

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

September 23, 2021

Roger Cinelli, RA
Cinelli Architects
2418 Manuel Torres Ln. NW
Albuquerque, NM 87107

Re: Townhomes for Azar
321 Sandia Rd. NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 3-7-20 (F14D077)
Certification dated 9-10-21

Dear Mr. Cinelli,

PO Box 1293

Based upon the information provided in your pictures received 9-22-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

NM 87103

Sincerely,

www.cabq.gov

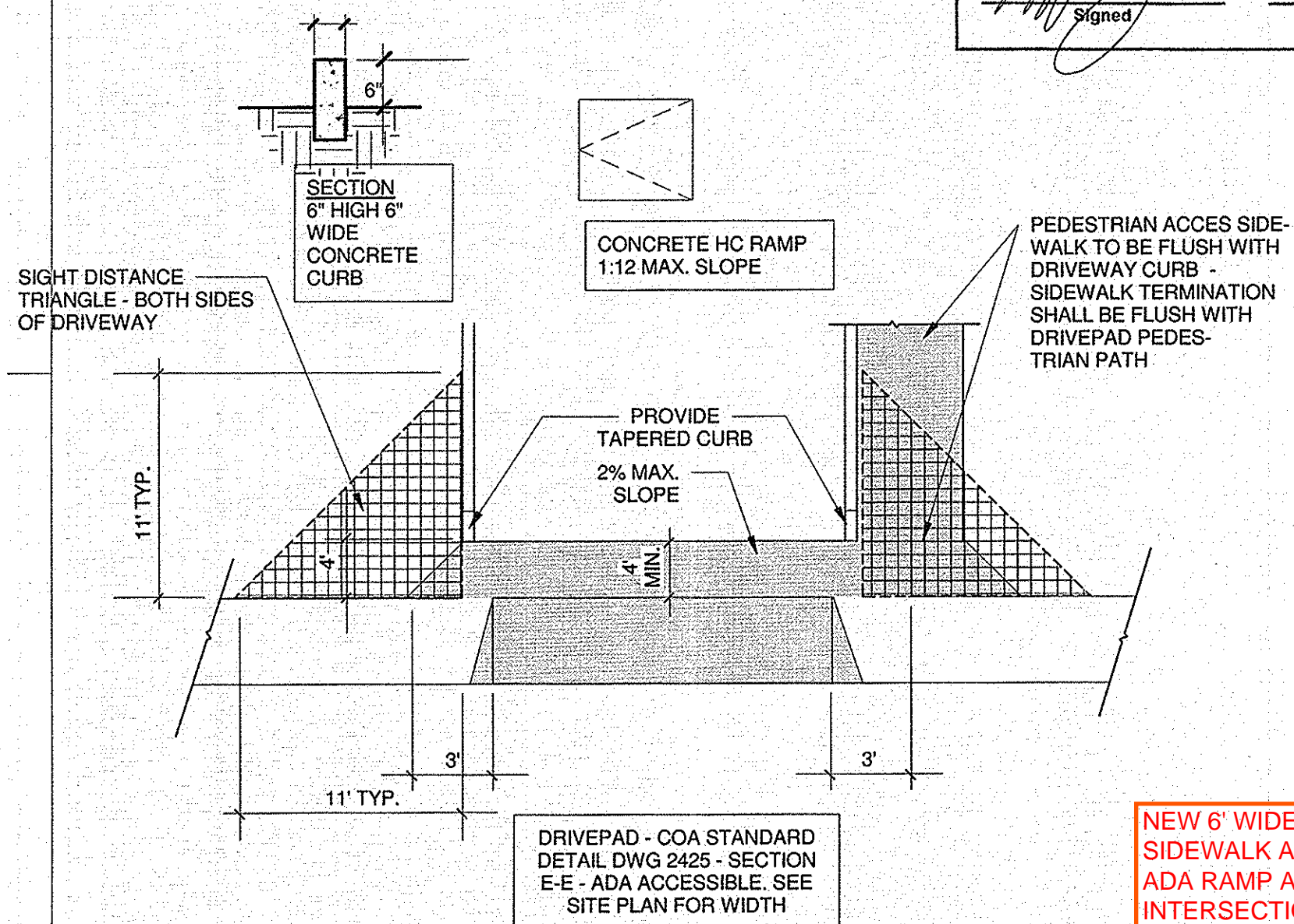
Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

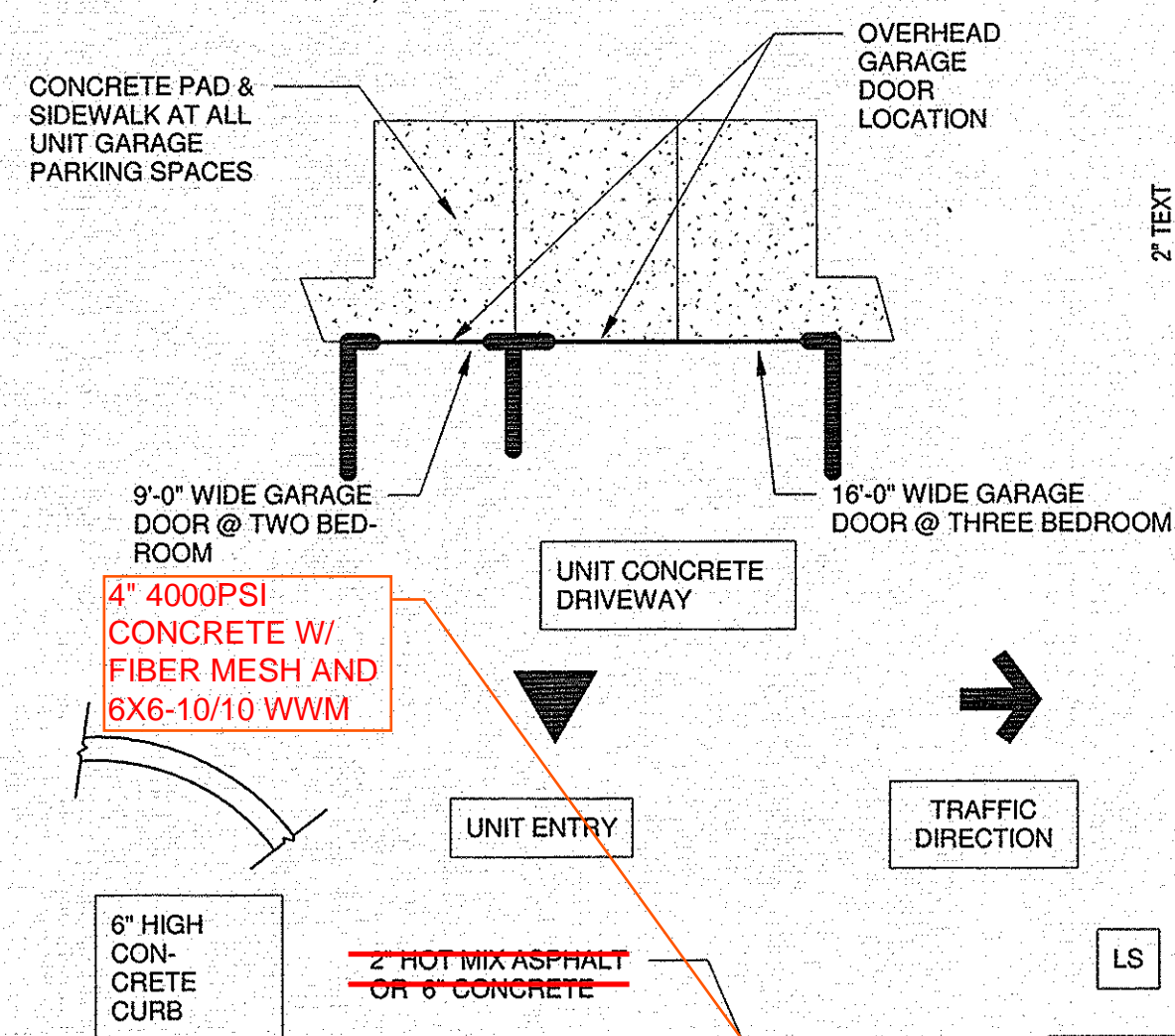
EG via: email
C: CO Clerk, File

CONDITION OF C.O. APPROVAL:
PLAT MUST BE APPROVED
AND IN PLACE

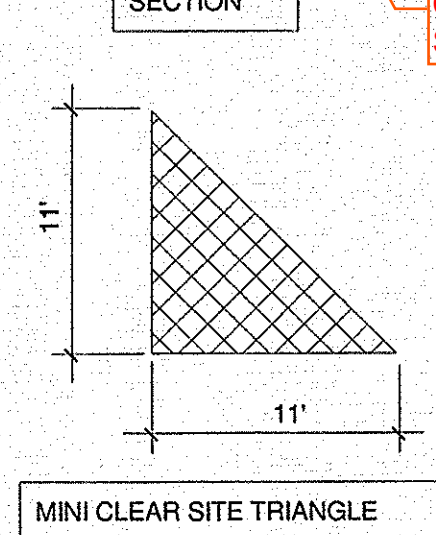
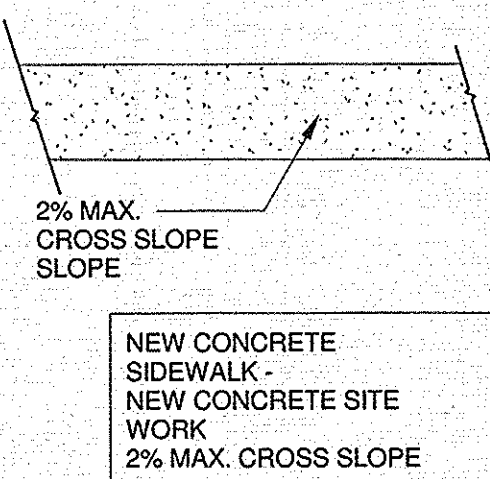
TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] Date: 4-14-20



ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



(E) = EXISTING



NOTE: CLEAR AND MINI CLEAR SIGHT TRIANGLE:
LANDSCAPING AND SIGNAGE WILL NOT
INTERFERE WITH CLEAR SIGHT RE-
QUIREMENTS. THEREFORE, SIGNS,
WALLS, TREES AND SHRUBBERY
BETWEEN 3' AND 8 FEET TALL (MEAS-
URED FROM THE GUTTER PAN) SHALL
NOT BE ACCEPTABLE IN THIS AREA

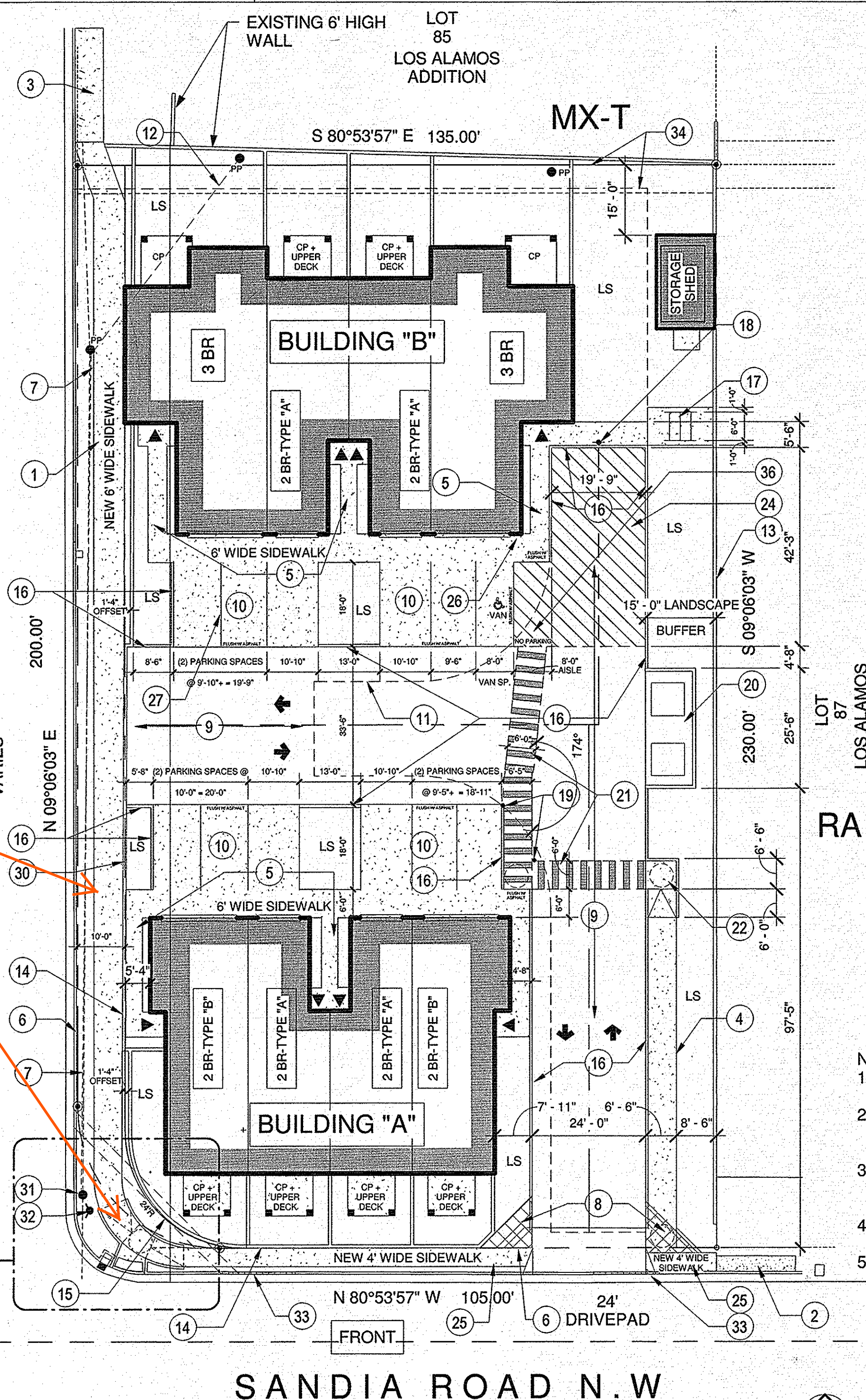
TRAFFIC CIRCULATION PLAN LEGEND

4 ADA PARKING SIGN
Scale: 1" = 1'-0"

3 1 1/2" DIA. PIPE BIKE RACK
Scale: 3/4" = 1'-0"

BICYCLE RACK REQUIREMENTS

1. RACK SHALL BE A MINIMUM 30" TALL AND 18" WIDE
2. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
3. BICYCLE RACK SHALL SUPPORT BICYCLE IN AN UPRIGHT POSITION
4. BICYCLE RACK SHALL ACCOMMODATE VARIOUS BICYCLE FRAME SIZES AND STYLES
5. EACH BICYCLE PARKING SPACE SHALL BE ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE
6. BICYCLE RACK SHALL BE STURDY AND ANCHORED TO CONCRETE PAD
7. BICYCLE PARKING SPACES SHALL BE 6' X 2' WITH 1 FOOT CLEAR ZONE ALL AROUND



TRAFFIC CIRCULATION PLAN

Scale: 1" = 20'-0"

TCL DESIGN CRITERIA

AN 8 UNIT TOWNHOUSE DEVELOPMENT FOR
AZAR PROPERTIES L.L.C.

CODES: 2015IRC, 2015UMC, 2015UPC, 2017NEC,
2015IFC

PROJECT LOCATION: NORTHEAST CORNER OF
INTERSECTION OF SANDIA ROAD AND FOURTH
STREET N.W.
321 SANDIA ROAD N.W., ALBUQUERQUE, NM

ZONE ATLAS MAP: F-14

LEGAL DESCRIPTION: LOT 86, LOS ALAMOS ADDITION

MX-T TOTAL ACREAGE: 0.6556 ACRES

EXISTING ZONING: MX-T

LAND USE CLASSIFICATION: 3000

PROPOSED USES: RESIDENTIAL DWELLINGS FOR R-3
USES

BUILDING HEIGHT: 22'-6" COMPLIES

CONSTRUCTION TYPE: TYPE VB NON SPRINKLERED

SEISMIC ZONE: C

UNIT COUNT:

TWO STORY THREE BEDROOM/ 2 CAR - 2 UNITS
TWO STORY TWO BEDROOM - 4 UNITS
TWO STORY TWO BEDROOM/ 2 CAR - 2 UNITS
TOTAL 8 UNITS

ACCESSORY BUILDING:

(1) NON HAZARDOUS STORAGE BUILDING

REQUIRED VEHICULAR PARKING:

TWO BEDROOM TOWNHOUSE UNITS - 6 UNITS X 1.00
= 6 PARKING SPACES REQUIRED

THREE BEDROOM TOWNHOUSE UNITS - 2 UNITS X 2.0
= 4 PARKING SPACES REQUIRED

TOTAL REQUIRED PARKING = 10 SPACES

LESS MAIN STREET 10% DISCOUNT = 9 SPACES

PROPOSED VEHICULAR PARKING:

PROVIDED PARKING SPACES (INCLUDING GARAGE
SPACES): 24 SPACES INLL (1) ADA VAN PARKING
SPACE PROVIDED COMPLIES

MOTORCYCLE PARKING NOT REQUIRED FOR
RESIDENTIAL USES PER 5-5(d)

REQUIRED BICYCLE PARKING:

IDO TABLE 5-5-5 (3) BICYCLE SPACES REQUIRED

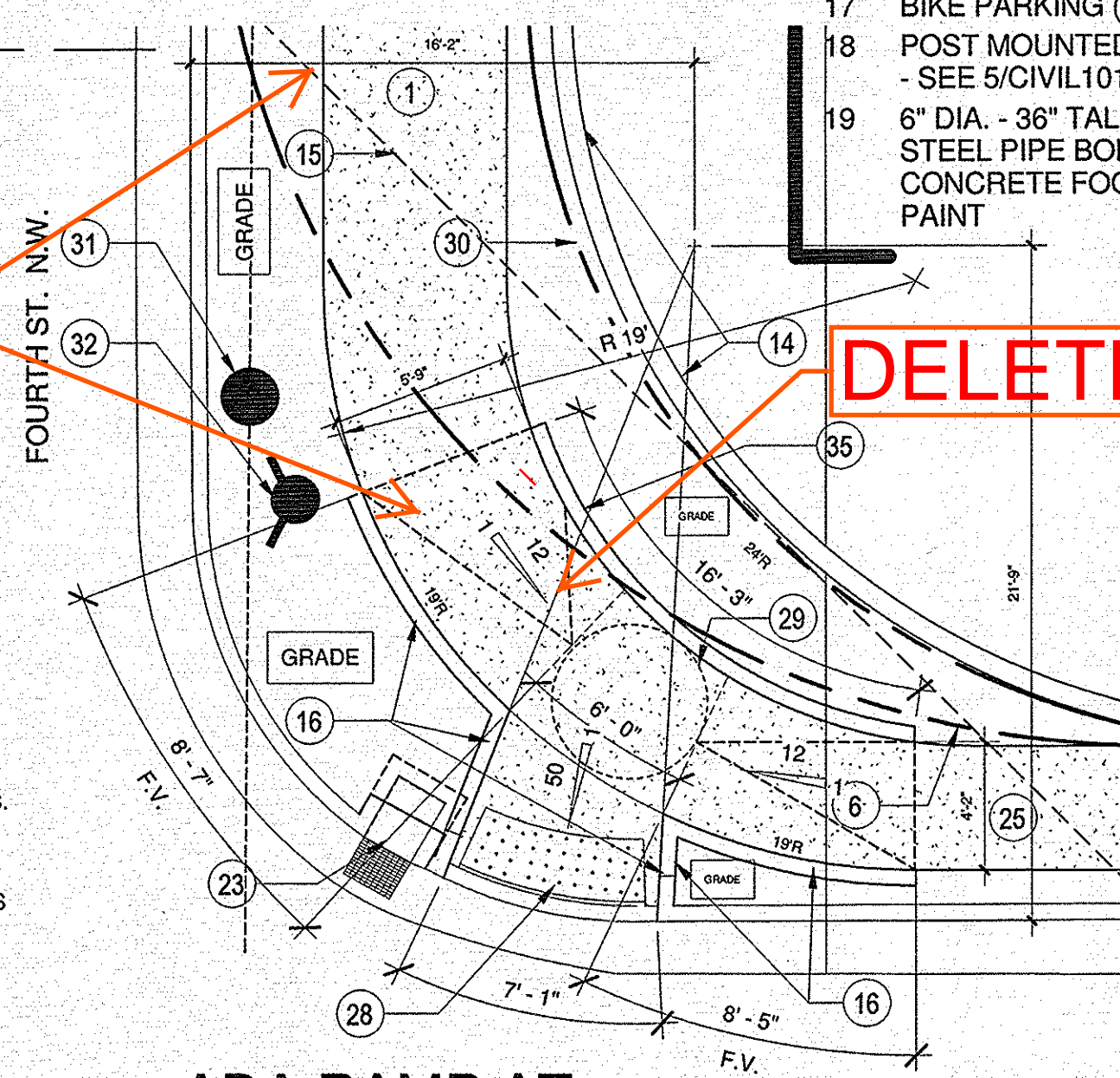
PROPOSED BICYCLE PARKING:

(3) BICYCLE SPACES PROVIDED COMPLIES

NOTES:

1. ALL BROKEN OR CRACKED CURB AND GUTTER MUST
BE REPLACED PER COA STD DWG #2415A & #2430.
2. SEE TRAFFIC CIRCULATION PLAN LEGEND THIS
SHEET FOR COA STD DRIVEPAD, CURBS,
SIDEWALKS AND PAVEMENT SECTION DETAILS
3. ALL WHEELCHAIR RAMPS LOCATED WITHIN THE
PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED
DOME WARNING STRIPS
4. FOURTH ST. NW IS A PREMIUM TRANSIT
DESIGNATION AT SANDIA RD. NW
5. NEW WORK IN THE FOURTH ST. R.O.W. AND SANDIA
RD. R.O.W. SHALL CONSIST OF NEW SIDEWALKS
AND SIDEWALK RAMP ONLY.

NEW ADA RAMP
AT
INTERSECTION -
CITY OF
ALBUQUERQUE
PROJECT
#752580



ADA RAMP AT INTERSECTION

Scale: 3/16" = 1'-0"

DELETED

SHEET KEYNOTES CIVIL101

1. ~~CONSTRUCT 6' WIDE PUBLIC SIDEWALK
AT PROPOSED PROPERTY LINE PER COA
STD DWG NO. 2430.~~
2. EXISTING 4' WIDE SIDEWALK
3. EXISTING 6' WIDE SIDEWALK
4. 6' WIDE PEDESTRIAN ACCESS SIDEWALK
- CONNECT TO PUBLIC SIDEWALK
5. 4'-0" WIDE UNIT ENTRY SIDEWALKS
6. EXISTING PROPERTY LINE
7. OVERHEAD ELECTRICAL LINE @ 21'
A.F.G.
8. MINI CLEAR SITE TRIANGLE - TYP BOTH
SIDES - SEE TRAFFIC CIRCULATION PLAN
LEGEND THIS SHEET
9. ~~ASPHALT PAVING - SEE TRAFFIC
CIRCULATION PLAN LEGEND THIS SHEET~~
10. CONCRETE VEHICULAR GARAGE
PARKING - FLUSH WITH SIDEWALK
11. FIRE APPARATUS TURNING AREA -
ALTERNATE TO 120' HAMMERHEAD
12. 21' HIGH OVERHEAD ELECTRICAL
SERVICE LINE TO BE RELOCATED
13. REMOVE EXISTING 3' & 5' HIGH CMU
WALL - REPLACE WITH 6' HIGH SPLIT
FACED CMU WALL
14. 2' RETAINING WALL WITH 6' SPLIT FACE
CMU BLOCK WALL AT PROPERTY LINE
15. CLEAR SITE TRIANGLE
16. CONCRETE CURB - SEE TRAFFIC
CIRCULATION PLAN LEGEND
17. BIKE PARKING (3 SPACES)
18. POST MOUNTED SIGNAGE "NO PARKING"
- SEE 5/CIVIL101
19. 6" DIA. 36" TALL CONCRETE FILLED
STEEL PIPE BOLLARD W/ 18" DIA
CONCRETE FOOTING 24" DP - YELLOW
PAINT

SHEET KEYNOTES CIVIL101

20. RECYCLE AND REFUSE ROLL OUT
CONTAINERS IN SPLIT FACE BLOCK
ENCLOSURE
21. 6' WIDE PEDESTRIAN ACCESSIBLE
ROUTE - WHITE TRAFFIC PAINT HATCH
ON ASPHALT
22. CONCRETE SIDEWALK RAMP - 1 IN 12
SLOPE
23. EXISTING STORM DRAIN
24. FIRE APPARATUS AND REFUSE TRUCK
BACKUP SPACE - RED PAINT HATCHING
ON ASPHALT
25. CONSTRUCT 4' WIDE PUBLIC SIDEWALK
AT PROPERTY LINE PER COA STD DWG
NO. 2415A & 2430
26. WALL MOUNTED ADA PARKING SIGNAGE
- SEE 4/CIVIL101
27. STRIPING ON CONCRETE
28. TRUNCATED DOME DETECTABLE
WARNING STRIP 24" X WIDTH OF RAMP
29. 5' TURNING SPACE
30. NEW PROPERTY LINE - 10' FROM
FORMER ROW LINE
31. EXISTING POWER POLE
32. EXISTING FIRE HYDRANT
33. REMOVE EXISTING DRIVEPAD -
CONSTRUCT NEW PER COA STD DETAIL
DWG 2515A & 2430 - LOCATE 4' BACK OF
EXISTING PRESERVED CURB AND
GUTTER
34. 6' DITCH UTILITY EASEMENT BOOK D 678,
PAGE 523, BERN. CTY.
35. ~~HEADER CURB~~
36. ADA ACCESS AISLE WITH BLUE TRAFFIC
PAINT - "NO PARKING" ON ASPHALT - 12'
LETTERS WITH 2" STROKE

ALL REDMARKS
RC 09/10/21

Cinelli / Roger Cinelli & Assoc.
ARCHITECTS
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
TOWNHOMES FOR AZAR
PROPERTIES L.L.C.
321 SANDIA RD. N.W.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
TRAFFIC CIRCULATION PLAN

SEAL
STATE OF NEW MEXICO
REGISTERED ARCHITECT
3/7/2020

DATE
FEB 2020
PROJECT NO.
AZA4

DRAWING NO.
CIVIL101

Cinelli

ARCHITECTS

OFFICE (505) 243-8211 FAX (505) 243-8196

ROGER CINELLI & ASSOCIATES, INC. 2418 MANUEL TORRES LANE N.W. ALBUQUERQUE, NEW MEXICO 87107

9/10/21

CITY OF ALBUQUERQUE
TRANSPORTATION DEVELOPMENT SECTION
PLAZA DEL SOL BUILDING
600 2ND STREET N.W.
ALBUQUERQUE, NEW MEXICO 87102

RE: TWO STORY TOWNHOUSE PROJECT WORKING DRAWINGS – (8) UNITS TOTAL –**321**
SANDIA RD N.W., ALBUQUERQUE, NEW MEXICO – F14D077 - ARCHITECT'S STAMP DATED
3/7/2020 - TCL APPROVED 4/13/20 - **FINAL SITE CERTIFICATION**

DEAR SIRs,

I, ROGER CINELLI, NMRA 1102, OF THE FIRM, ROGER CINELLI & ASSOCIATES INC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN, APPROVAL LETTER DATED 4/13/2020.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON SEPTEMBER 9, 2021. THE DRIVE AISLES ARE REINFORCED CONCRETE RATHER THAN ASPHALT. THE DESIGN WILL SUPPORT ALL ANTICIPATED VEHICULAR LOADS.

THE SIX FOOT WIDE SIDEWALK ALONG FOURTH STREET WILL BE CONSTRUCTED BY THE CITY OF ALBUQUERQUE (COA) UNDER PROJECT NO. 752580. THIS INCLUDES THE CURB AND GUTTER ALONG FOURTH AT THE DELETED DRIVEPAD.

THE ADA RAMP AT THE NORTHEAST CORNER OF FOURTH STREET AND SANDIA RD WILL BE CONSTRUCTED BY THE CITY OF ALBUQUERQUE (COA) UNDER PROJECT NO. 752580. SEE PUBLIC IMPROVEMENT AGREEMENT DATED JULY 8, 2021.

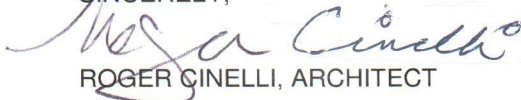
CONSTRUCTION OF SAID SIDEWALK BY COA IS PENDING; ASSURANCES HAVE BEEN PROVIDED BY COA THAT THE CERTIFICATE OF OCCUPANCY CAN BE ISSUED PRIOR TO COMPLETION OF CONSTRUCTION OF THE FOURTH STREET SIDEWALK AND ADA RAMP. CONTACT PERSON WITH COA DMD – BRIDGETTE GARRETT – 505-768-3679.

THE PLAT FOR THE 10' DEDICATION OF FOURTH STREET FRONTAGE IS APPROVED & RECORDED. THE CONDITION OF APPROVAL IS MET.

I FURTHER SUBMIT THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

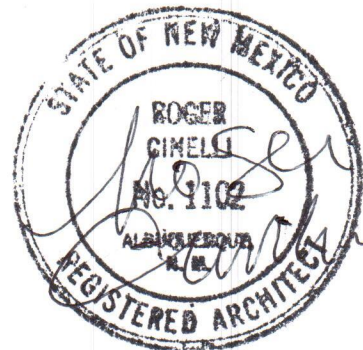
SINCERELY,


ROGER CINELLI, ARCHITECT

9/10/2021
DATE

ATTACHMENTS:

(F14D077)TCLLET_091021.PDF
LOT86-A_PLAT.PDF
CIVIL101
TURNOUTS-SANDIA.PDF
4TH STREET SIDEWALK FINAL 3_11_21-SANDIA
AGREEMENT TO CONSTRUCT PUBLIC IMPROVEMENTS BY CITY CONTRACT



9/10/21

(Procedure C)
PUBLIC IMPROVEMENTS AGREEMENT

AGREEMENT TO CONSTRUCT
PUBLIC IMPROVEMENTS BY CITY CONTRACT

THIS AGREEMENT is made this 8th day of July, 2021, between the City of Albuquerque, a New Mexico municipal corporation, whose address is P.O. Box 1293 , Albuquerque, New Mexico, 87103, and AZAR PROPERTIES L.L.C. ("Developer"), whose address is 11017 GREENVIEW N.E., ALBUQUERQUE, NEW MEXICO 87111-7411, and whose telephone number is _505-980-1950, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Developer is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as: [describe]: LOT 86-A LOS ALAMOS ADDITION. ALBUQUERQUE, NEW MEXICO ("Developer's Property"). The Developer's Property is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in Developer's Property to the present owner] AZAR PROPERTIES L.L.C. ("Owner").

The City and the property Developer have agreed that it would be beneficial to all parties and the general public to make certain improvements to the public roadways and that it is appropriate that the Developer contribute to the cost of the improvements.

The City and the property Developer have agreed that it would be beneficial to all parties and the general public to make certain improvements to the public roadways and that it is appropriate that the Developer contribute to the cost of the improvements.

Developer's Property will benefit from the construction of certain improvements detailed below, which will be located on public right-of-way, and the City is willing to construct those improvements with the participation of the Developer.

THEREFORE, the City and the Developer agree:

2. Improvements. The City agrees to install and complete the following public improvements, identified as Project No. 752580: Sidewalk along property's frontage on 4th Street NW, including ADA ramp at northeast corner of 4th Street and Sandia Road NW ("Improvements").

3. Developer's Estimated Cost. The Developer's share has been determined to be ten thousand, eight hundred eighty-three dollars and forty-four cents (\$ 10,883.44) ("Developer's Share"), as shown on the attached City-approved infrastructure list is attached as **Exhibit A**. The developer's share includes City fees and contingencies and is the only amount Developer will be required to contribute for this project.

4. Payment. All payments will be made only in the following form: certified check, cashier's check, electronic or other form of payment approved by the City.

5. Notice. For purposes of giving formal written notice, including notice of change of address, the Developer's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six (6) days after the notice is mailed if there is no actual evidence of receipt.

6. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

7. Changes to Agreement. Changes to this Agreement are not binding unless made in writing and signed by both parties.

8. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

9. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

10. Authority to Execute: If the Developer signing below is not the Owner of the Developer's Property, the City may require the Developer to provide the City with satisfactory proof of the Developer's authority to execute this Agreement.

Executed on the date stated in the first paragraph of this Agreement.

DEVELOPER: AZAR PROPERTIES, LLC ←
By [signature]: [Signature]
Name [print]: AZAR
Title: Owner
Dated: 7-6-21

DEVELOPER'S NOTARY

STATE OF New Mexico)
) ss.
COUNTY OF Bernalillo)

←

This instrument was acknowledged before me on this 10 day of July, 2021
by [name of person:] Joe Azar, [title or
capacity, for instance, "President" or "Owner":] owner of [Developer]
Azar Properties, LLC.

(SEAL)

Mariah Easton
Notary Public

My Commission Expires: 08/26/2024



OFFICIAL SEAL
Mariah Easton
NOTARY PUBLIC - STATE OF NEW MEXICO

My Commission Expires: 08/26/2024

CITY OF ALBUQUERQUE

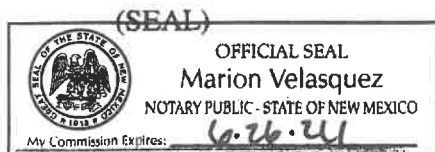
By: Shahab Biazar
Shahab Biazar, P.E., City Engineer
7/8/2021 | 12:14 PM MDT
Dated: _____

DS
C C
DS
km

CITY'S NOTARY

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss.

This instrument was acknowledged before me on this 8th day of July,
2021 by Shahab Biazar, P.E., City Engineer of the City of Albuquerque, a municipal
corporation, on behalf of said corporation.



Marion Velasquez
Notary Public
My Commission Expires: June 26 2024

[To be used with SIA Procedure C, or C Modified]

ENCLOSURE 49

Project Number:

Date Submitted:

Date Preliminary Plat Approved:

Date Preliminary Plat Expires:

DRB Project No.: PR-2019-002281

DRB Application No.: _____

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

LOT 86A LOS ALAMOS ADDITION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 86 LOS ALAMOS ADDITION
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that applicant items and/or unprocessed items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that applicant or non-assessed items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agentowner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unprocessed items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

[illegible]

or constructed w/ Building Permit

PAGE 1 OF 2
Annotations by Jim Roeder, 7/30/2020

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Private Inspector	City Const P.E. Engineer
							/	/
							/	/
							/	/
							/	/

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 _____

2 _____

3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

DAVIDSOULE

NAME (print)

DRB CHAIR - date

Jun 16, 2020

RIO GRANDE ENGINEERING

FIRM

SIGNATURE - date
4/23/20

Leanne Woffenbarger
Leanne Woffenbarger
Jun 16, 2020

TRANSPORTATION DEVELOPMENT - date

Kristopher Gaden
Kristopher Gaden
Jun 17, 2020

UTILITY DEVELOPMENT - date

Carroll Gaden
Carroll Gaden
Jun 16, 2020

CITY ENGINEER - date

- date

Cheryl Kmetz
Cheryl Kmetz
Jun 16, 2020

PARKS & RECREATION - date

AMAFCA - date

Carl Gaden
Carl Gaden
Jun 16, 2020

CODE ENFORCEMENT - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRB CHAIR	USER DEPARTMENT	AGENT / OWNER



City of Albuquerque Planning Department
Design Review and Construction Services Invoice

Project Name: Sandia Townhomes

CPN: 752580

PURPOSE	ACCOUNT NUMBER	FUND NUMBER	DEPARTMENT ID	AMOUNT
ENGINEERING FEES, DESIGN DEPOSIT	441004	110	4961000	\$
FINANCIAL GUARANTY REQUEST (\$75)	441004	110	4961000	\$
FINANCIAL GUARANTY REDUCTION (\$200)	441004	110	4961000	\$
REVOCABLE PERMITS AND LICENSE AGREEMENTS	425015	110	4961000	\$
FUNDS FOR THE FINANCIAL GUARANTY	233100	110	4961000	\$
ALT SIDEWALK AGREEMENT ¹	461615	305	7545360	\$
SIDEWALK VERIFICATION (\$100)	444012	110	4961000	\$
RECORDING FEES (\$25/AGREEMENT)	521010	110	4961000	\$
PROCEDURE C PAYMENT	472402	305	7545090	\$10,883.44
TOTAL AMOUNT				\$ 10,883.44

¹ Alternative Sidewalk Agreements require a Sidewalk Verification.

PREPARED BY: James Roeder PHONE 924-3992

DATE: July 6, 2021

This invoice can be paid at any City of Albuquerque Treasury location. **Bring three copies of this invoice to Treasury.** The most convenient location may be at Plaza Del Sol, 600 2nd St NW. Provide a copy of the receipt to DRC, Suite 400 600 2nd St. NW, or e-mail to a Design Review and Construction employee:

City of Albuquerque

Reference Number: 2021188002-3
Date/Time: 07/07/2021 10:00:08 AM

Departmental Deposit
2021188002-3-1

Departmental Deposit 1@ \$10,883.44
GL #: |305|472402|7545090|
Total: \$10,883.44

1 ITEM TOTAL: \$10,883.44

TOTAL: \$10,883.44

DUPLICATE RECEIPT 7/7/2021 10:00:51 AM

Check \$10,883.44

Bank Account #: *****8493

Check Number: 2662206

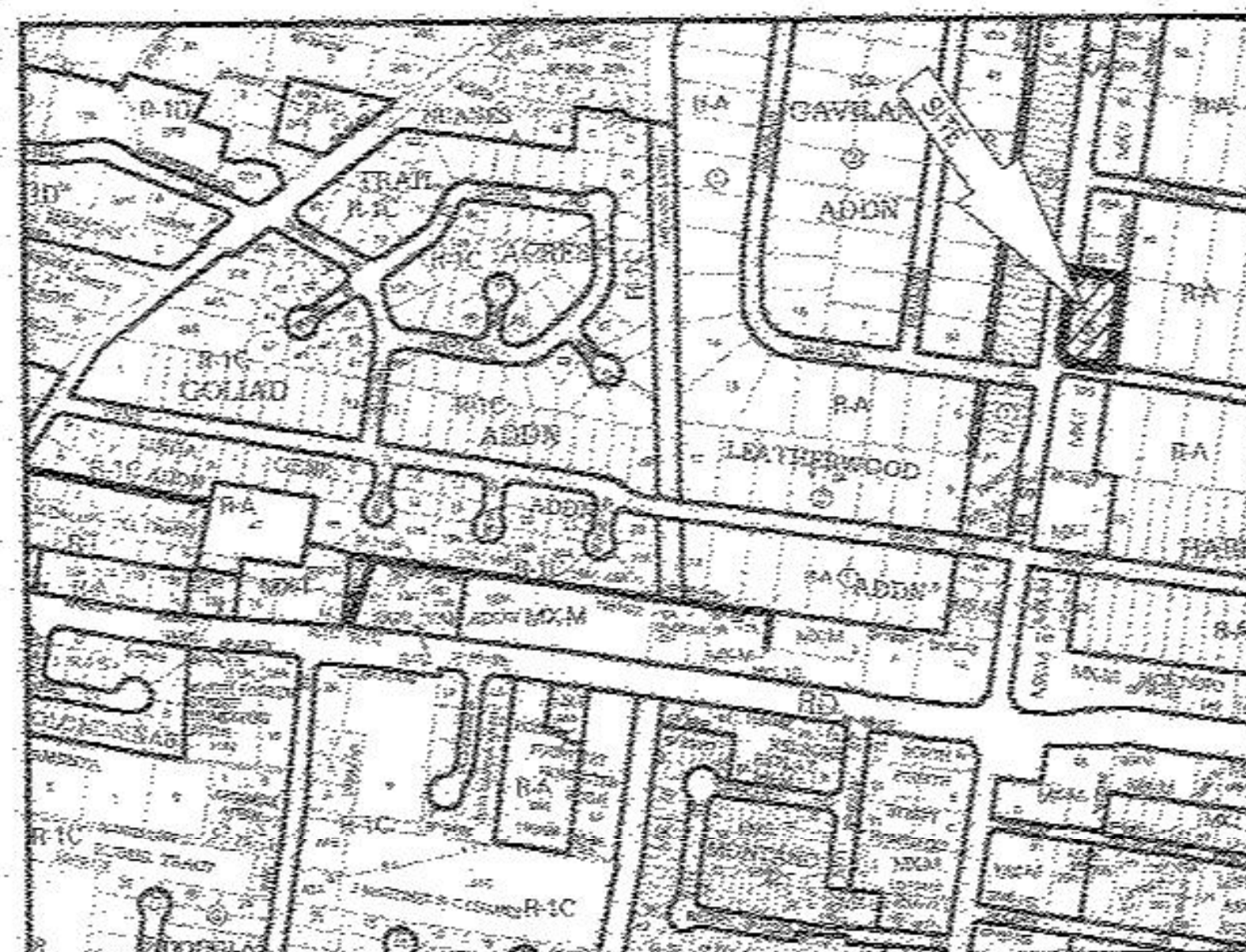
Bank Routing #: *****0551

Address:

Total Received: \$10,883.44



Thank you for your payment.



VICINITY MAP No. F-14-Z

THE PURPOSE OF THIS PLAT IS TO DEDICATE ADDITIONAL RIGHT-OF-WAY ALONG FOURTH STREET N.W. TO THE CITY OF ALBUQUERQUE AND GRANT ANY EASEMENTS AS SHOWN.

1. UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
2. THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
3. TOTAL AREA OF PROPERTY: 0.7083 ACRES.
4. BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
5. DISTANCES ARE GROUND. BEARINGS ARE GRID.
6. BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
7. DATE OF FIELD WORK: SEPTEMBER 25, 2016
8. NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT
9. PLATS USED TO ESTABLISH BOUNDARY.
- A: AMENDED PLAT OF LOS ALAMOS ADDITION
FILED SEPTEMBER 2, 1938 IN VOLUME C, FOLIO 36
11. THE PROPERTY SHOWN HEREON IS LOCATED WITHIN FEMA ZONE X, WHICH IS DEFINED AS AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. OVERTOPPING OR FAILURE OF THE STRUCTURE PROTECTING THIS AREA IS POSSIBLE. FLOOD INSURANCE AND ADHERENCE TO ELEVATION PROCEDURES ARE STRONGLY RECOMMENDED. FEMA FIRM PANEL No. 35001C0119G DATED: 09/25/2008

LOT NUMBERED EIGHTY-SIX (86) OF THE AMENDED PLAT OF THE LOS ALAMOS ADDITION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE AMENDED PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 8, 1938 IN VOLUME C, FOLD 36.

18/06/2020 12:25 PM Page: 1 of 2
PLAT 2 \$25.00 B. 2620C P. 0058 Linda Staver, Bernalillo County

PUBLIC UTILITY EASEMENTS

Disclaimer
In approving this plot, Public Service Company of New Mexico (PSCN), QUEST D/B/A CENTURYLINK and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PSCN, QUEST D/B/A CENTURYLINK and NMGC do not waive or release any easement or easement rights which may have been granted by prior plot, rental or other document and which are not shown on this plot.

THE SUBDIVISION HEREBY DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT, THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND ALSO DEDICATED ADDITIONAL RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

MY COMMISSION EXPIRES: 11-10-22

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# 1-014-0649389710524

ABCMJA

Robert H. H. H.

PARKS AND RECREATION DEPARTMENT

1998

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AP/AFCA

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CHY ENL

1000 CHAUFFESSON PLANNING DEPARTMENT

Carl Bessie

Carle

CODE ENFORCEMENT

SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO } S.S.
COUNTY OF BERNALILLO }

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO
THIS 16th DAY OF May, 2020

Anthony L. Harris

THE SURVEY OFFICE, LLC

ALBUQUERQUE, NEW MEXICO PHONE: (505) 998-0303
333 TOMAS BLVD. N.E. 87102 FAX: (505) 998-0305

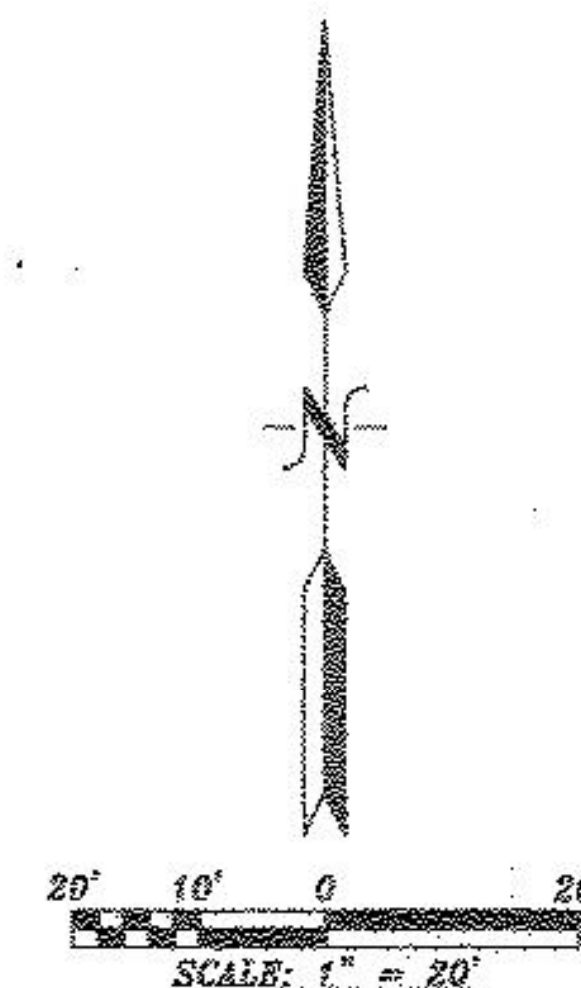
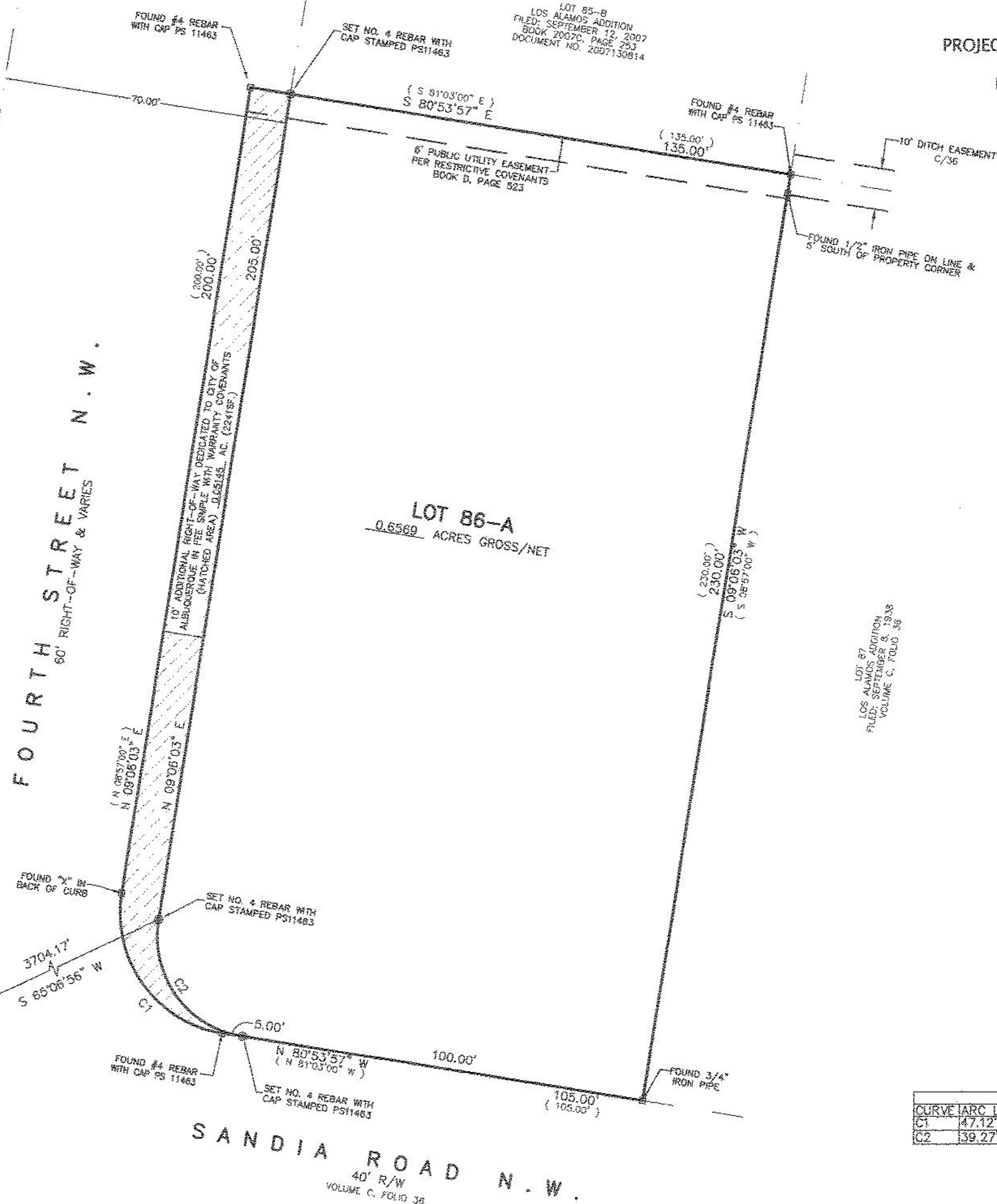
SHEET 1 OF 2

DOC# 2020057923

10/05/2020 12:25 PM Page: 2 of 2
PL# 2-525 00 8: 20200 P: 5058 Linda Stover, Bernalillo County

PLAT OF
LOT 86-A
LOS ALAMOS ADDITION
WITHIN
ELENA GALLEGOS GRANT
PROJECTED SECTION 32, T.11N., R.3E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2020

ACS STATION "DOUGLAS"
N=1,505,417.495 US SURVEY FEET
E=1,520,266.421 US SURVEY FEET
GRD TO GRID=0.989682452
Δκ = -00° 13' 52.53"
CENTRAL ZONE, NAD 1983
ELEVATION = 4,975.078 US SURVEY FEET
NAVD 1988



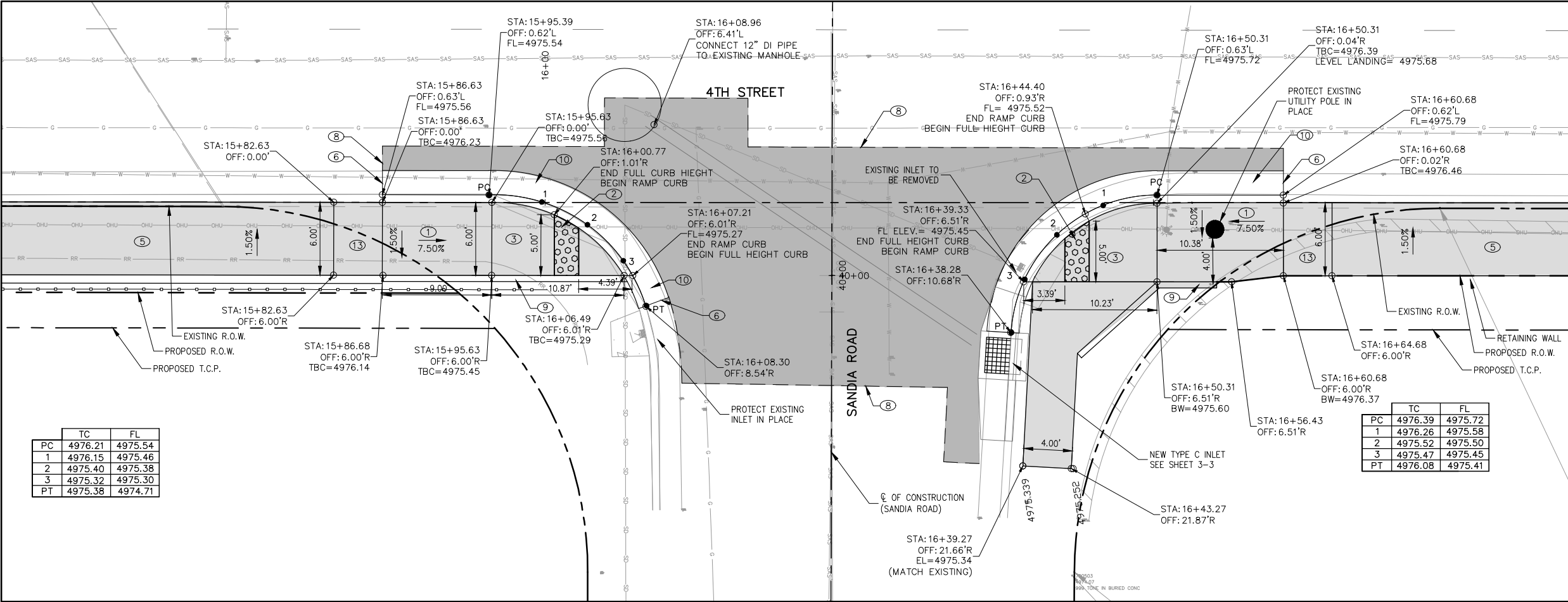
CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	47.12'	30.00'	90°00'00"	N 35°53'57" W	42.43'
C2	39.27'	25.00'	90°00'00"	S 35°53'57" E	35.36'

THE SURVEY OFFICE, LLC
ALBUQUERQUE, NEW MEXICO PHONE: (505) 998-0303
333 LOMAS BLVD., N.E. 87102 FAX: (505) 998-0305

18-0970_Plot.dwg

2020 C-98

(2)



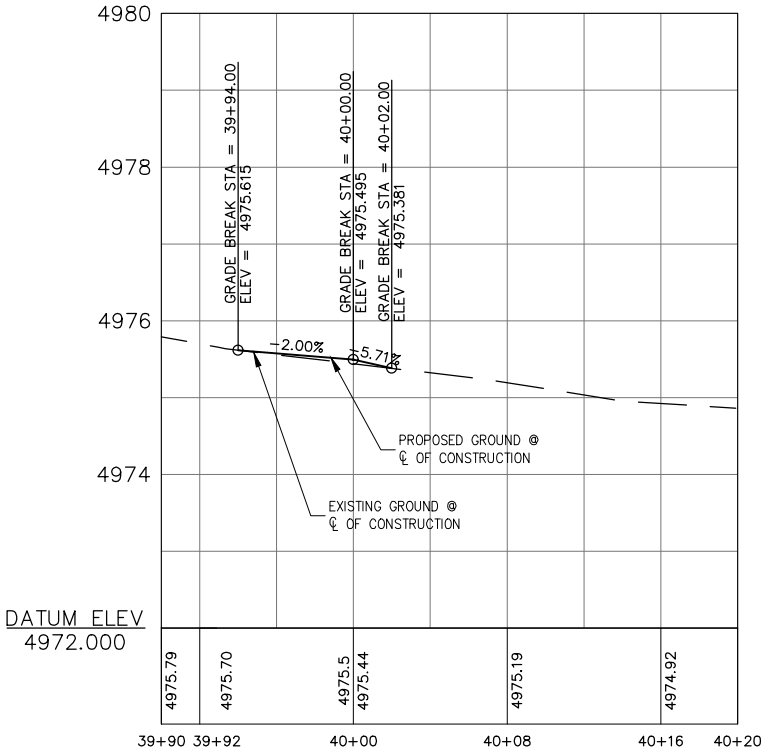
- GENERAL NOTES**
- STATIONS, OFFSETS, CURVE DATA, AND ELEVATIONS FOR CURB & GUTTER ARE GIVEN TO FLOWLINE UNLESS OTHERWISE NOTED.
 - STATIONS, OFFSETS, AND ELEVATIONS FOR BACK OF CURB RAMP ARE GIVEN TO FRONT FACE OF INTEGRAL CURB, UNLESS OTHERWISE NOTED.
 - CURB RAMP SHALL BE CONSTRUCTED WITH 4" THICK CONCRETE.
 - SEE NMDOT STANDARD DRAWINGS 608-001-1 TO 608-001-12 FOR CURB RAMP, SIDEWALKS, DRIVEWAYS, AND DETECTABLE WARNING SURFACE DETAILS. DETECTABLE WARNING SURFACE TO BE "CAST IN PLACE AND REPLACEABLE" AT ALL NEW RAMP.
 - STATIONS AND OFFSETS REFERENCE CL CONSTRUCTION 4TH STREET ALIGNMENT UNLESS OTHERWISE NOTED.
- KEYED NOTES**
- RAMP SLOPE. RUNNING SLOPES OF CURB RAMP SHALL BE 8.30 % MAX. CROSS SLOPES SHALL BE 1.50% TYP. (2.00% MAX.)
 - INSTALL 2' WIDE DETECTABLE WARNING SURFACE, SEE GENERAL NOTES THIS SHEET. SEE DETAIL ON SHEET 1-9.
 - LANDING. CROSS SLOPES AND RUNNING SLOPES OF LANDINGS SHALL BE 1.50% TYP. (2.00% MAX.)
 - SLOPED CURB TO MATCH RAMP
 - BUILD CONCRETE SIDEWALK, SEE COA STD. DWG. 2430.
 - MATCH EXISTING CURB AT NEAREST JOINT LOCATION.
 - MATCH EXISTING SIDEWALK AT NEAREST JOINT LOCATION.
 - SAW CUT LINE, MATCH EXISTING ASPHALT
 - BUILD INTEGRAL CURB, SEE DETAIL ON SHEET 1-9
 - BUILD STANDARD CURB AND GUTTER, SEE COA STD. DWG. 2415A
 - BUILD GUTTER AT DRIVEPAD 8" OPTION, SEE COA STD. DWG. 2415A
 - BUILD 6" CONCRETE DRIVEPAD
 - TRANSITION SIDEWALK CROSS-SLOPE

LEGEND:

- NEW CONCRETE
- NEW ASPHALT

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

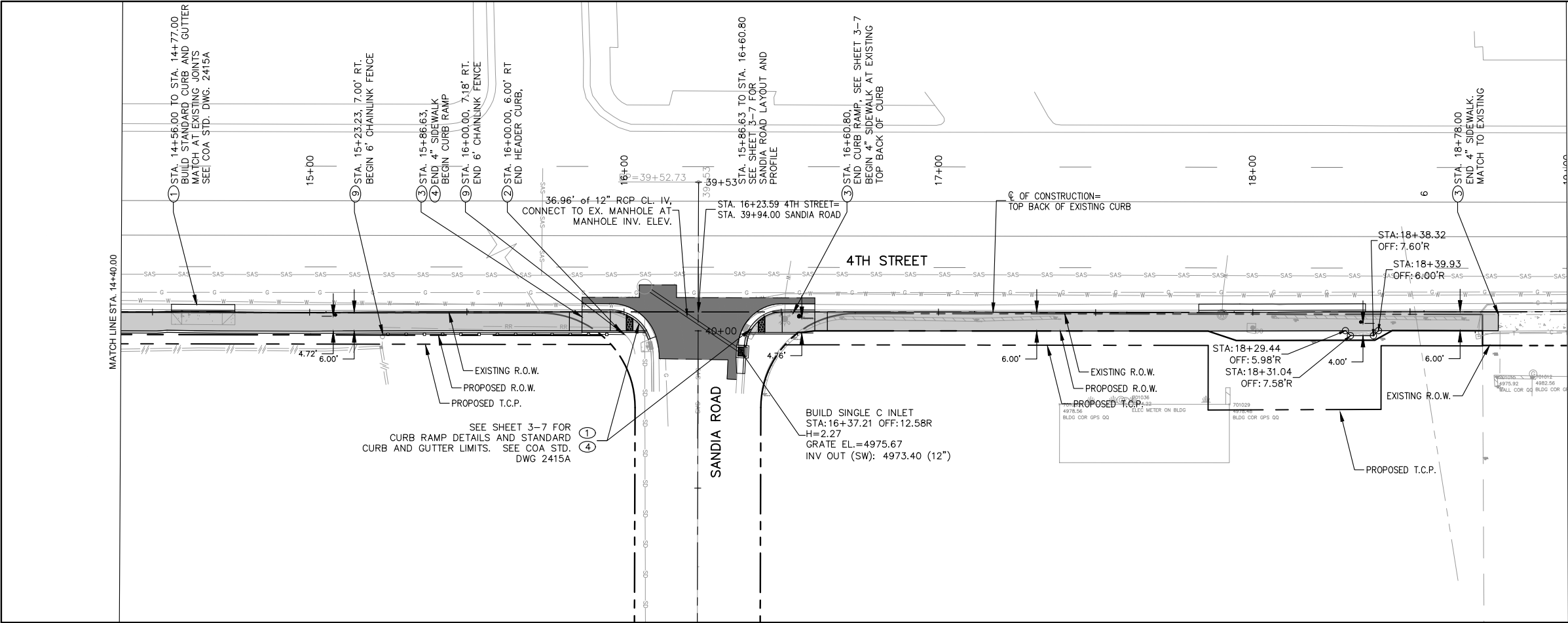


CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION
NORTH 4TH STREET PEDESTRIAN IMPROVEMENTS

SANDIA ROAD PLAN & PROFILE

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

City Project No. COA 7525.01 Zone Map No. F14 Sheet 3-7



GENERAL NOTES:

1. STATION AND OFFSET FOR CURB AND GUTTER GIVEN TO FLOWLINE UNLESS OTHERWISE NOTED.
2. ALL TIE POINTS SHALL TIE TO EXISTING CURB & GUTTER OR SIDEWALK.
3. STATION AND OFFSET PROVIDED REFERENCE CL OF CONSTRUCTION ON FOURTH STREET.
4. UTILITY POLE TO REMAIN. PROTECT IN PLACE

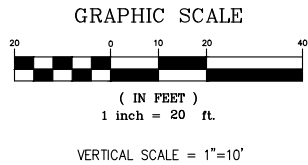
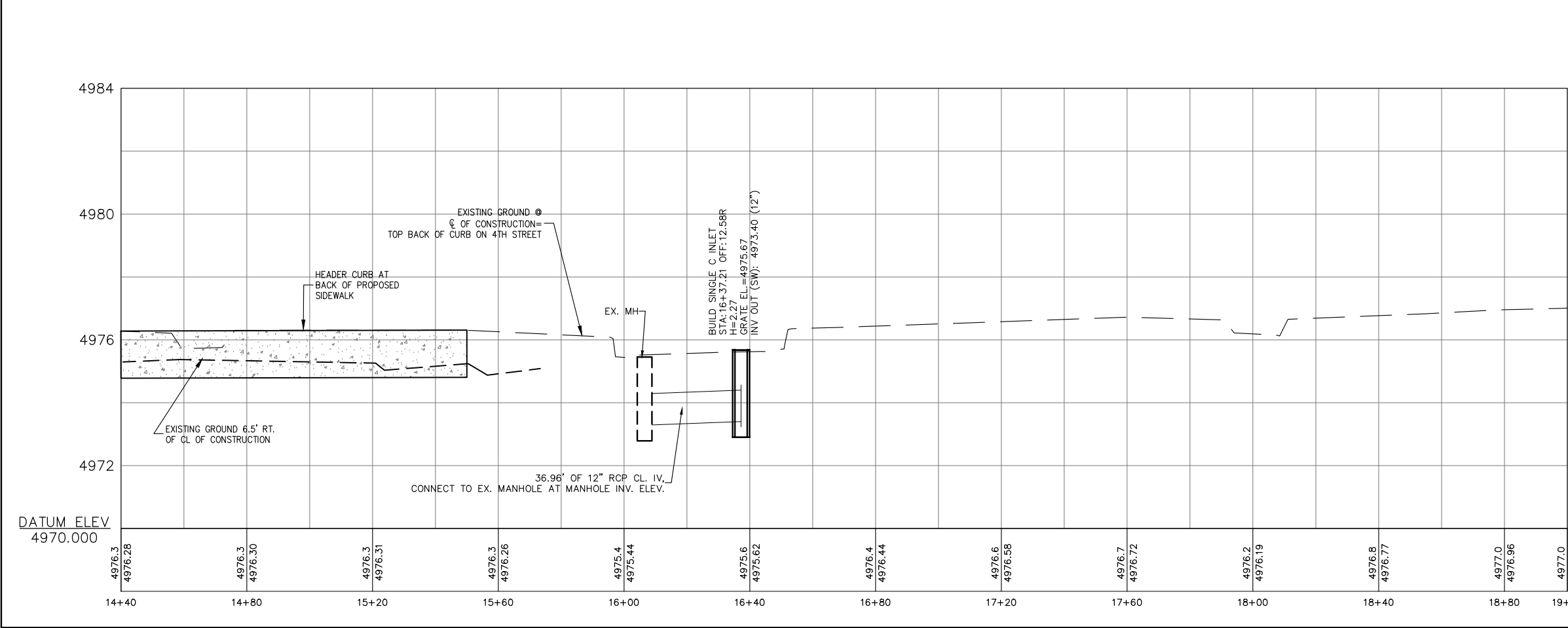
KEYED NOTES:

- 1 BUILD STANDARD CURB & GUTTER. SEE COA STD. DWG. 2415A.
- 2 BUILD HEADER CURB. SEE COA STD. DWG. 2415A.
- 3 BUILD 4" THICK CONCRETE SIDEWALK. SEE COA STD. DWG. 2430 .
- 4 BUILD CURB RAMP, SEE CURB RAMP DETAIL SHEETS 3-7 THRU 3-15.
- 5 BUILD 6" CONCRETE DRIVEPAD. SEE SHEETS 3-7 THRU 3-15
- 6 BUILD RETAINING WALL. SEE SHEETS 4-1 THRU 4-3
- 7 BUILD VALLEY GUTTER. SEE COA STD. DWG. 2420
- 8 BUILD 8' CHAINLINK FENCE
- 9 BUILD 6' CHAINLINK FENCE

LEGEND:

- NEW CONCRETE
- NEW ASPHALT

Elevations are in NAVD 1988

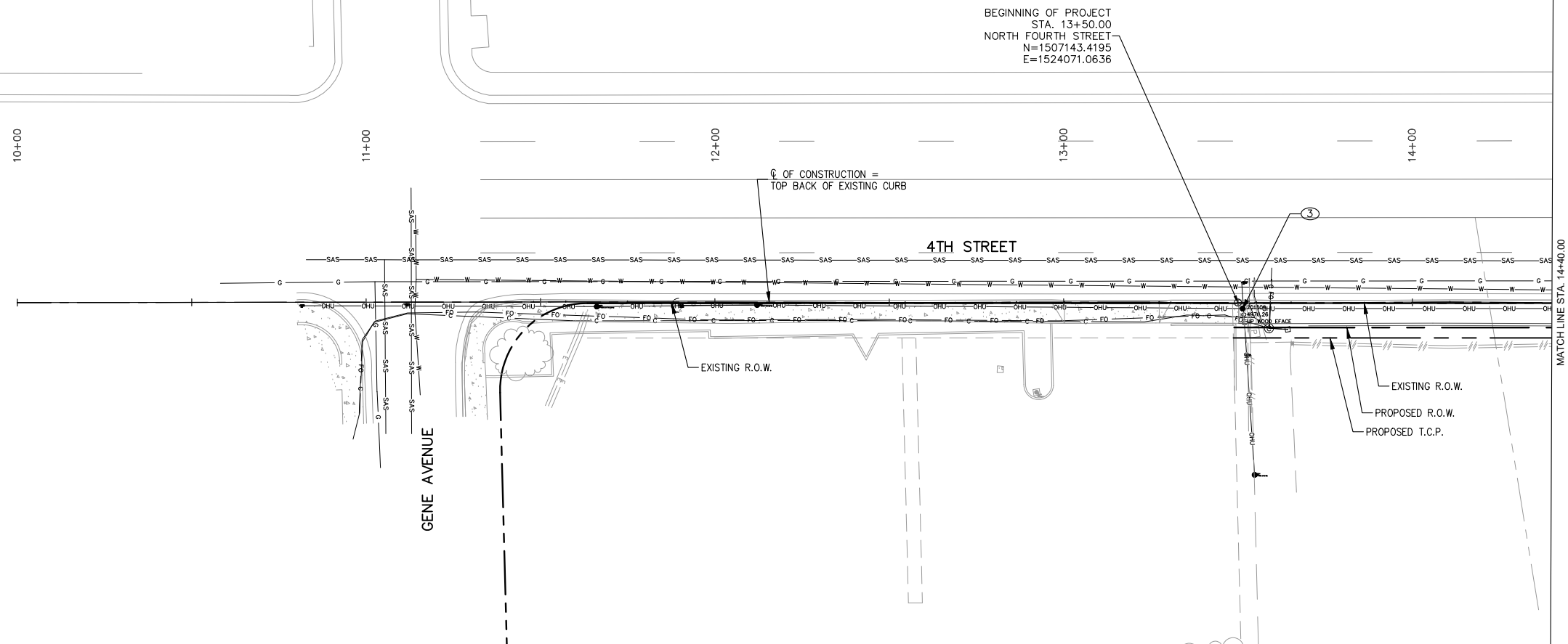
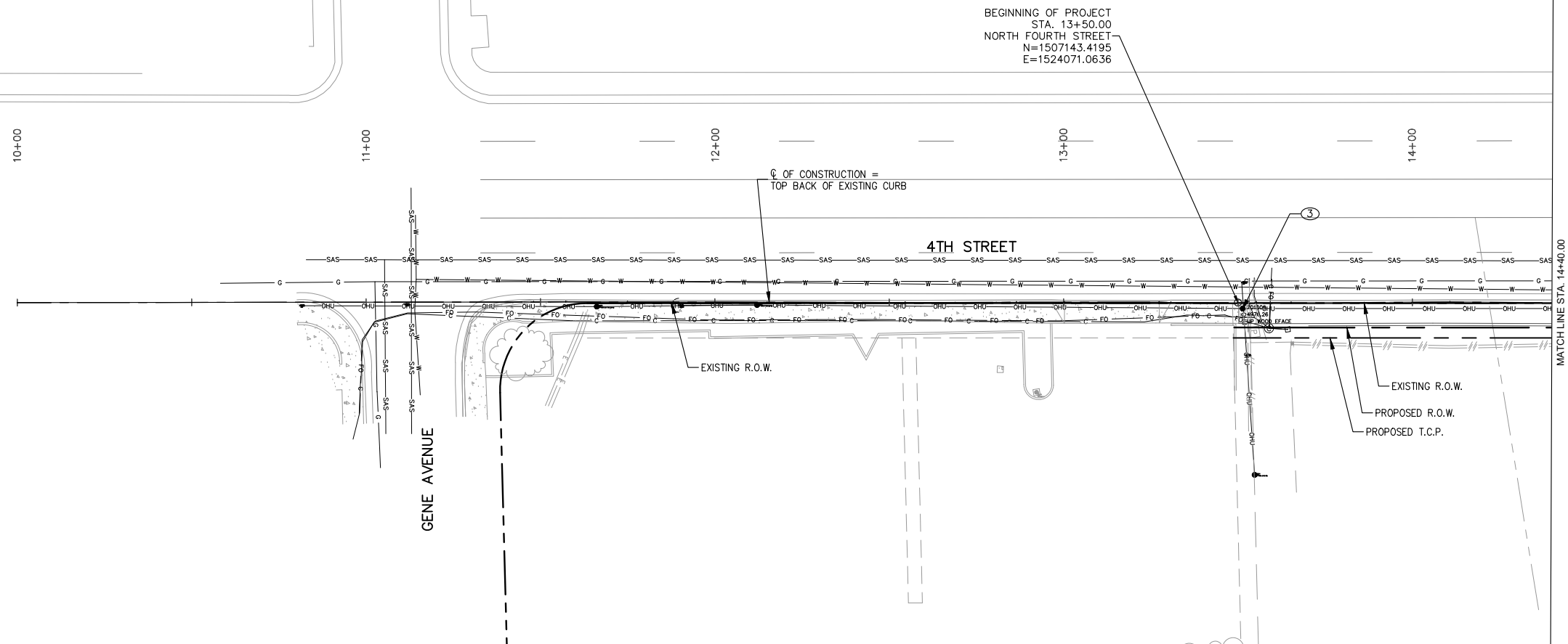


CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION
NORTH 4TH STREET PEDESTRIAN IMPROVEMENTS

FOURTH STREET SIDEWALK PLAN & PROFILES

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

City Project No. COA 7525.01 Zone Map No. F14 Sheet 3-3



















GENERAL NOTES

1. CAUTION - ALL EXISTING UTILITIES SHOWN REFLECT THE BEST INFORMATION AVAILABLE AND ARE APPROXIMATE ONLY. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (PHONE NO. 505-260-1990) FOR LOCATION OF EXISTING UTILITIES.

KEYED NOTES:

- ① ADJUST EXISTING WATER VALVE/METER TO GRADE. COA SD 2460
- ② ADJUST EXISTING MANHOLE TO GRADE. COA SD 2460
- ③ UTILITY POLE TO REMAIN. PROTECT IN PLACE.
- ④ FIRE HYDRANT TO REMAIN. PROTECT IN PLACE.
- ⑤ REMOVE AND REPLACE EXISTING WATER METER COA SD 2362
- ⑥ REMOVE AND REPLACE EXISTING FIRE HYDRANT. COA SD 2340
- ⑦ ADJUST EXISTING PULLBOX TO GRADE.
- ⑧ PROTECT EXISTING WATERLINE IN PLACE
- ⑨ PROTECT EXISTING GAS LINE IN PLACE

LEGEND

- | | |
|---------------------------------------------------------------------------------------|-----------------------------------|
|  | EXISTING POWER POLE |
|  | EXISTING LIGHT POLE |
|  | EXISTING STREET LIGHT PULLBOX |
|  | EXISTING COMMS MANHOLE |
|  | EXISTING ELECTRIC METER |
|  | EXISTING WATER VALVE |
|  | EXISTING WATER METER |
|  | EXISTING FIRE HYDRANT |
|  | EXISTING IRRIGATION CONTROL VALVE |
|  | EXISTING MANHOLE |
|  | EXISTING WATER LINE |
|  | EXISTING GAS LINE |
|  | EXISTING CABLE LINE |
|  | EXISTING SANITARY STORM |
|  | EXISTING STORM DRAIN |
|  | EXISTING TELEPHONE LINE |



GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION
NORTH 4TH STREET PEDESTRIAN IMPROVEMENTS

EXISTING UTILITY PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL		MO./DAY/YR.	MO./DAY/YR.

City Project No. COA 7525.01	Zone Map No. F14	Sheet 6-1
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