

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 20, 2023

Åsa Nilsson-Weber, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

**RE: 5509 Escondina Lane NW
Grading and Drainage Plan
Engineer's Certification Date: 03/14/23
Engineer's Stamp Date: 12/07/22
Hydrology File: F14D076D**

Dear Ms. Nilsson-Weber:

PO Box 1293

Based upon the information provided in your submittal received 03/14/2023, the Grading and Drainage Plan is approved for Building Permit and Building Pad Certification for 5509 Escondina Lane NW. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (G): Engineer's Certification Checklist for Subdivision and Part 6-14 (H): Required Certification Language is required.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: 5509 Escondida Lane **Building Permit #** _____ **Hydrology File #** F14D076D
DRB# PR-2018-001501 **EPC#** _____
Legal Description: Lot 3, Bosque Escondido **City Address OR Parcel** 5509 Escondida Ln. NW

Applicant/Agent: Isaacson & Arfman, Inc. **Contact:** Åsa Nilsson-Weber or Bryan J. Bobrick
Address: 128 Monroe Street NE **Phone:** (505) 268-8828
Email: asaw@iacivil.com
byranb@iacivil.com

Applicant/Owner: _____ **Contact:** _____
Address: _____ **Phone:** _____
Email: _____

TYPE OF DEVELOPMENT: _____ PLAT (#of lots) ☒ RESIDENCE ☒ DRB SITE _____ ADMIN SITE: _____
RE-SUBMITTAL: _____ YES ☒ NO

DEPARTMENT: _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE
Check all that apply:

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
☒ PAD CERTIFICATION
_____ CONCEPTUAL G&D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOOD PLAN DEVELOPMENT PERMIT APP.
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
ADMINISTRATIVE
_____ TRAFFIC CIRCULATION LAYOUT FOR DRB
APPROVAL
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY)
_____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ CONCEPTUAL TCL DRB APPROVAL
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOOD PLAN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: 03/14/2023 _____



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