

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

July 7, 2017

Scott McGee, P.E.
9700 Tanoan Drive NE
Albuquerque, NM, 87111

**RE: 12th Street NW Townhomes
Grading and Drainage Plan
Stamp Date: 6/28/17
Hydrology File: F14D074**

Dear Mr. McGee:

Based upon the information provided in your submittal received 6/29/2017, the Grading Plan **is not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. Under your drainage calculations, it appears that your estimate of the existing land treatment is off. As you stated there was once a house on the property, but this has been demolished with the existing foundation remaining. It appears to me that the majority of the property is not in its native state so it should be placed under treatment C. Please revise your existing drainage calculations.
2. Please provide the first flush pond volumes for the two interior ponds which are connected by a 4 in pipe.
3. Please provide a typical detail for the turned CMU block. This block needs to be at least four (4) inches above the proposed grade to avoid clogging.

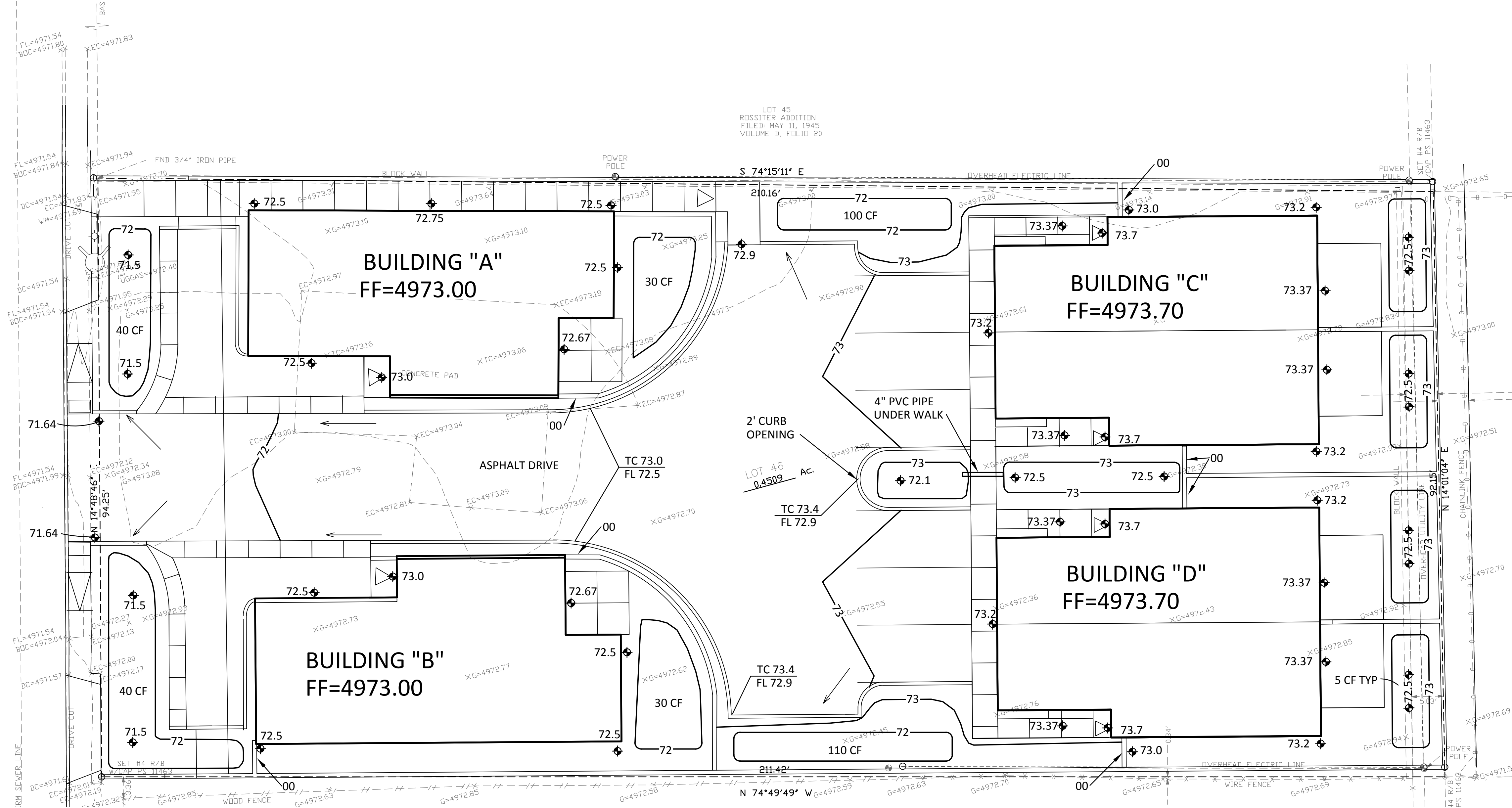
If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Reneé C. Brissette

Reneé C. Brissette, P.E.
Senior Engineer, Hydrology
Planning Department

12TH STREET NW



GRADING AND DRAINAGE PLAN

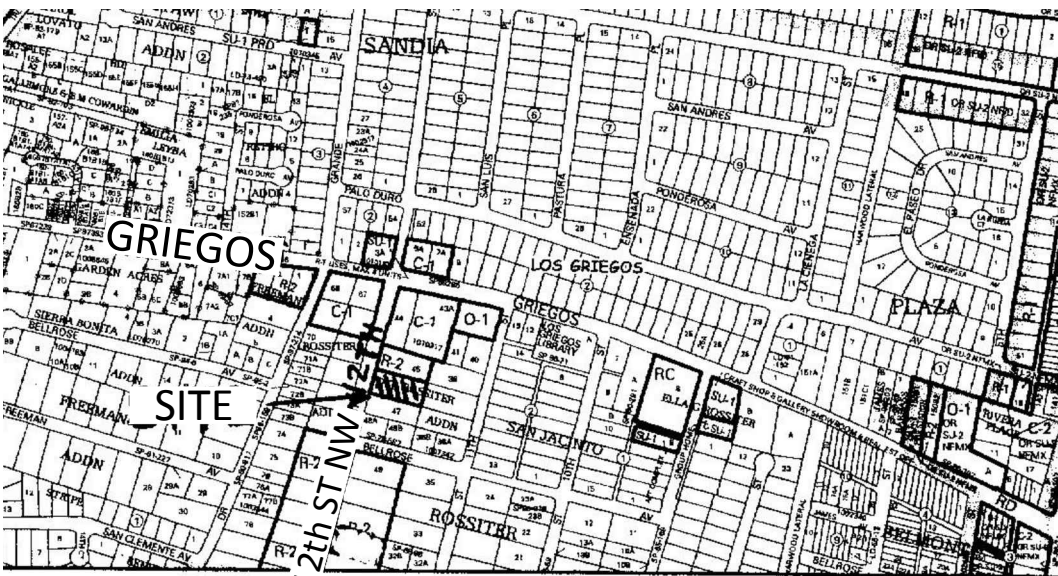
1" = 10'

0 10' 20'



LEGEND

---	71	---	EXISTING CONTOUR LINE
---	72	---	NEW CONTOUR LINE
FF =	4973.00		FINISH FLOOR ELEVATION
◆	23.5		NEW SPOT ELEVATION
TC			TOP OF CURB
FL			FLOW LINE
00			TURNED CMU BLOCK AT GRADE



VICINITY MAP

NOT TO SCALE

F-14

DRAINAGE INFORMATION

ADDRESS: 4622 12th Street NW, Albuquerque, NM
LEGAL DESCRIPTION: Lot 46 Rossiter Addition
SITE AREA: 19,640 SF (0.4509 acres)

BENCHMARK: City of Albuquerque Control Station 'DOUGLAS'
being a brass cap
ELEV= 4975.078 (NAVD 1988)

SURVEYOR: The Survey Office dated August, 2016
PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Map 35001C0119G (9/26/08), this site is identified as being within Zone 'X' which is located within the area of 0.2% annual chance flood, area of 1% annual chance flood with average depths < 1' or drainage areas <1 square mile, and areas protected by levees from 1% annual chance flood.

EXISTING CONDITIONS: The site is presently vacant but a residence was on the lot previously and a slab remains. The site is very flat but does discharge to 12th Street NW.

OFFSITE FLOW: No offsite flow enters the site.

PROPOSED IMPROVEMENTS: The proposed improvements include 4 townhome buildings with an interior access drive, paved parking, and landscape areas.

DRAINAGE APPROACH: The site drainage pattern will remain unchanged as runoff will continue to pond onsite but will discharge west per historic conditions.

Existing land treatment: 50% A, 45% B, & 5% D Precipitation Zone: 2
 $Q = (0.225)(1.56) + (0.203)(2.28) + (0.022)(4.7) = 0.9$ CFS

Proposed land treatment: 6% B, 29% C and 65% D
 $Q = [(0.06)(2.28) + (.29)(3.14) + (.65)(4.7)](0.4509) = 1.8$ CFS

First flush $V = (12,770) (0.34/12) = 362$ CF
Onsite pond volumes = 100+ 110+ 80+ 60= 350 CF
Backyard pond volumes (4) (5 CF) = 20 CF
Total V = 370 CF (> 362 OK)

The proposed detention ponding areas contain the first flush volume. Runoff increases slightly but there will be no adverse impact on downstream drainage facilities.

Cinelli / Roger Cinelli & Assoc.
ARCHITECTS
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE: TOWNHOMES

4622 12th STREET NW
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: GRADING & DRAINAGE PLAN

SEAL



DATE

June 2017

PROJECT NO.

DRAWING NO.

CIVIL102