

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 7, 2025

Robert Fierro, P.E.
Fierro & Company
3201 4th Street NW, Suite C
Albuquerque, NM 87107

RE: La Plata Apartments
99999 4th Street NW
313 La Plata Road NW
Grading and Drainage Plan
Engineer's Stamp Date: 7/7/2025
Hydrology File: F14D086
Case # HYDR-2025-00232

Dear Mr. Fierro:

PO Box 1293

Based upon the information provided in your submittal received 07/07/2025, the Grading and Drainage Plan **is approved** for Grading Permit, Building Permit, and SO19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the detention pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

www.cabq.gov

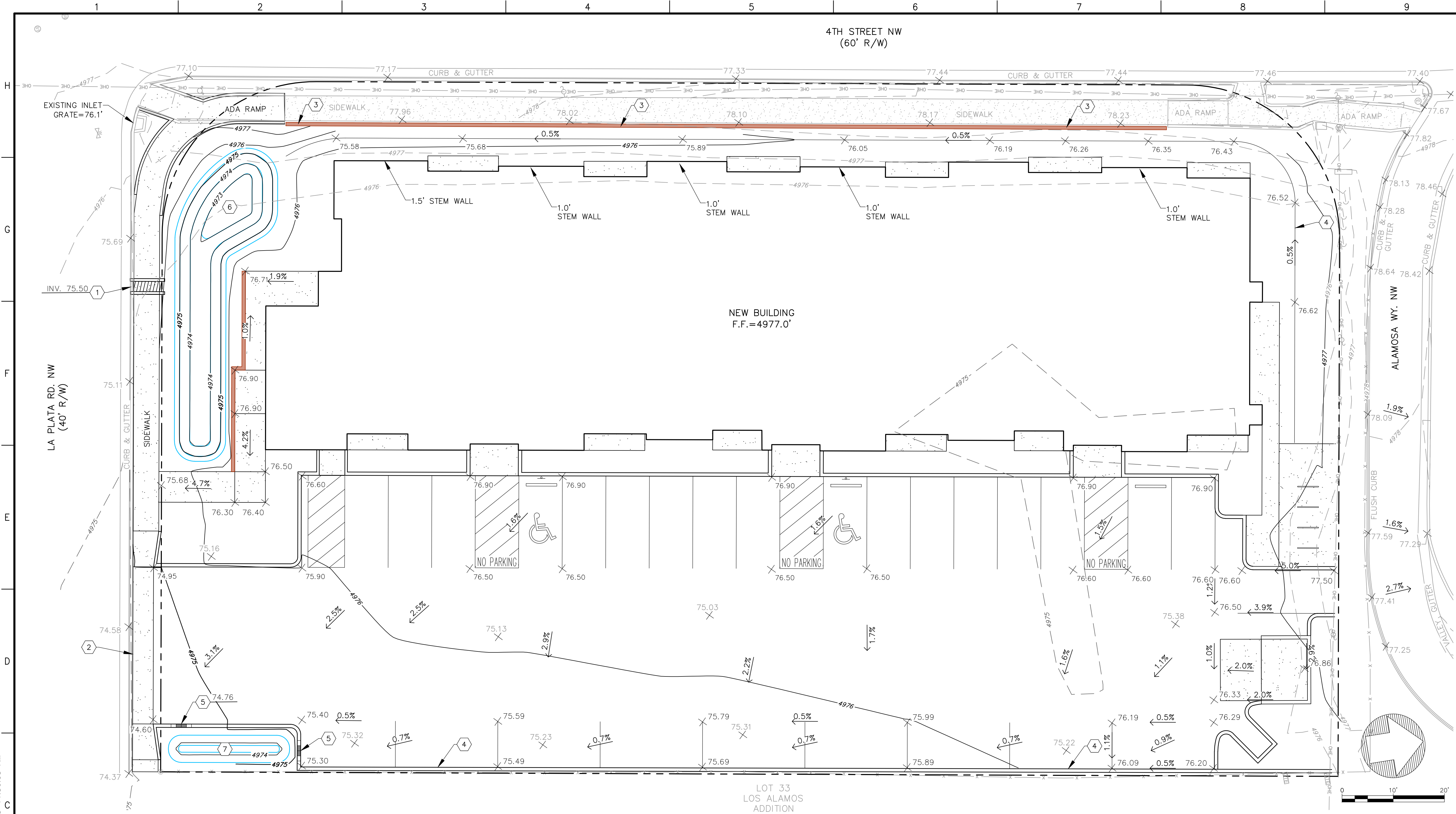
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., CFM
Senior Engineer, Hydrology
Planning Department, Development Review Services

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GENERAL GRADING NOTES:

1. THE CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES SHOWN AND COORDINATE WITH ALL UTILITY OWNERS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL LIMIT DISTURBANCE OF NATIVE VEGETATION TO A MINIMUM.
3. THIS PLAN RECOMMENDS POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES TO PROHIBIT PONDING OF RUNOFF WHICH MAY CAUSE STRUCTURAL SETTLEMENT. FUTURE ALTERATION OF GRADES ADJACENT TO THE PROPOSED STRUCTURES IS NOT RECOMMENDED.
4. PERFORM GRADING AND EXCAVATION WORK IN COMPLIANCE WITH APPLICABLE SPECIFICATIONS, REQUIREMENTS, CODES AND ORDINANCES OF CITY OF ALBUQUERQUE, NEW MEXICO.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF OR OBTAINING EXCESS CUT OR FILL MATERIAL REQUIRED FOR FINAL GRADE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH NEW MEXICO ONE CALL PRIOR EXCAVATION.
7. CLEAR AND GRUBBING PER NM APWA SECTION 201 SPECIFICATION.
8. SPOT ELEVATIONS ARE TO FINISH GRADE UNLESS NOTED OTHERWISE.
9. THE CONTRACTOR SHALL CONFINE THEIR WORK TO WITHIN THE CONSTRUCTION LIMITS AND/OR PUBLIC RIGHT-OF-WAY TO PRESERVE EXISTING VEGETATION, LANDSCAPING, AND PRIVATE PROPERTY. APPROVAL OF THESE PLANS DOES NOT GIVE OR IMPLY ANY PERMISSION TO TRESPASS OR WORK ON PRIVATE PROPERTY. PERMISSION MUST BE GRANTED IN WRITING BY THE OWNER OF THAT PROPERTY.
10. CONTRACTOR TO CLEAN UP SEDIMENT AND DEBRIS ON THE STREET, WHICH IS CAUSED BY CONSTRUCTION, AT THE END OF EACH WORK DAY. TEMPORARY DIRT RAMPS ARE NOT TO BE LEFT IN STREETS OR NEAR CURB.

SO-19 NOTES:

1. BUILD SIDEWALK CULVERT PER C.O.A. STANDARD DWG 2236. WORK IS PERMITTED AND INSPECTED BY DMD CONSTRUCTION SERVICES DIVISION.
2. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. PRIOR TO ANY EXCAVATION, TO THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811". OR (505-260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
6. BACKFILL COMPACTION SHALL BE 95%.
7. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
8. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
9. FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES DIVISION.

PROJECT INFORMATION

BENCHMARK

CITY OF ALBUQUERQUE SURVEY MONUMENT: ACS BM, 12-E14
NORTHING: 1514366.453 (NM SPC, CENTRAL ZONE, NAD 1983)
EASTING: 1520041.333 (NM SPC, CENTRAL ZONE, NAD 1983)
ELEVATION: 4978.632" (NAVD 1988, U.S. SURVEY FOOT)

DESCRIPTION

LOT 32, LOS ALAMOS ADDITION

FLOOD NOTE:

THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD. AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP DATED SEPTEMBER 26, 2008, MAP NO. 35001C0119G.

SURVEYOR INFORMATION

TOPOGRAPHIC SURVEY PERFORMED JUNE 2024.

LEGEND

- APPARENT PROPERTY BOUNDARY
- x-x- EXISTING FENCE
- 3905- EXISTING MAJOR CONTOUR
- 3904- EXISTING MINOR CONTOUR
- 3905- PROPOSED MAJOR CONTOUR
- 3904- PROPOSED MINOR CONTOUR
- x 75.10 EXISTING GRADE
- x 26.29 FINISHED GRADE
- [Pattern] EXISTING CONCRETE
- [Pattern] NEW CONCRETE
- [Pattern] NEW RETAINING WALL W/HANDRAIL

KEYED NOTES:

- 1 CONSTRUCT SIDEWALK CULVERT WITH STEEL PLATE TOP PER COA STD. DWG. 2236.
- 2 CONSTRUCT DRIVEPAD PER C.O.A. STD. DWG. 2425A.
- 3 CONSTRUCT 2.5' MAX HEIGHT RETAINING WALL W/HANDRAIL. SEE ARCHITECTURAL SHEETS FOR DETAIL. O.T.W. @ T.O.S.W. = 4978.0'± B.O.W. @ F.G.
- 4 CONSTRUCT HEADER CURB.
- 5 CONSTRUCT 2' WIDE CURB-CUT.
- 6 4-INCH DEPRESSED LANDSCAPING.
- 6 CONSTRUCT STORM WATER QUALITY POND PER DETAIL 1/C-2 W/ 2H:1V SLOPES. TOP ELEV. 4975.5' BTM. ELEV. 4973.0' VOL. = 950 CU.FT.
- 7 CONSTRUCT STORM WATER QUALITY POND W/ 2H:1V SLOPES. TOP ELEV. 4974.75' BTM. ELEV. 4973.75' VOL. = 70 CU.FT.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 7/7/2025
BY: [Signature]
HydroTeam # F14D086

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS, SUCH AS APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION. THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

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LA PLATA APARTMENTS
313 LA PLATA RD. N.W.
ALBUQUERQUE, NM 87107

PROJECT NAME

REV.	DATE	DESCRIPTION	BY

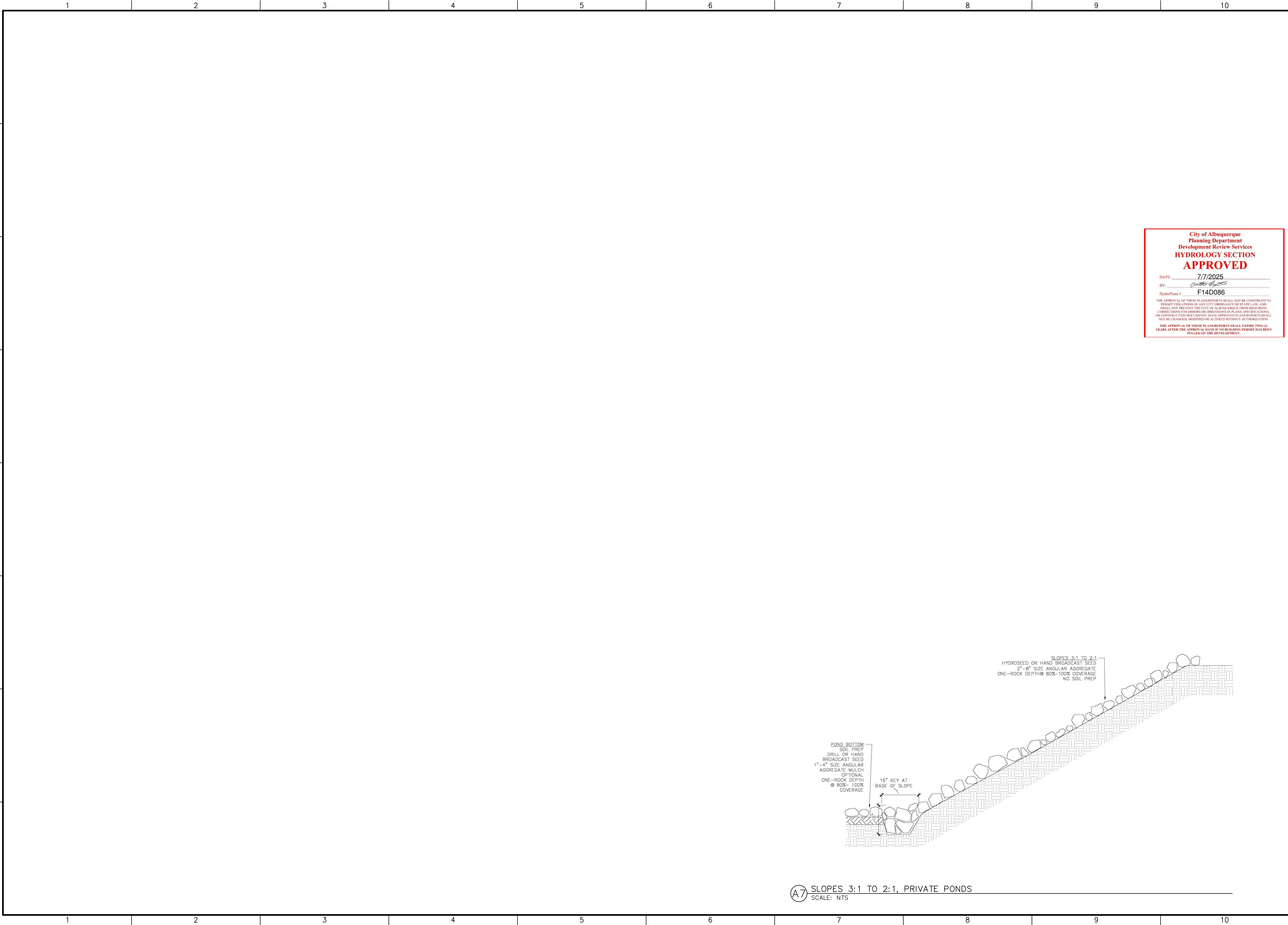
PROJECT NO: 25015
DESIGNED BY: RJF
DRAWN BY: JB
CHECKED BY: RJF
DATE: JUNE 2025
SHEET TITLE


GRADING
PLAN

SHEET NO:


C-1

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ENGINEER'S SEAL

LA PLATA APARTMENTS
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PROJECT NAME

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 25015

DESIGNED BY: R/JF

DRAWN BY: JB

CHECKED BY: R/JF

DATE: JUNE 2025

SHEET TITLE

CIVIL
DETAILS

SHEET NO:

C-2

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EXISTING BASIN MAP



PROPOSED BASIN MAP

Introduction

The site is located at 313 La Plata Rd. N.W., Albuquerque, NM 87107. This property is vacant. The proposed development is an apartment complex. The purpose of this Grading & Drainage Plan is to 1) provide hydrologic and hydraulic analysis of the existing and proposed condition, 2) satisfy allowable stormwater discharge rates, and 4) seek approval for building permit.

Methodology

Hydrologic procedures presented in the Hydrology Section of the DMP, Article 6-2(a), approved June 8, 2020 were followed. Precipitation Zone 2 data was used in the hydrologic computations.

Existing Condition

The site is vacant and mostly relatively flat. Runoff on the site is directed from the Northwest corner to Southeast corner with it discharging to La Plata Rd. N.W. There is not any off-site runoff that enters the site. The site is bounded by roadways along the North, West, and South. These roadways control runoff, which does not enter the site. A residential site bounds the site on the East and also discharges runoff to La Plata Rd. NW.

Proposed Condition

An apartment complex is proposed. The site's drainage pattern will remain the same with runoff discharging to La Plata Road. Inlets within La Plata Road connect to 4th Streets storm drain. The excess runoff from the proposed site is negligible and will not adversely impact downstream storm capacities. The required storm water quality volume is retained within two ponds. This drainage report seeks COA Hydrology approval for building permit.

DRAINAGE REPORT

Zone 2				
Excess Precipitation (inches)				
A	B	C	D	
0.62	0.80	1.03	2.33	

Peak Discharge (cfs/acre)				
A	B	C	D	
1.71	2.36	3.05	4.34	

Precipitation (inches)				
P ₃₆₀₍₆₎	P ₁₄₄₀₍₂₄₎	P _{4day s}	P _{10day s}	
2.29	2.59	2.96	3.62	

HYDROLOGY SUMMARY									
BASIN	Total Area	Total Area	Land Treatment (%)				Q _{100yr-6hr}	V _{100yr-24hr}	V _{100yr-24hr}
	(sq.ft.)	(acres)	A	B	C	D	(cfs)	(ac-ft)	(cu.ft.)
Existing	28872	0.663	0.0	0.0	100.0	0.0	2.0	0.057	2478
Proposed	28872	0.663	0.0	18.0	0.0	82.0	2.6	0.127	5535

HYDROLOGY SUMMARY

STORMWATER QUALITY VOLUME (WAIVER):

GIVEN:

Area₀ = 28,872 sq.ft.

SOLUTION:

$$SWQV = \frac{1}{2} [R_0 \cdot Area_0] = \frac{1}{2} [0.420'' \cdot 23,675 \text{ sq.ft.}] = 829 \text{ cu.ft.}$$

CONCLUSION: Best Management Practices are being applied by the two storm water quality ponds. The total volume of these ponds are 1,020 cu.ft., which is greater than the storm water quality volume requirement for new development of the proposed site.

Weir Calculation Pond Spillway

$$\text{Equation } 6.64 \quad Q = CLH^{3/2}$$

Where;

$$C = 2.7, \quad L = 2\text{-ft, and } H = 0.67'$$

$$Q = 2.7 \cdot 2 \cdot 0.67^{3/2} = 3.0 \text{ CFS}$$

Therefore, pond's spillway capacity is greater than discharge rate for the 100yr, 6hr storm

WEIR CALCULATION

PROPOSED DETENTION POND REQUIRED VOLUME:

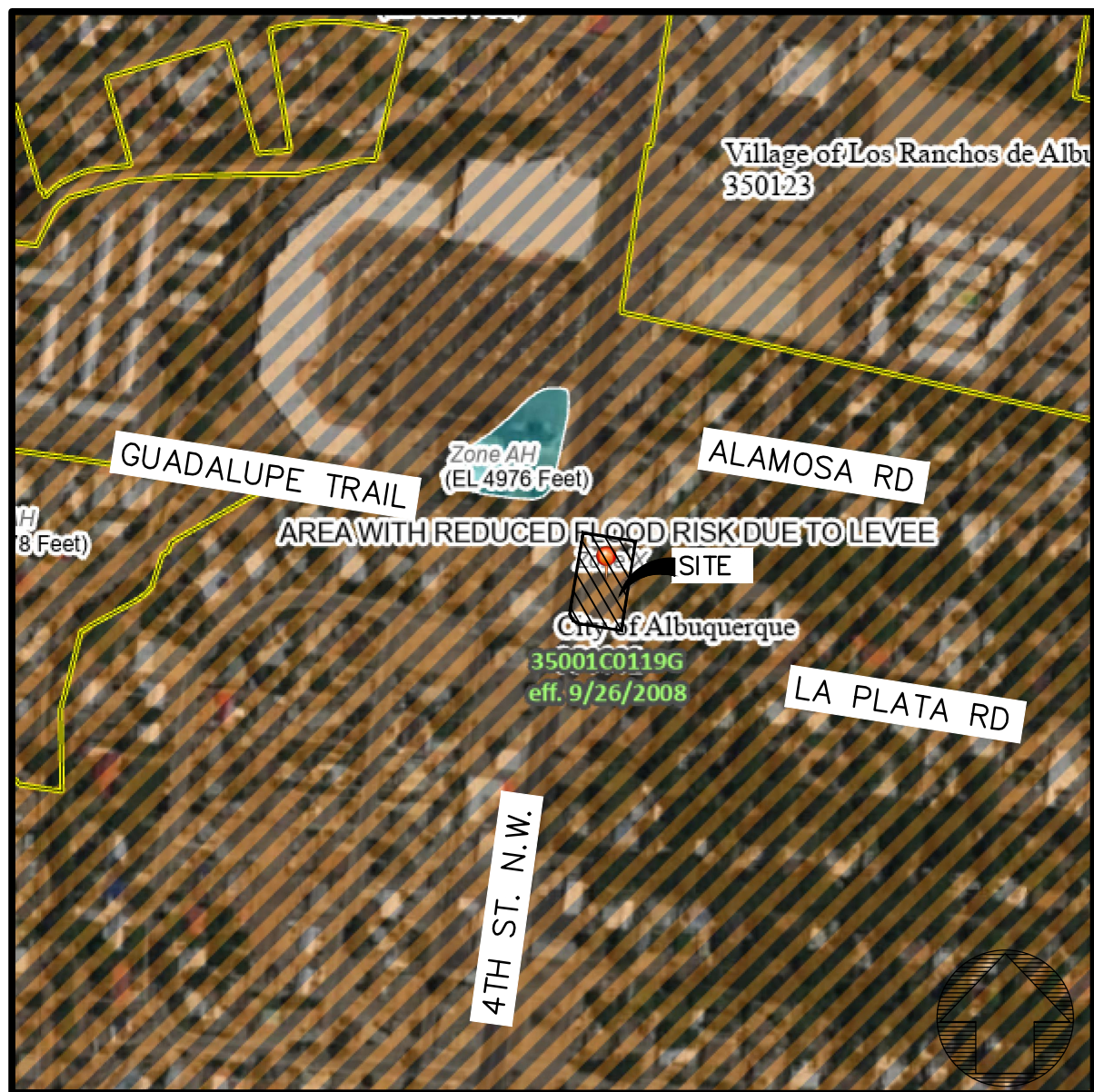
$$\text{TOTAL REQUIRED VOL.} = \text{Basin 201 Vol.} - \text{Basin 100 Vol.}$$

$$= (938 \text{ cu.ft.} - 608 \text{ cu.ft.}) = 330 \text{ cu.ft.}$$

$$\text{WATER SURFACE ELEVATION} = 5167.25'$$

THEREFORE, PONDING REQUIREMENT IS MET. POND STORAGE CAPACITY IS GREATER THAN REQUIRED VOLUME.

DETENTION POND REQUIREMENTS



FLOOD INSURANCE RATE MAP

MAP NO. 35001C0119G

EFFECTIVE DATE: 09/26/2008

S.W.Q.P. No. 1		
Stage Storage Rating Curve		
Elevations (ft)	Area (sq ft)	Cumulative Vol. cu.ft.
4973	68	0
4974	308	188
4975	570	627
4975.5	714	948
4976	858	1341

S.W.Q.P. No. 2		
Stage Storage Rating Curve		
Elevations (ft)	Area (sq ft)	Cumulative Vol. cu.ft.
4973.75	26	0
4974.75	120	73

STAGE STORAGE

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 7/7/2025
BY: *[Signature]*
HydroTrans #: F14D086

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LEGEND

- PROPERTY BOUNDARY
- FLOW PATH
- ROOF FLOW
- SURFACE DRAINAGE
- UTILITY EASEMENT LINE
- FLOWLINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- BASIN

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