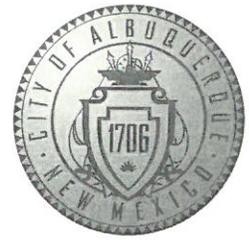


CITY OF ALBUQUERQUE



June 9, 2017

Roger Cinelli
Roger Cinelli and Assoc.
2418 Manuel Torres Lane NW
Albuquerque, NM 87107

**Re: Town Houses For Buchanan
4662 12TH Street NW
Traffic Circulation Layout
Engineer's/Architect's Stamp 06-15-17 (F14-D074)**

Dear Mr. Cinelli,

Based upon the information provided in your submittal received 06-01-17, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. 24 feet is required for two way traffic.
2. Please extend the median islands to the end of the parking space.

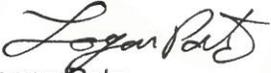
PO Box 1293

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact Monica Ortiz (505) 924-3981 or me at 924-3630

Albuquerque

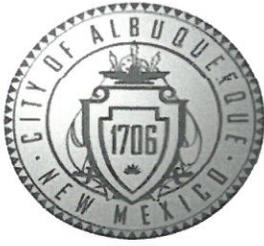
Sincerely,

New Mexico 87103


Logan Patz
Traffic Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

/mao via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: TOWNHOUSES FOR BUCHANAN Building Permit #: _____ City Drainage #: F14D074
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 46 ROSSITER ADDITION
City Address: 4622 12th STREET N.W. F14

Engineering Firm: SCOTT M MC GEE PE, LLC Contact: SCOTT
Address: 9700 TANOAN DRIVE N.E. ALBUQ., N.M. 87111
Phone#: 505-263-2905 Fax#: _____ E-mail: scottmmcgee@gmail.com

Owner: JASON BUCHANAN Contact: JASON
Address: PO BOX 65395 ALBUQUERQUE, NEW MEXICO 87193
Phone#: 505-977-1332 Fax#: _____ E-mail: jason@FANDSBUILDERS.COM

Architect: ROGER CINELLI & ASSOCIATES INC. Contact: ROGER
Address: 2418 MANUEL TORRES LN. N.W. ALBUQ., N.M. 87107
Phone#: 505-243-8211 Fax#: _____ E-mail: rcinelli@q.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

TYPE OF SUBMITTAL:

- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

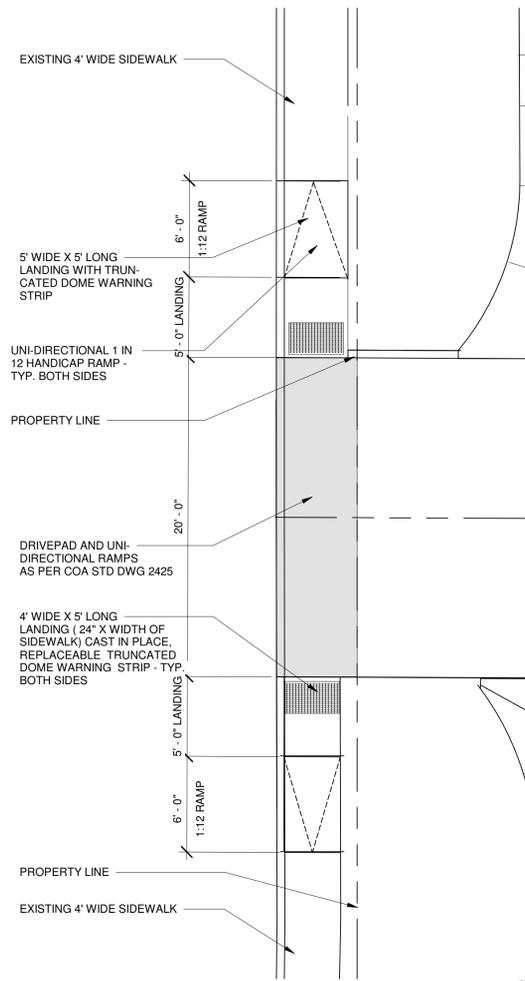


IS THIS A RESUBMITTAL?: Yes No

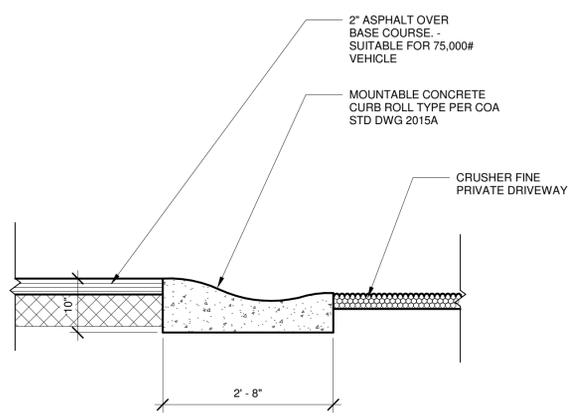
DATE SUBMITTED: 6/1/2017 By: ROGER CINELLI

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

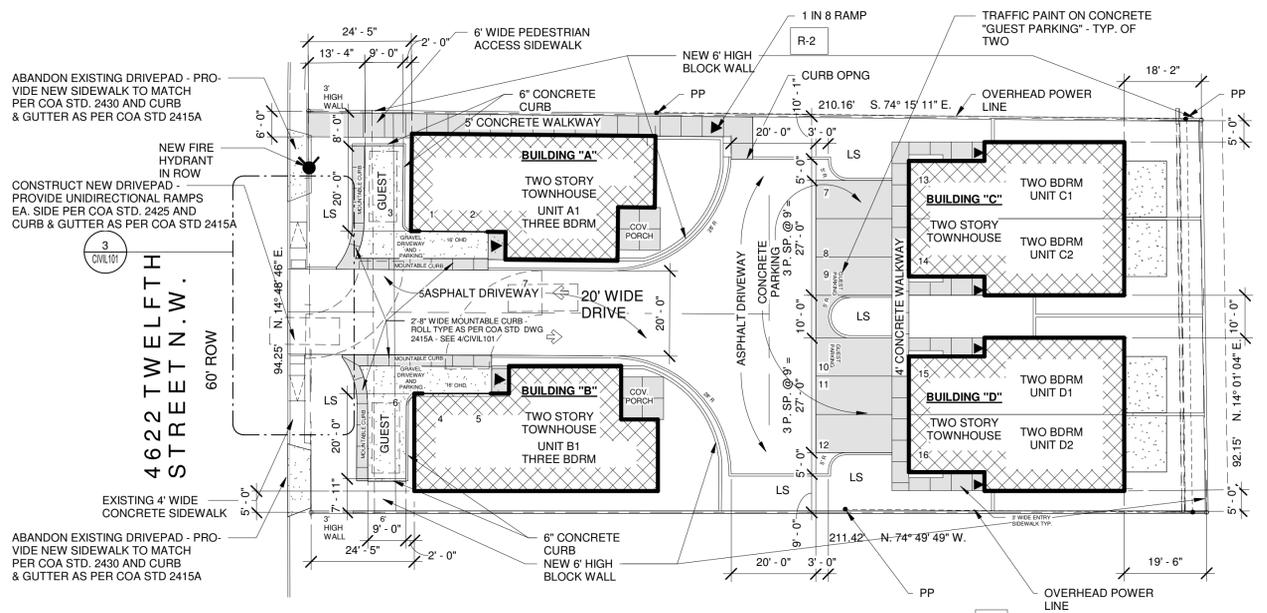
**6 UNIT TOWNHOUSE PROJECT
FOR JASON BUCHANAN
4622 12TH STREET N.W.
ALBUQUERQUE, NEW MEXICO**



3 DRIVEPAD DETAIL
Scale: 3/16" = 1'-0"

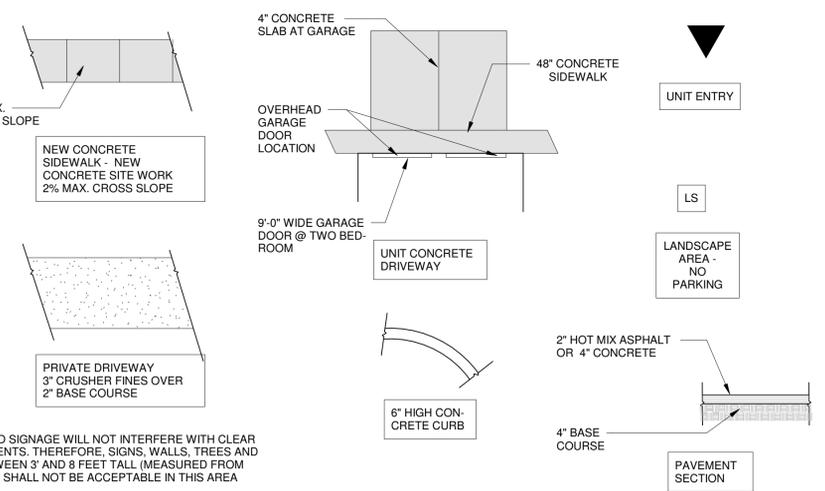


4 ROLL CURB DETAIL.
Scale: 3/4" = 1'-0"



2 TRAFFIC CONTROL LAYOUT
Scale: 1" = 20'-0"

TRAFFIC CONTROL LAYOUT LEGEND



NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8 FEET TALL (MEASURED FROM THE GUTTER PAN) SHALL NOT BE ACCEPTABLE IN THIS AREA

SUBJECT PROPERTY:
4622 12TH ST. N.W.



VICINITY MAP - F-14
Scale: 1" = 400'-0"

DESIGN CRITERIA

- A 6 UNIT TOWNHOUSE DEVELOPMENT FOR JASON BUCHANAN**
- PROJECT LOCATION:** SOUTH OF INTERSECTION OF 12TH STREET AND GRIEGOS ROAD N.W., 4622 12TH ST. N.W., ALBUQUERQUE, NM
- ZONE:** R-T
- SPECIAL EXCEPTION DATED 5-31-17:** SPECIAL EXCEPTION NO. 17ZHE-80061. PROJECT # 1011192. VARIANCE OF 68 FT. TO THE REQUIRED 160 FT. LOT WIDTH FOR 6 DWELLING UNITS
- ZONE ATLAS MAP:** F-14
- LEGAL DESCRIPTION:** LOT 46, ROSSITER ADDITION
- R-T TOTAL ACREAGE:** 0.4509 ACRES
- PROPOSED USES:** RESIDENTIAL DWELLINGS - TOWNHOUSES
- REQUIRED PARKING PER R-T:** TOWNHOUSE UNITS - 6 UNITS X 2 PARKING SPACE = 12 PARKING SPACES
- UNIT PARKING PROVIDED:** OFF STREET UNIT PARKING = 12 PARKING SPACES - COMPLIES
- GUEST PARKING PROVIDED:** OFF STREET GUEST PARKING = 4 PARKING SPACES PROVIDED - 33% OF TOTAL SPACES
- TOTAL PARKING PROVIDED:** OFF STREET PARKING = 16 PARKING SPACES

EXECUTIVE SUMMARY

THE PROJECT IS LOCATED SOUTHEAST OF THE INTERSECTION OF 12TH N.W. AND GRIEGOS N.W. THE PARCEL IS ZONED R-T FOR TOWNHOUSES. THE DEVELOPMENT HAS BEEN APPROVED FOR (6) TOWNHOUSES: (2) DUPLEXES AND (2) SINGLE FAMILY DWELLINGS. THE SINGLE FAMILY DWELLINGS CONSISTS OF (2) THREE BEDROOM TWO CAR GARAGE UNITS. TWO DUPLEXES CONSIST OF (2) TWO BEDROOM/ONE CAR GARAGE UNITS. THE PARKING IN GARAGES SHALL COUNT TOWARD THE PARKING REQUIREMENT.

BIKE AND MOTORCYCLE PARKING SHALL BE ACCOMMODATED IN THE GARAGES.

THE TRAFFIC CIRCULATION CONCEPT CONSISTS OF CONSTRUCTING A NEW DRIVEPAD AS THE SOLE VEHICULAR ACCESS TO THE PROJECT. THE 20 FOOT WIDE DRIVEWAY HEADS EAST OFF OF 12TH STREET. THE OPPOSING THREE BEDROOM GARAGES WILL ACCOMMODATE (4) PARKING SPACES. A SMALL HAMMER HEAD PARKING ARRANGEMENT PROVIDES ACCESS TO THE PARKING FOR THE DUPLEXES. (4) GUEST PARKING SPACES ARE PROVIDED. THE 20 FOOT WIDE PARKING AISLES TERMINATES IN CAR BACK-OUT SPACE ALONG THE SOUTH AND NORTH PROPERTY LINES.

(4) GUEST PARKING SPACES ARE PROVIDED. REFUSE PICKUP SHALL BE GART TYPE AT THE STREET CURB.

THE PROJECT WILL HAVE NO IMPACT ON THE ADJACENT SITES; BUFFER LANDSCAPING AS PER ZONING ORDINANCE SHALL SHIELD DRIVES AND PARKING FROM ADJACENT R-1 AND R-2 USES.

A NOTIFICATION OF DECISION HAS BEEN ISSUED FOR A VARIANCE DATED MAY 31, 2017. THE VARIANCE ALLOWS THE PARCEL TO ACCOMMODATE (4) TOWNHOUSES IN (2) DUPLEXES AND (2) DETACHED SINGLE FAMILY DWELLINGS. SPECIAL EXCEPTION NO. 17ZHE-80061. PROJECT # 1011192

Cinelli / Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
**6 UNIT TOWNHOUSE PROJ.
FOR JASON BUCHANAN
4622 12TH STREET N.W.
ALBUQUERQUE, NEW MEXICO**

DRAWING TITLE:
TRAFFIC CONTROL PLAN

SEAL: [Architect Seal] DATE: JUNE 2016 PROJECT NO.: BUCH12 DRAWING NO.:

CIVIL101
06/15/17