

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: TOWNHOUSES FOR BUCHANAN Building Permit #: _____ City Drainage #: F14D074

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 46 ROSSITER ADDITION

City Address: 4622 12th STREET N.W. F14

Engineering Firm: SCOTT M MC GEE PE, LLC Contact: SCOTT

Address: 9700 TANOAN DRIVE N.E. ALBUQ., N.M. 87111

Phone#: 505-263-2905 Fax#: _____ E-mail: scottmmcgee@gmail.com

Owner: JASON BUCHANAN Contact: JASON

Address: PO BOX 65395 ALBUQUERQUE, NEW MEXICO 87193

Phone#: 505-977-1332 Fax#: _____ E-mail: jason@FANDSBUILDERS.COM

Architect: ROGER CINELLI & ASSOCIATES INC. Contact: ROGER

Address: 2418 MANUEL TORRES LN. N.W. ALBUQ, N.M. 87107

Phone#: 505-243-8211 Fax#: _____ E-mail: rcinelli@q.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply.

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

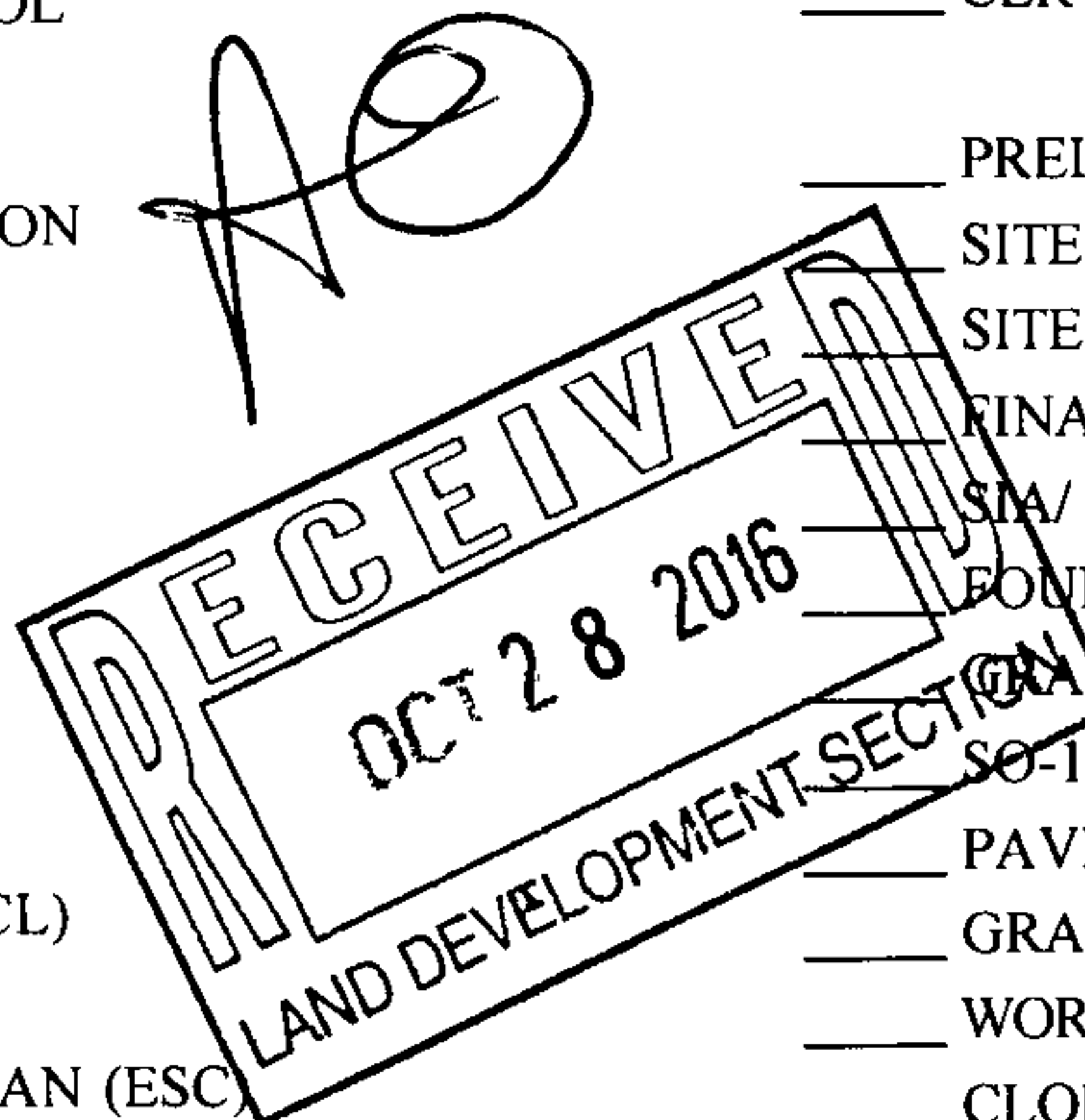
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL? ☒ Yes, ☐ No

DATE SUBMITTED: 10/28/16 By: ROGER CINELLI

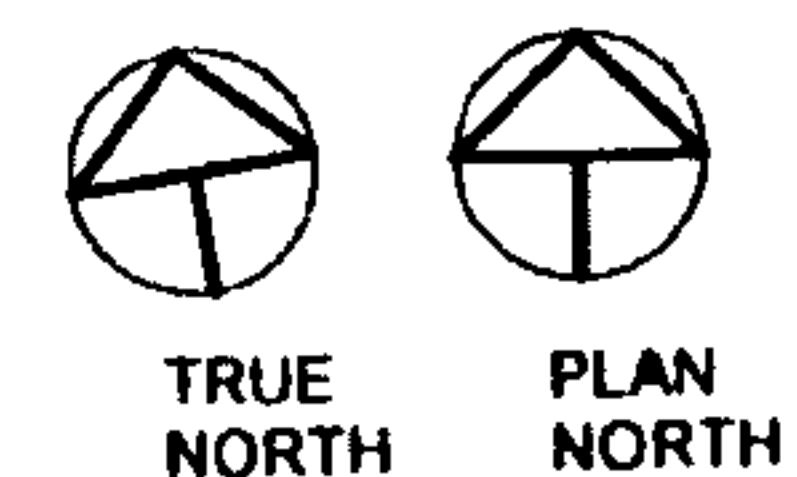
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
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☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



COA STAFF ELECTRONIC SUBMITTAL RECEIVED _____

Any Residential Carts (not)
Access on ~~Commercial~~ Site Capable.
(Residential site) Any Solid Waste
Dept.



FIRE CHIEF
David Downey
11500 Sunset Gardens Rd SW
Albuquerque, NM 87121



THE ALBUQUERQUE FIRE DEPARTMENT

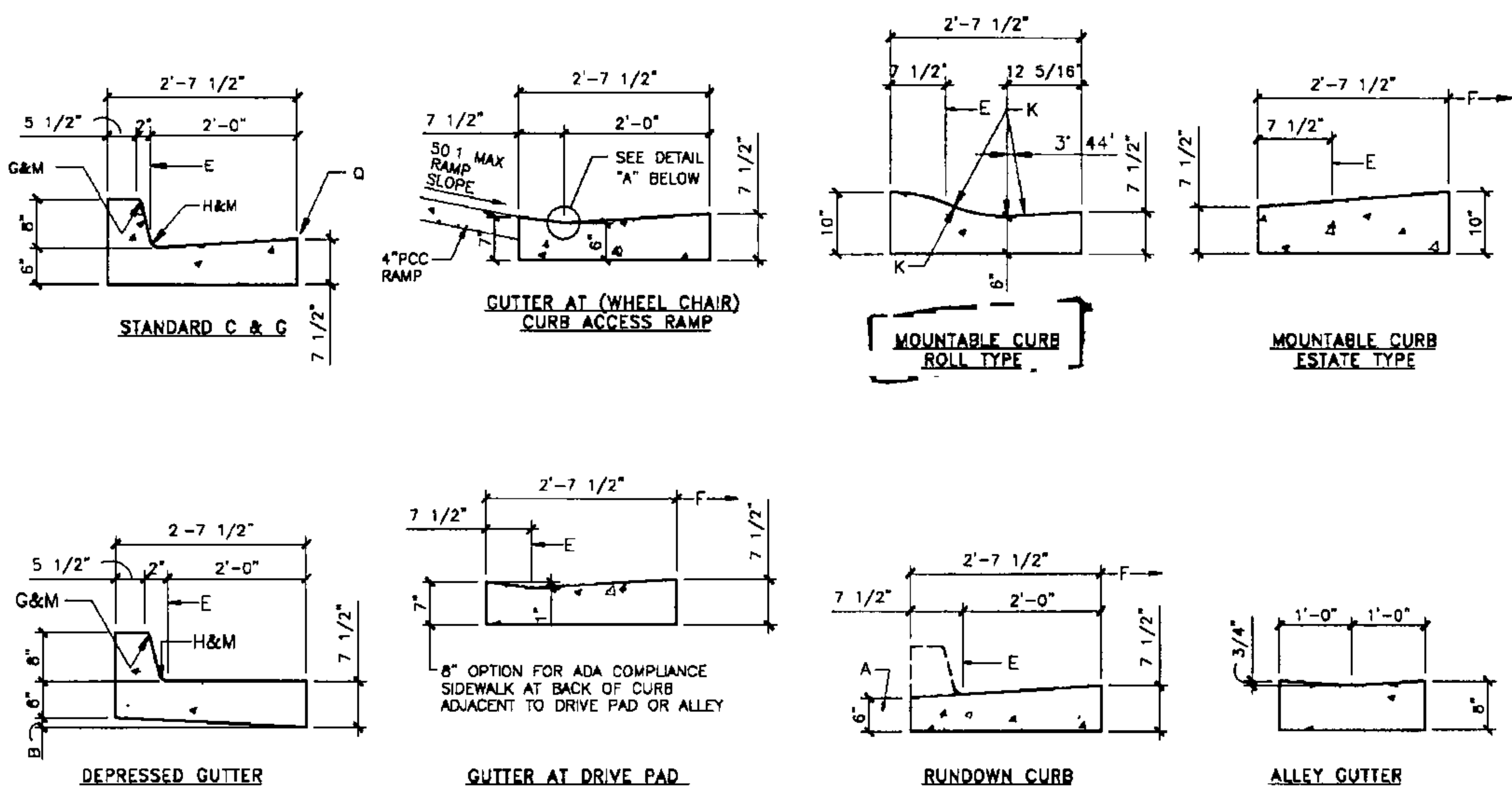
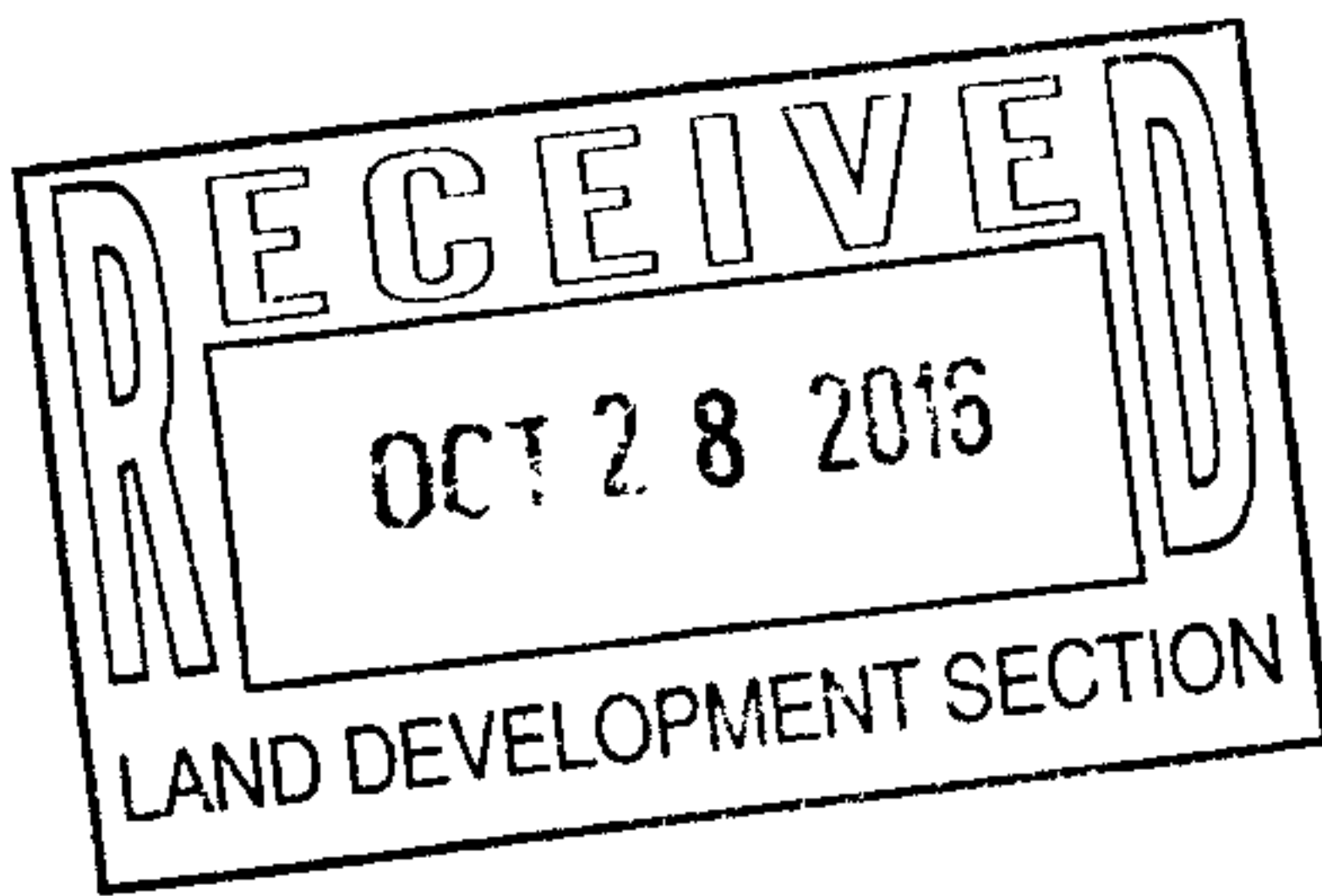
RECEIVED
OCT 28 2016
FIRE MARSHAL
Scott Esposito
724 Silver SW
Albuquerque, NM 87102

FIRE DEPARTMENT HYDRANT AND ACCESS PERMIT CHECKLIST

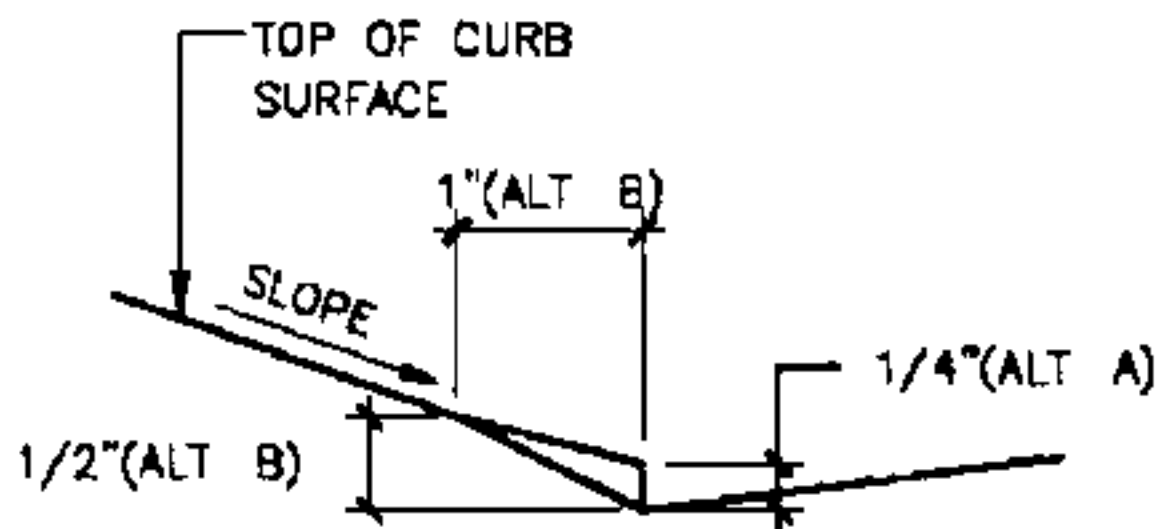
PROJECT INFORMATION				REVISED 11.19.2015	
Address		4627 12th St	Legal Description	PRT Number	Case Number
					5422-16
SITE PLAN CHECKLIST				REVISED 11.19.2015	
PASS	FAIL	N/A	REQUIREMENT	CODE REFERENCE	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sprinkler Systems installed at the Project shall be indicated on the Plans	IFC 901.2	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Separation Requirements shall be specified to determine Fire Area as defined by The Fire Code	IFC 902	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Number of Hydrants Required <i>As per DPM 950 ft + Board to Board</i>	DPM Ch25 Sec 8	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Square Footage: Construction Type: <i>Hydrant</i> GPM: <i>Access to Hydrant</i> Number of Hydrants: <i>2</i> Location: <i>---</i>		
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Hydrant Spacing <input type="checkbox"/> Light Commercial (<18,000 sqft): 450 feet to the farthest portion of the building (as the truck rolls) <input type="checkbox"/> Heavy Commercial (>18,000 sqft): 300 feet to the farthest portion of the building (as the truck rolls) <input type="checkbox"/> Residential: 500 feet to the farthest portion of the building (as the truck rolls)	DPM Ch25 Sec 7	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Apparatus Access shall extend to within 150 feet of all portions of the first floor of the facility.	IFC 503.1.1	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire Apparatus Road Dimensions shall have an unobstructed width not less than 20 feet and an unobstructed height not less than 13 feet 6 inches. Fire apparatus access roads shall have an unobstructed width not less than 26 feet in width when fire department access road exceeds 300 feet.	IFC 503.2.1	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Dead End Apparatus access roads which exceed 150 feet require an approved turn around area	IFC 503.2.5	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Security Gates across fire apparatus access roads shall have an approved means of operation.	IFC 503.6	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Fire Lanes Roads 20 feet to 26 feet a fire lane shall be marked fire lane on both sides. Roads 26 feet to 32 feet wide shall be marked fire lane on one side.	IFC D103.6.1 and IFC D103.6.2	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sprinkler Fire Department Connection (FDC) shall be located within 100 feet of a hydrant.	CITY ORD 912.2.1	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sprinkler FDC The FDC shall be unobstructed from any object for a minimum distance of 3 feet.	IFC 912	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Standpipe FDC The FDC shall be located within 100 feet of a hydrant.	NFPA 14.6.4.5.4	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Premise ID Buildings shall have approved address numbers or building identification placed in a position plainly legible and visible from the street or the road fronting the property.	IFC 505	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A Knox Box is required if access to the building is necessary for life safety or firefighting purposes	IFC 506	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	FDC Locations The locations shall be within 100 feet of an approved fire hydrant.	912.2.1 Ex 2	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Access and Loading. approved fire apparatus access roads shall have an approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds	APP D Sec D102.1	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Access road width with a Hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.	APP D Sec D103.1	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Grade. Fire apparatus access roads shall not exceed 10 percent in grade.	APP D Sec D103.2	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Turning Radius. The minimum turning radius shall be 28 feet as determined by the fire code official.	APP D Sec D103.3	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Buildings Exceeding Three Stories or 30 feet in Height. Buildings or facilities exceeding 30 feet or three stories in height shall have at least two means of fire apparatus access for each structure.	APP D Sec D104.1	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Buildings exceeding 62,000 square feet. Buildings or facilities having a gross building area of more than 62,000 square feet shall be provided with two separate and approved fire apparatus access roads. Exception: Projects having a gross building area of up to 124,000 square feet that have a single approved fire apparatus access road when all buildings are equipped throughout with approved automatic sprinkler systems.	APP D Sec D104.2	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Remoteness. Where two access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses.	APP D Sec D104.3	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aerial Apparatus Road Dimensions Buildings which exceed 30 feet in height require unobstructed aerial apparatus access roads not less than 26 feet in width. Access is required on two sides of the structure and overhead obstructions are prohibited.	APP D Sec D105.1	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The Post or Wall Indicator Valve (PIV or WIV) shall be located on the Plans as per NFPA 13	IFC 901.2	

INSPECTOR SIGNATURE AND BADGE NUMBER: *[Signature]* DATE: 10-12-16

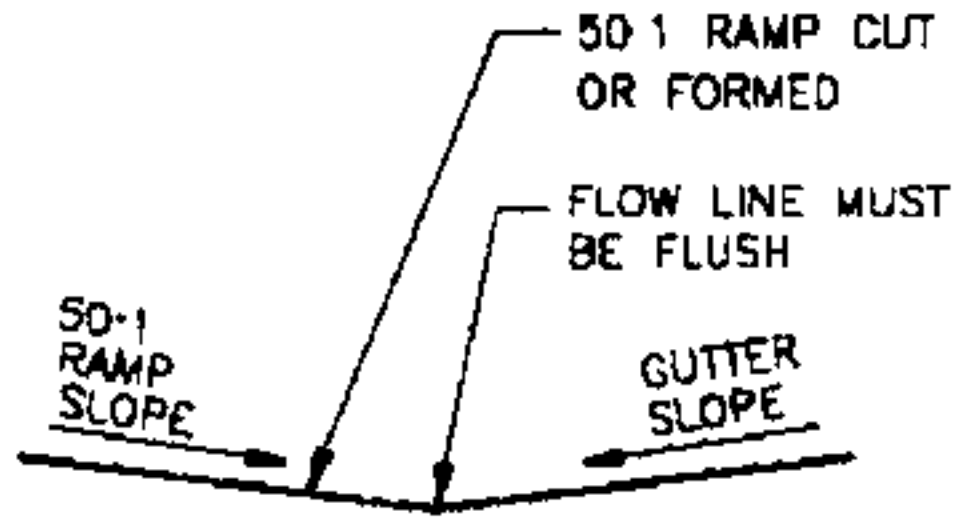
RECEIVING PARTY SIGNATURE: _____ DATE: _____



NOTE
ALT A-1/4" VERT RISE
THEN SLOPE UP TO BACK OF
CURB. (SEE STD DWG 2440)
ALT B-1/2" RISE 1" HORIZ
THEN SLOPE UP TO BACK OF
CURB (SEE STD DWG 2440)



CURB CUT DETAIL - NOT ADA COMPLIANT



CURB CUT DETAIL - ADA COMPLIANT
DETAIL "A"

GENERAL NOTES:

- 1 CURB, GUTTER AND CUT-OFF WALL WILL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC)
- 2 FOR STANDARD AND MEDIAN C&G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX SPACING. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS
- 3 FOR ALL OTHER C & G CUT-OFF WALL PROVIDE CONTRACTION JOINTS AT 10' MAX SPACING. 1/2" EXP JTS AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT ALL FINISHED FACES REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS
- 4 FOR C & G CONSTRUCTED WITH PCC PAVEMENT, CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS
- 5 ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL
- 6 STANDARD C & G SHALL BE USED FOR NEW CONSTRUCTION UNLESS OTHERWISE AUTHORIZED BY THE CITY ENGINEER
- 7 REMOVE & REPLACE PAVEMENT 1" WIDE ADJACENT TO LIP OF GUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT
- 8 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND C & G WHEN CAST ADJACENT TO EACH OTHER
- 9 ADA = AMERICANS WITH DISABILITY ACT

CONSTRUCTION NOTES:
SEE COA DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
9/91	PAVING
11/14/91	CURB AND GUTTER &
12/15/92	CURB CUT DETAILS
3/30/94	DWG 2415A JANUARY 2003

CITY OF ALBUQUERQUE



October 7, 2016

Roger Cinelli & Associates inc.
Roger Cinelli
2418 Manuel Torres LN. N.W.
Albuquerque, NM 87107

Re: Townhouses for Buchanan
4622 12th Street N.W.
Traffic Circulation Layout
Engineer's/Architect's Stamp 09-13-16 (F14-D074)

Dear Mr. Cinelli,

Based upon the information provided in your submittal received 09-15-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify the right of way width, and street widths on 12th Street.
2. Per the zoning code, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details. This path should extend to the two bedroom units as well.
3. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
4. If the drive pad is to be located closer than 5.5' from the property line, a letter of concurrence signed by the neighbor affected is required. Also, the width and location of the neighbors drive is needed.
5. The radius on the bum-out should extend to the end of the parking stall.
6. See Chapter 23, Section 6 of the City of Albuquerque *Development Process Manual*, for appropriate drive pad widths.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact Logan Patz (505) 924-3630.

Sincerely,

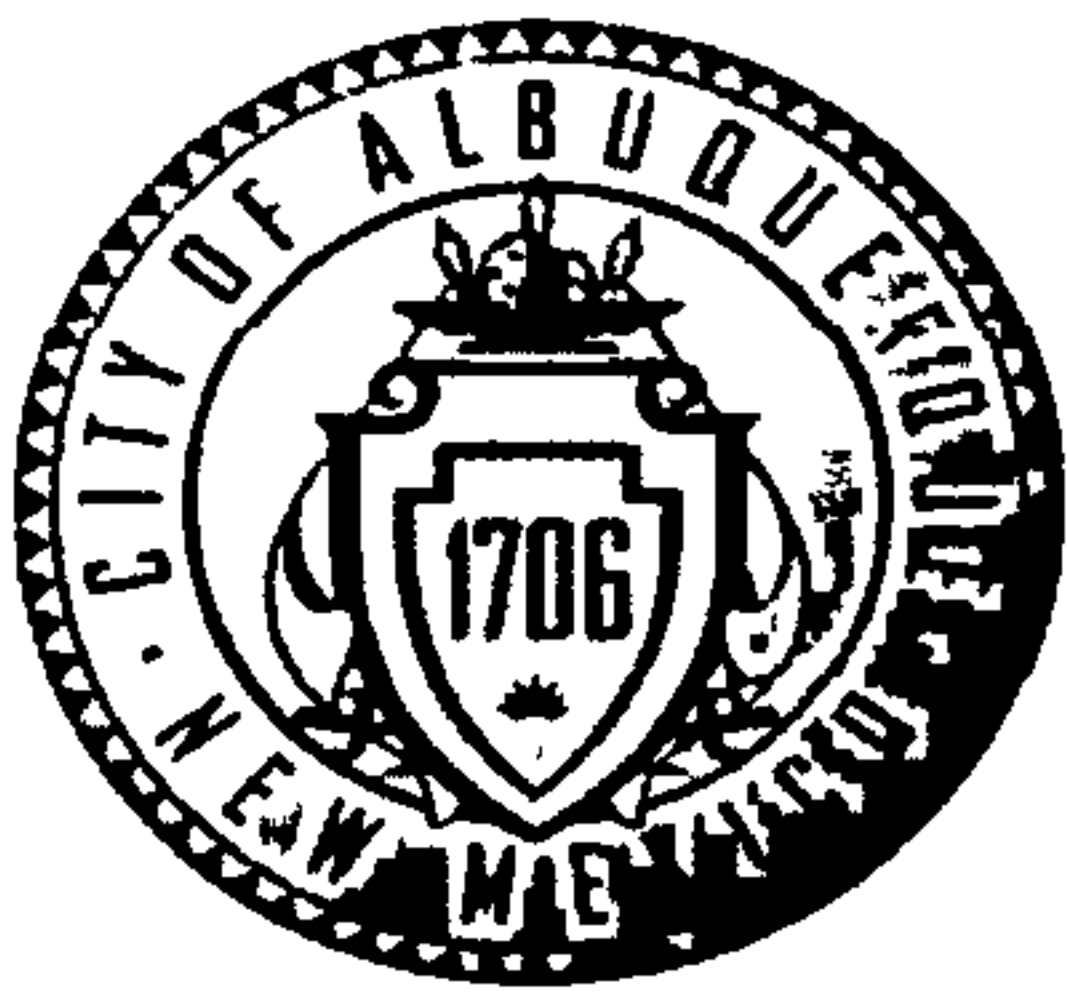
Logan Patz
Traffic Engineer, Planning Dept.
Development Review Services
LWP via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



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Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

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DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 46 ROSSITER ADDITION

City Address: 4622 12th STREET N W F14

Engineering Firm: SCOTT M MC GEE PE, LLC Contact: SCOTT

Address: 9700 TANOAN DRIVE N E ALBUQ, N M 87111

Phone#: 505-263-2905 Fax#: _____ E-mail: scottmmcgee@gmail.com

Owner: JASON BUCHANAN Contact: JASON

Address: PO BOX 65395 ALBUQUERQUE, NEW MEXICO 87193

Phone#: 505-977-1332 Fax#: _____ E-mail: jason@FANDSBUILDERS.COM

Architect: ROGER CINELLI & ASSOCIATES INC Contact: ROGER

Address: 2418 MANUEL TORRES LN N.W ALBUQ, N M 87107

Phone#: 505-243-8211 Fax#: _____ E-mail: rcinelli@q.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
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TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

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☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL? ☐ Yes ☒ No

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

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☐ CERTIFICATE OF OCCUPANCY

- ☐ PRELIMINARY PLAT APPROVAL
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☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 9/15/16 By: ROGER CINELLI

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED _____