parking Required = 1 stalls
Parking Provided = 1 stall + 1 Accessible Stall
+ 1 Motorcycle Stall = 3 Total

General Site Notes:

1. Stalls designated as Accessible will require a painted Accessible symbol and sign. (See Details)
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. All dimensions are to back of curb unless otherwise noted.
5. Const. curb transition at all points where curb abuts sidewalk, see detail.

New Mexico One Call, Inc.
NMOCC
Professional Resources for Damage Prevention
1-800-321-ALERT

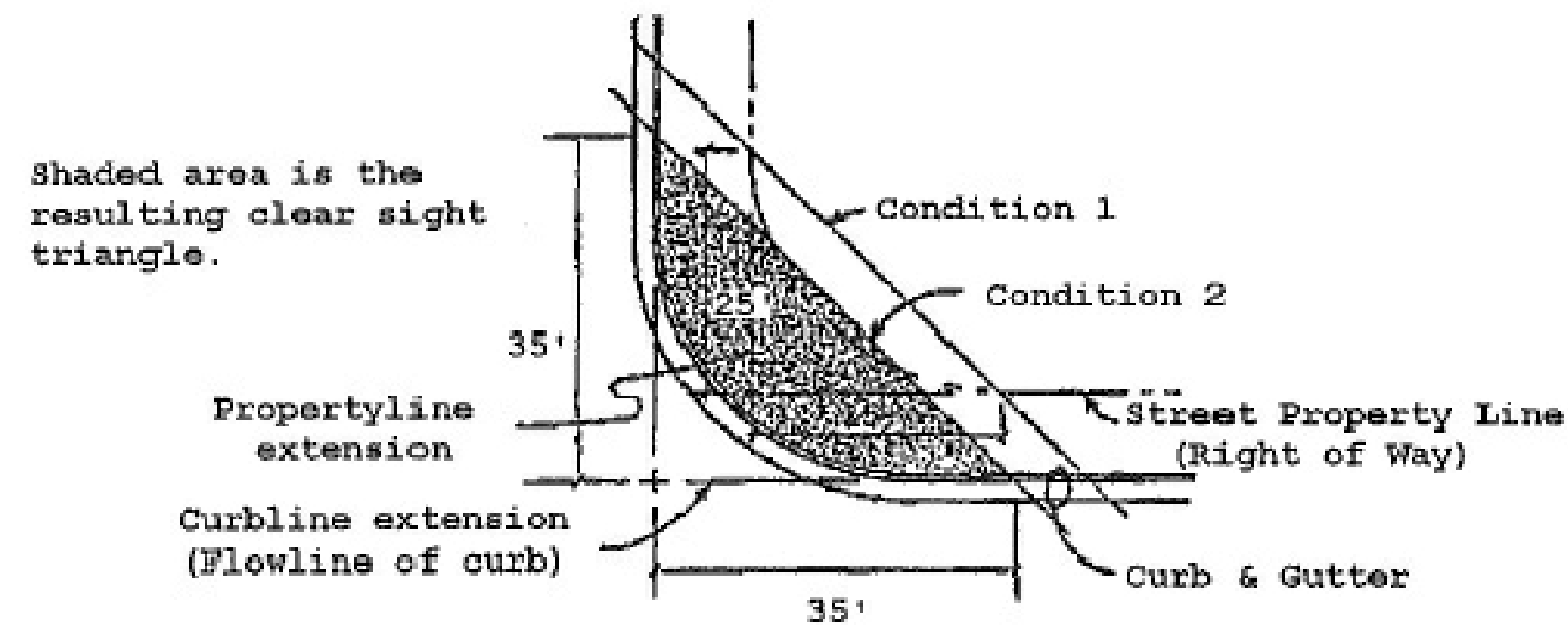
Smith's
FOOD & DRUG STORES
1550 South Redwood Road
Salt Lake City, Utah 84104
Telephone (801) 974-1400
#423
Albuquerque, NM

Designed by: KR	
Drafted by: JC	
Client Name: Smith's Food & Drug Stores	
SMC423-SP	
ANDERSON WAHLEN & ASSOCIATES 2010 North Redwood Road, Salt Lake City, Utah 84116 801 521-8529 - AWEngineering.net	
Traffic Circulation / Site Plan	
Smith's #423 Fuel Center 5640 4th Street N.W. Albuquerque, New Mexico 87107	
Feb 02, 2016	
SHEET NO. C1.1	

Note:
Intersection Sight Distance

a. Intersection designs must provide for clear sight distances in the horizontal plane. Minimum intersection visibility should comply with the following specific language from Section 2-15 of the Traffic Code:

"No such obstruction to view between three and eight feet above the gutter line shall be placed or maintained within a triangular area at the street corner, which area is bounded by: (1) the street property lines of the corner lot and a line connecting points twenty-five feet distant from the intersection of the property lines of such lot, or (2) the curb lines of an intersection and a line connecting points thirty-five feet distant from the corner of the intersection and such corner is determined by projecting the curb lines out to a specific point, whichever is the lesser."



b. Intersections of local streets with major streets classified as collector or above shall not be located at or near horizontal curves without special evaluation of intersection sight distance. The location of an intersection on the "inside" of a horizontal curve is a situation that will typically result in intersection visibility problems. The location of any property lines, fences or other obstructions will need to be evaluated to ensure that the minimum sight distance is maintained. See figure IX-40 p 762, A Policy on Geometric Design of Highways and Streets, AASHTO, or latest update.

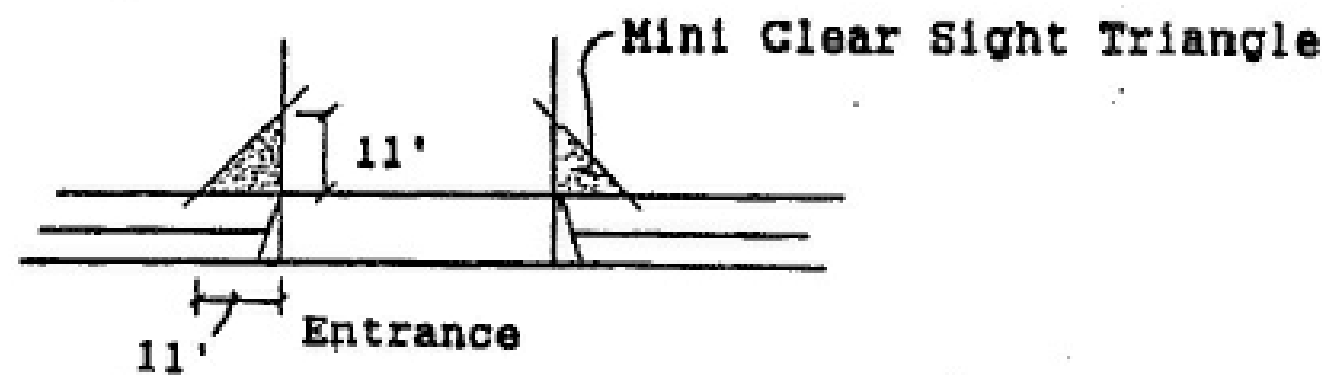
24

Sight Distance Triange

Not to Scale

Note:
Visibility for Driveways

Driveways need to have sufficient visibility for the motorist utilizing the entrance or exit to perform his maneuver safely. Visibility needs to be maintained in accordance with the AASHTO guidelines for intersection visibility (see figure IX-40 p762) For all driveways on collector or arterial streets, the applicant must check the driveway visibility to determine whether these guidelines are met. Landscaping, fencing and/or berming will need to meet the requirements for driveway visibility. In addition, a mini-clear sight triangle needs to be maintained starting at the sidewalk and measuring 11 feet on a side as shown below



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Driveway Visibility

Not to Scale

2012 IBC REBAR LAP SPLICE SCHEDULE FOR CONCRETE APPLICATIONS (ACI 318 - 05)					
BAR SIZE NO.	DIA.	F'c = 3000 PSI			
		TYP. SPLICES CLASS 'A'	CLASS 'B'	TOP BAR SPLICES CLASS 'A'	CLASS 'B'
4	0.500	22"	29"	29"	38"
5	0.625	28"	36"	36"	47"
6	0.750	33"	43"	43"	56"

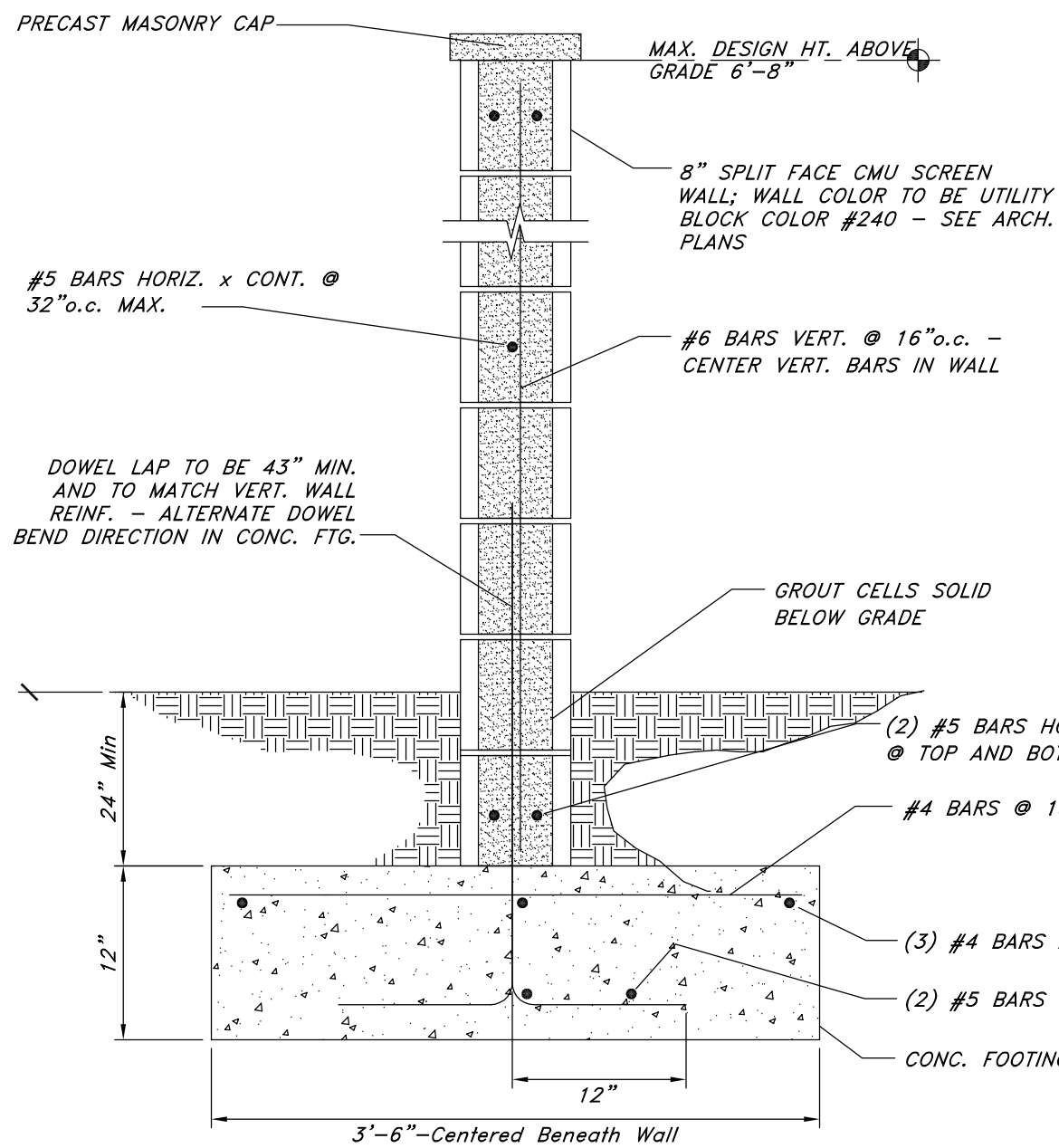
NOTES:
1. ALL LAP SPLICE LENGTHS ARE CLASS 'A' UNLESS NOTED OTHERWISE.
2. MECHANICAL COUPLERS MAY BE USED IN LIEU OF LAP SPLICES SHOWN. SEE STRUCTURAL NOTES FOR MINIMUM COUPLER CAPACITY. WHERE MECHANICAL COUPLERS ARE USED, STAGGER ADJACENT SPLICES A MINIMUM OF 24".
3. CONCRETE LAP LENGTHS SHALL BE INCREASED BY 20% WHERE EPOXY COATING IS USED.
4. TOP BAR IS ANY HORIZONTAL BAR WITH MORE THAN 12" OF FRESH CONCRETE CAST BELOW IT.

SCHEDULE

2012 IBC REBAR LAP SPLICE SCHEDULE FOR MASONRY APPLICATIONS (ACI 530 - 05) (USING f'm = 1500 PSI)					
(POSSIBLE APPLICATIONS)					
(1) BAR AT C OF WALL (VERT. OR HORIZ.)			BARS AT EACH FACE OF WALL (VERTICAL OR HORIZONTAL)		
BAR SIZE NO.	DIA.	8" WALL	NO.	DIA.	8" WALL
4	0.500	20"	4	0.500	29"
5	0.625	25"	5	0.625	45"
6	0.750	43"	6	0.750	54"

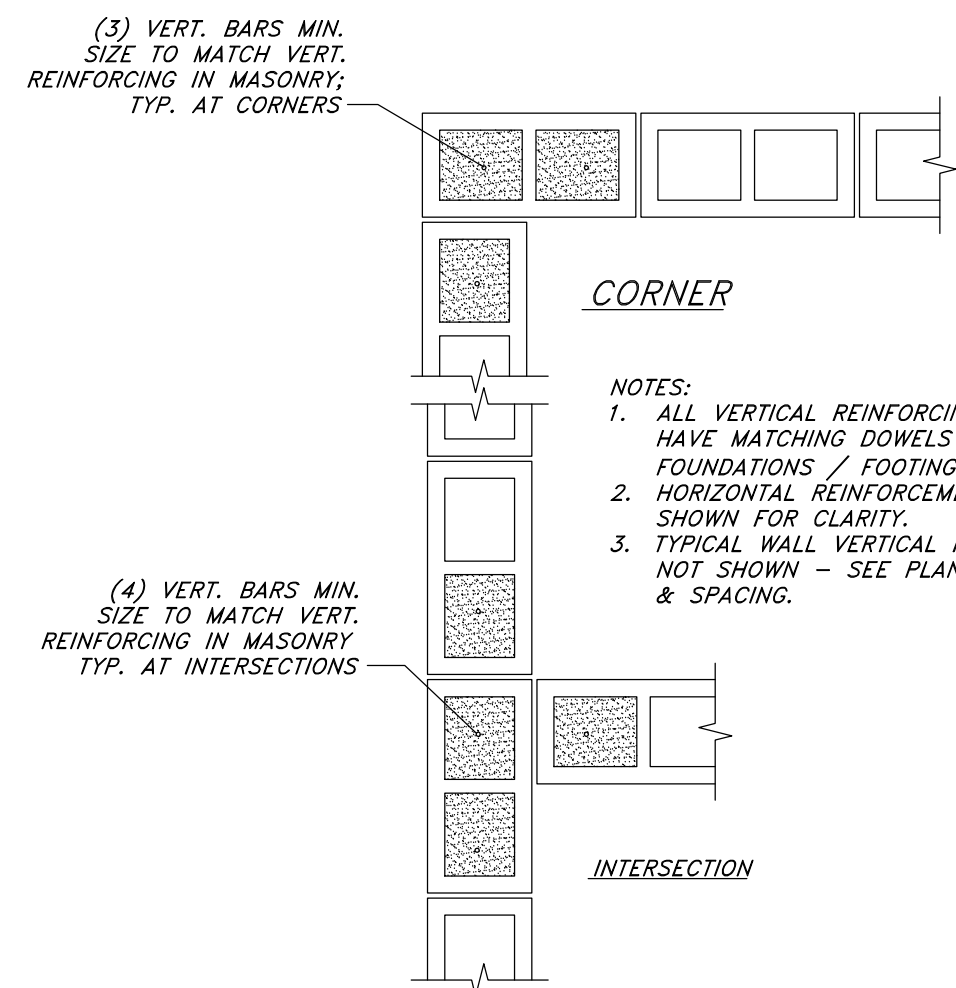
NOTES:
1. MECHANICAL COUPLERS ARE REQUIRED FOR BARS IN MASONRY AS NOTED IN THE SCHEDULE.
2. MECHANICAL COUPLERS MAY BE USED IN LIEU OF LAP SPLICES SHOWN IN SCHEDULE.
3. SEE STRUCTURAL NOTES FOR MINIMUM COUPLER CAPACITIES.

SCHEDULE

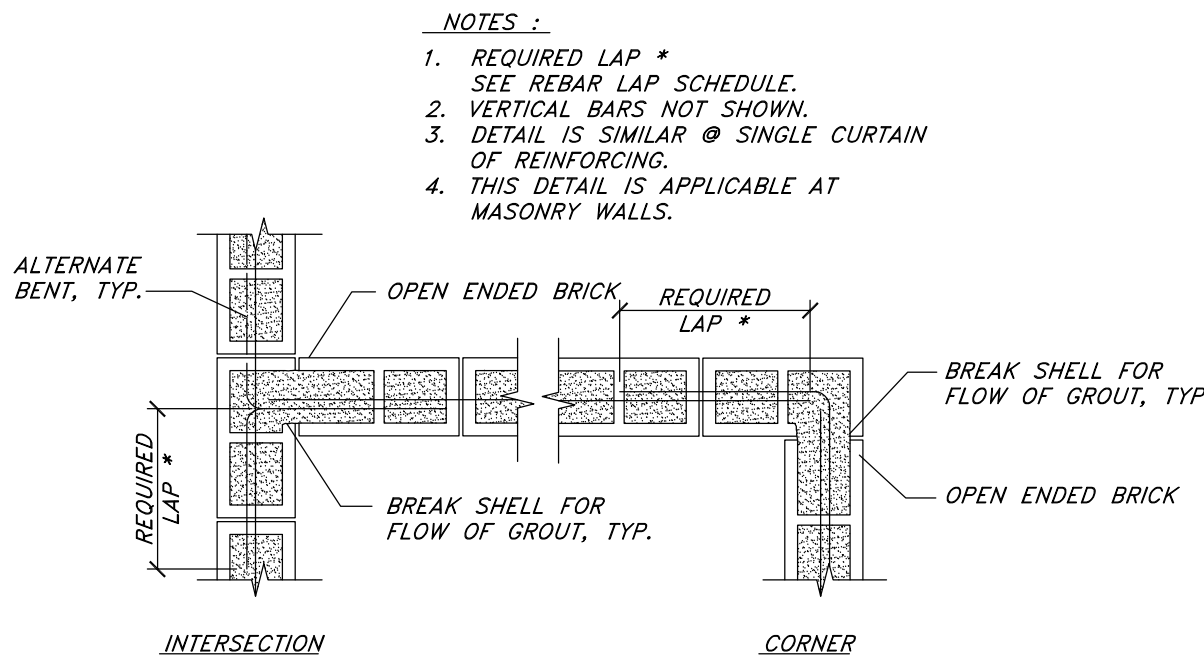


CMU RETAINING WALL NOTES:

- F'm = 1500 psi - USE TYPE 'S' MORTAR
- Fy = 60 ksi
- F'c = 3000 psi
- ALLOWABLE SOIL BEARING PRESSURE = 1500 psf (MIN.) - SEE SOILS REPORT
- MAX. FROST DEPTH = 30" TO BOTTOM OF FOOTING - SEE SOILS REPORT FOR MORE INFO.
- MINIMUM COVER OVER TOP OF FOOTING = 24"
- MAXIMUM DESIGN CRITERIA FOR WIND SPEED = 110 mph EXPOSURE C
- MAXIMUM SDS FOR WALL DESIGN = 1.20
- ALL FOOTINGS SHALL BE PLACED ON SOIL WHICH HAS BEEN PREPARED PER THE SOILS REPORT.
- ALL DOWELS AND REINFORCEMENT SHALL BE HELD IN PLACE PRIOR TO AND DURING CONCRETE AND / OR GROUT PLACEMENT.
- SEE TYPICAL DETAIL FOR STEPS IN THE SCREEN WALL.
- ALL WORK SHALL BE IN ACCORDANCE WITH SECTION 109 AND CHAPTER 17 OF THE IBC.
- ALL VERTICAL BARS TO BE CENTERED IN CELLS.
- NOTE: HAVING A SITE SPECIFIC SOILS REPORT AND REDUCING THE WIND SPEEDS TO MEET LOCAL CODE REQUIREMENTS MAY RESULT IN REDUCED FOOTING SIZES.



TYPICAL VERTICAL REINFORCING



TYPICAL REINFORCEMENT @ INTERSECTION OF CMU

Screen & Dumpster Wall

Not to Scale

22

New Mexico One Call, Inc.



Smith's
FOOD & DRUG STORES

1550 South Redwood Road
Salt Lake City, Utah 84104
Telephone (801) 974-1400

#423

Albuquerque, New Mexico

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2010 North Redwood Road, Salt Lake City, Utah 84116
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Smith's #423 Fuel Center
5640 4th Street N.W.
Albuquerque, New Mexico 87107

Details



26 Jan, 2016

SHEET NO.

C4.4