

CITY OF ALBUQUERQUE



June 9, 2017

Roger Cinelli
Roger Cinelli and Assoc.
2418 Manuel Torres Lane NW
Albuquerque, NM 87107

Re: Town Houses For Buchanan
4662 12TH Street NW
Traffic Circulation Layout
Engineer's/Architect's Stamp **06-15-17 (F14-D074)**

Dear Mr. Cinelli,

Based upon the information provided in your submittal received 06-01-17, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. 24 feet is required for two way traffic.
2. Please extend the median islands to the end of the parking space.

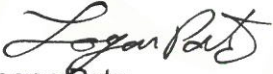
PO Box 1293

Albuquerque

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact Monica Ortiz (505) 924-3981 or me at 924-3630

Sincerely,

New Mexico 87103


Logan Patz
Traffic Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

/mao via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: TOWNHOUSES FOR BUCHANAN **Building Permit #:** _____ **City Drainage #:** F14D074
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 46 ROSSITER ADDITION
City Address: 4622 12th STREET N.W. F14

Engineering Firm: SCOTT M MC GEE PE, LLC **Contact:** SCOTT
Address: 9700 TANOAN DRIVE N.E. ALBUQ., N.M. 87111
Phone#: 505-263-2905 **Fax#:** _____ **E-mail:** scottmmcgee@gmail.com

Owner: JASON BUCHANAN **Contact:** JASON
Address: PO BOX 65395 ALBUQUERQUE, NEW MEXICO 87193
Phone#: 505-977-1332 **Fax#:** _____ **E-mail:** jason@FANDSBUILDERS.COM

Architect: ROGER CINELLI & ASSOCIATES INC. **Contact:** ROGER
Address: 2418 MANUEL TORRES LN. N.W. ALBUQ., N.M. 87107
Phone#: 505-243-8211 **Fax#:** _____ **E-mail:** rcinelli@q.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 6/1/2017 By: ROGER CINELLI

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

