

# CITY OF ALBUQUERQUE



Timothy M. Keller, Mayor

May 11, 2018

Scott McGee, P.E.  
9700 Tanoan Drive NE  
Albuquerque, NM, 87111

**RE: 12th Street Townhomes**  
**4622 12<sup>th</sup> Street NW**  
**Request for Permanent C.O. – Accepted**  
**Engineer's Stamp Date: 07/13/17**  
**Engineer's Certification Date: 05/04/18**  
**Hydrology File: F14D074**

Dear Mr. McGee:

PO Box 1293

Based on the Certification received 05/04/18 and site visit on 05/08/18, the site is acceptable for a Permanent Certificate of Occupancy by Hydrology for 4622 12th Street NW.

Albuquerque

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

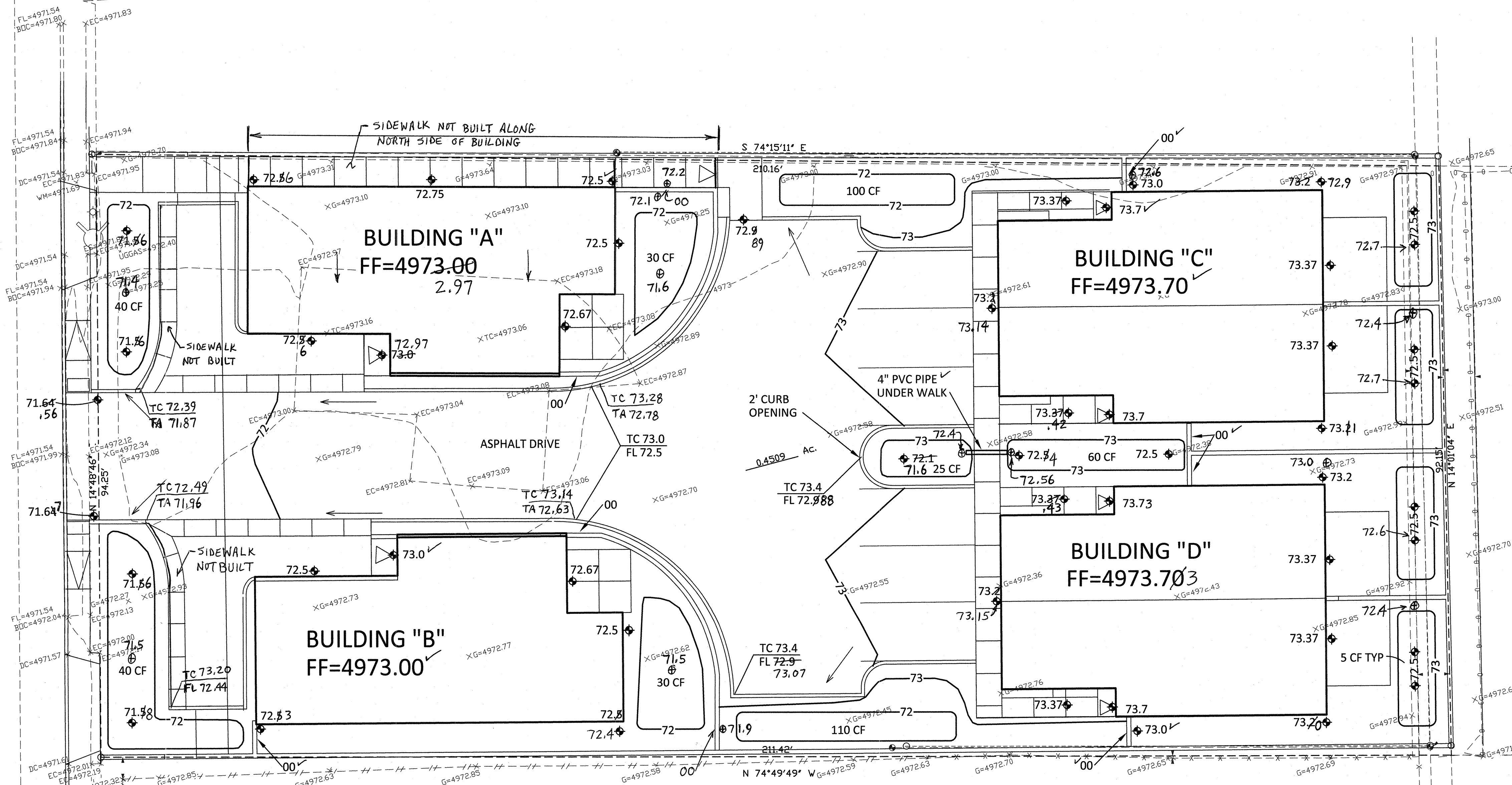
NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

12TH STREET NW  
60' R/W  
CD/20'



## GRADING AND DRAINAGE PLAN

1" = 10'

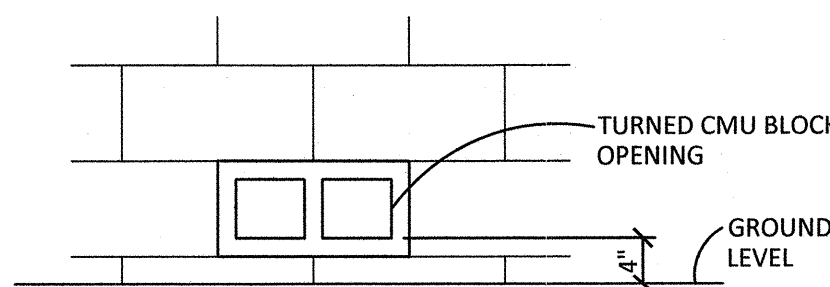
0 10' 20'

### DRAINAGE CERTIFICATION

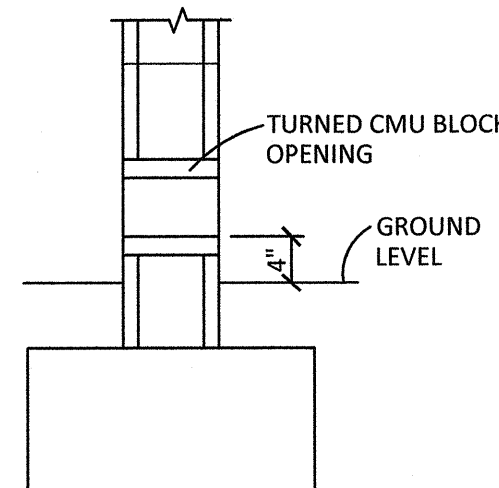
I, SCOTT M MCGEE, NMPE 10519, OF THE FIRM SCOTT M MCGEE PE, LLC, HEREBY CERTIFY THAT THIS SITE HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 7/13/17. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL PLAN WAS OBTAINED BY ANTHONY L. HARRIS, NMPS 11463, OF THE SURVEY OFFICE. I ALSO CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 5/03/18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. MORE 'TURNED BLOCKS AT GRADE' WERE INSTALLED IN GARDEN WALLS AS INDICATED ON THIS PLAN. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION SHOWN HEREON IS NOT NECESSARILY COMPLETE AND IS ONLY INTENDED TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING/ DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT ACCURACY VERIFICATION BEFORE USING IT FOR ANY PURPOSE.

Scott M McGee 5/4/18  
SCOTT M MCGEE, NMPE 10519



WALL ELEVATION



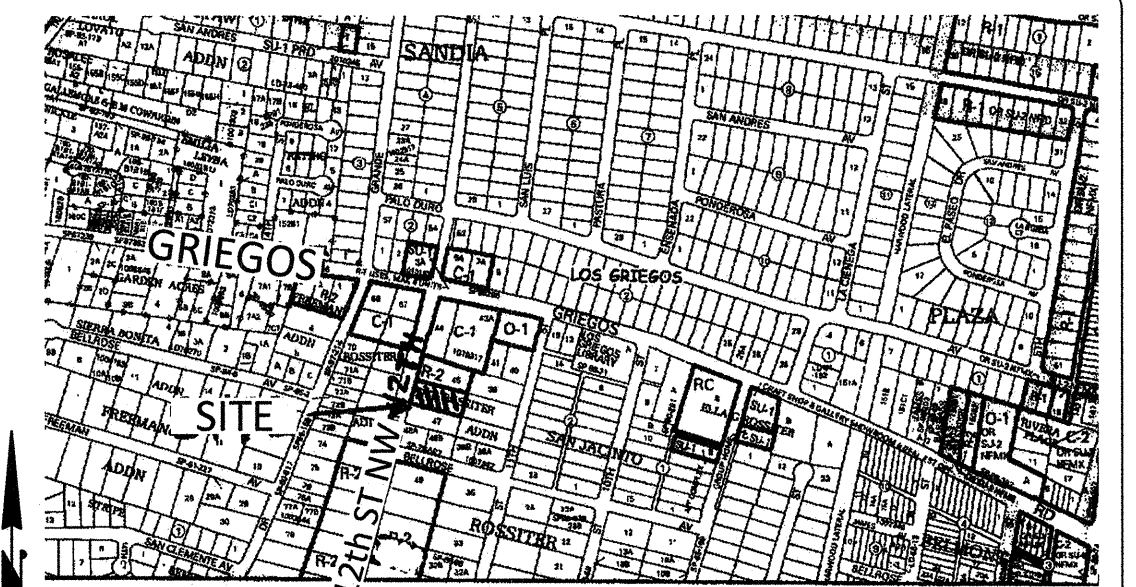
WALL SECTION

## TURNED CMU BLOCK DETAIL

NOT TO SCALE

### LEGEND

--- 71 ---	EXISTING CONTOUR LINE
--- 72 ---	NEW CONTOUR LINE
FF = 4973.00	FINISH FLOOR ELEVATION
23.5	NEW SPOT ELEVATION
TC	TOP OF CURB
FL	FLOW LINE
00	TURNED CMU BLOCK AT GRADE
TA	PER DETAIL
71.5	TOP OF ASPHALT AS-BUILT GRADE



### VICINITY MAP

F-14

NOT TO SCALE

### DRAINAGE INFORMATION

ADDRESS: 4622 12th Street NW, Albuquerque, NM  
LEGAL DESCRIPTION: Lot 46 Rossiter Addition  
SITE AREA: 19,640 SF (0.4509 acres)

BENCHMARK: City of Albuquerque Control Station 'DOUGLAS' being a brass cap  
ELEV= 4975.078 (NAVD 1988)

SURVEYOR: The Survey Office dated August, 2016  
PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Map 35001C0119G (9/26/08), this site is identified as being within Zone 'X' which is located within the area of 0.2% annual chance flood, area of 1% annual chance flood with average depths < 1' or drainage areas < 1 square mile, and areas protected by levees from 1% annual chance flood.

EXISTING CONDITIONS: The site is presently vacant but a residence was on the lot previously and a slab remains. The site is very flat but does discharge to 12th Street NW.

OFFSITE FLOW: No offsite flow enters the site.

PROPOSED IMPROVEMENTS: The proposed improvements include 4 townhome buildings with an interior access drive, paved parking, and landscape areas.

DRAINAGE APPROACH: The site drainage pattern will remain unchanged as runoff will continue to pond onsite but will discharge west per historic conditions.

Existing land treatment: 95% C & 5% D Precipitation Zone: 2  
 $Q = (0.429)(3.14) + (0.022)(4.7) = 1.4$  CFS

Proposed land treatment: 6% B, 29% C and 65% D  
 $Q = [(0.06)(2.28) + (.29)(3.14) + (.65)(4.7)](0.4509) = 1.8$  CFS

First flush  $V = (12,770) (0.34/12) = 362$  CF  
Onsite pond volumes = 100+ 110+ 80+ 60+ 25+ 60= 435 CF  
Backyard pond volumes (4) (5 CF) = 20 CF  
Total V = 455 CF (> 362 OK)

The proposed detention ponding areas contain the first flush volume. Runoff increases slightly but there will be no adverse impact on downstream drainage facilities.

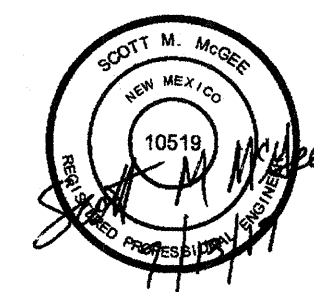
**Cinelli** / Roger Cinelli & Assoc.  
ARCHITECTS  
2418 Manuel Torres Lane N.W.  
Albuquerque, New Mexico 87107  
(505) 243-8211

PROJECT TITLE:  
TOWNHOMES

4622 12th STREET NW  
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:  
GRADING & DRAINAGE PLAN

SEAL



DATE  
July 2017

PROJECT NO.

DRAWING NO.

CIVIL102