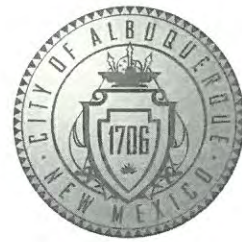


CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

July 17, 2017

Scott McGee, P.E.
9700 Tanoan Drive NE
Albuquerque, NM, 87111

**RE: 12th Street NW Townhomes
Grading and Drainage Plan
Stamp Date: 7/13/17
Hydrology File: F14D074**

Dear Mr. McGee:

PO Box 1293

Based upon the information provided in your re-submittal received 7/14/2017, the Grading Plan is approved for Building Permit.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

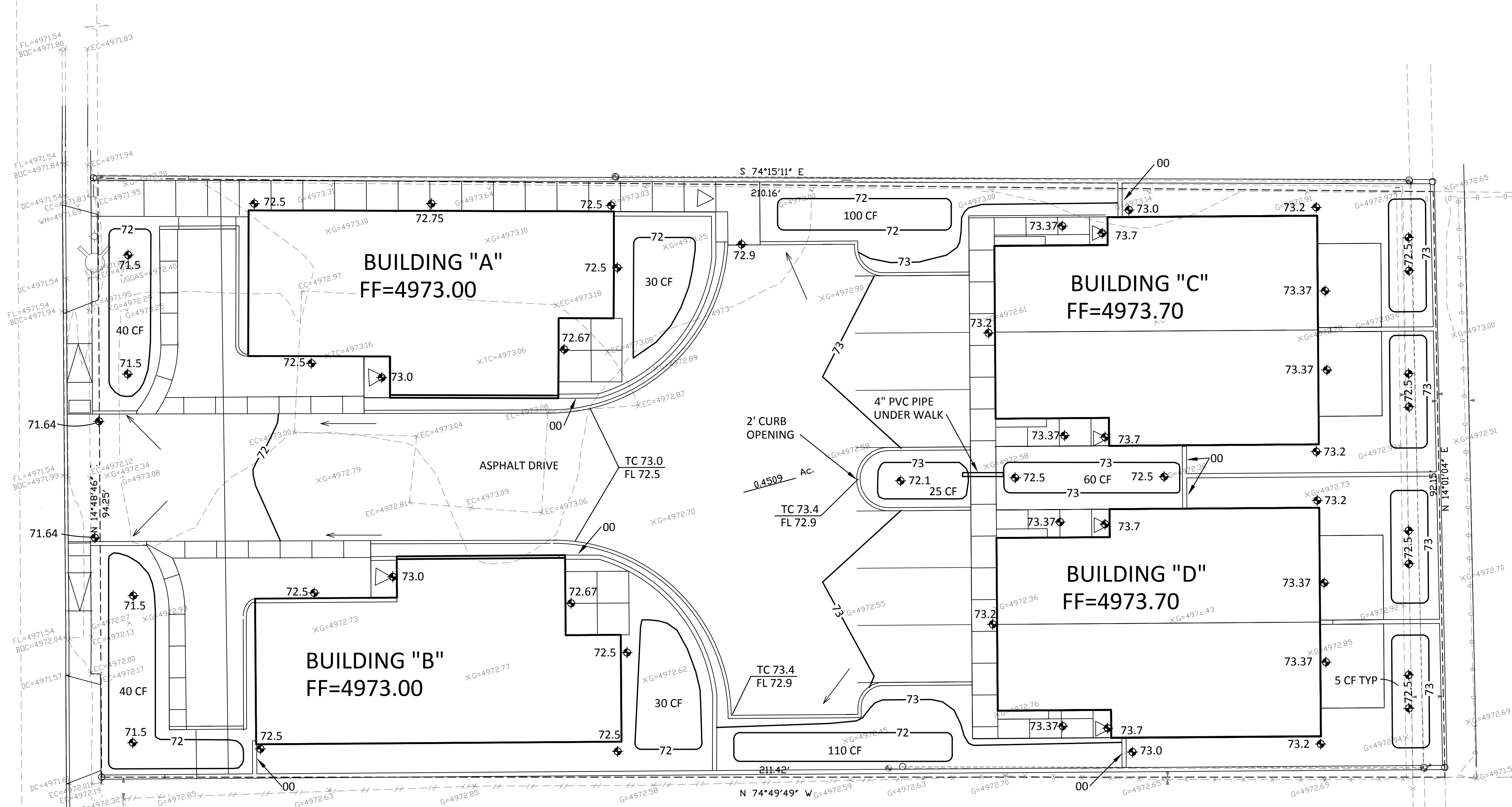
New Mexico 87103

Reneé C. Brissette

Reneé C. Brissette, P.E.
Senior Engineer, Hydrology
Planning Department

www.cabq.gov

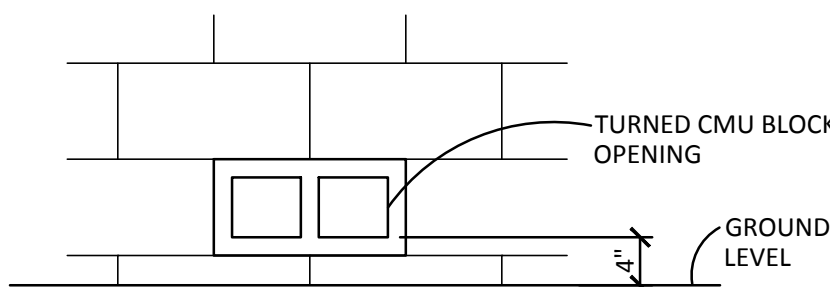
12TH STREET NW



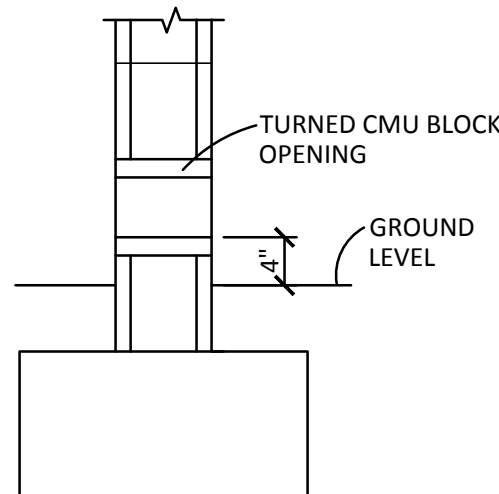
GRADING AND DRAINAGE PLAN

1" = 10'

0 10' 20'



WALL ELEVATION



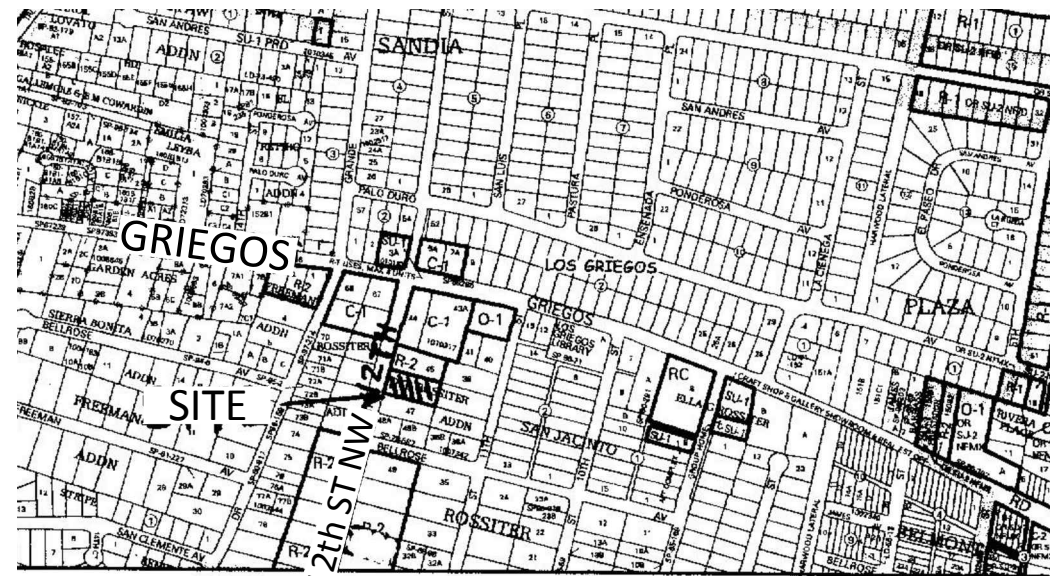
WALL SECTION

TURNED CMU BLOCK DETAIL

NOT TO SCALE

LEGEND

---	71	---	EXISTING CONTOUR LINE
---	72	---	NEW CONTOUR LINE
FF = 4973.00			FINISH FLOOR ELEVATION
◆ 23.5			NEW SPOT ELEVATION
TC			TOP OF CURB
FL			FLOW LINE
00			TURNED CMU BLOCK AT GRADE PER DETAIL



VICINITY MAP

F-14

NOT TO SCALE

DRAINAGE INFORMATION

ADDRESS: 4622 12th Street NW, Albuquerque, NM
LEGAL DESCRIPTION: Lot 46 Rossiter Addition
SITE AREA: 19,640 SF (0.4509 acres)

BENCHMARK: City of Albuquerque Control Station 'DOUGLAS'
being a brass cap
ELEV= 4975.078 (NAVD 1988)

SURVEYOR: The Survey Office dated August, 2016
PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Map 35001C0119G (9/26/08), this site is identified as being within Zone 'X' which is located within the area of 0.2% annual chance flood, area of 1% annual chance flood with average depths < 1' or drainage areas <1 square mile, and areas protected by levees from 1% annual chance flood.

EXISTING CONDITIONS: The site is presently vacant but a residence was on the lot previously and a slab remains. The site is very flat but does discharge to 12th Street NW.

OFFSITE FLOW: No offsite flow enters the site.

PROPOSED IMPROVEMENTS: The proposed improvements include 4 townhome buildings with an interior access drive, paved parking, and landscape areas.

DRAINAGE APPROACH: The site drainage pattern will remain unchanged as runoff will continue to pond onsite but will discharge west per historic conditions.

Existing land treatment: 95% C & 5% D Precipitation Zone: 2
 $Q = (0.429)(3.14) + (0.022)(4.7) = 1.4$ CFS

Proposed land treatment: 6% B, 29% C and 65% D
 $Q = [(0.06)(2.28) + (.29)(3.14) + (.65)(4.7)](0.4509) = 1.8$ CFS

First flush $V = (12,770) (0.34/12) = 362$ CF
Onsite pond volumes = 100+ 110+ 80+ 25+ 60= 435 CF
Backyard pond volumes (4) (5 CF) = 20 CF
Total $V = 455$ CF (> 362 OK)

The proposed detention ponding areas contain the first flush volume. Runoff increases slightly but there will be no adverse impact on downstream drainage facilities.

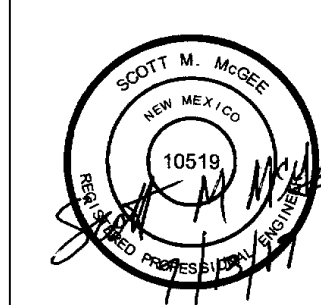
Cinelli / Roger Cinelli & Assoc.
ARCHITECTS
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE: TOWNHOMES

4622 12th STREET NW
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
GRADING & DRAINAGE PLAN

SEAL



DATE
July 2017

PROJECT NO.

DRAWING NO.

CIVIL102