

CITY OF ALBUQUERQUE



Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

August 30th, 2024

Scott Anderson
Scott C. Anderson & Associates Architects
2818 4th St NW Suite C
Albuquerque, NM 87107

**Re: La Plata Apartments
6000 4th St NW
Traffic Circulation Layout
Engineer's/Architect's Stamp 08-29-24 (F14D086)**

Dear Mr. Anderson,

The TCL submittal received 08-11-2024 is approved for Building Permit by transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Sidewalk easement will be the condition for release of final CO.**

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to plndrs@cabq.gov for login and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

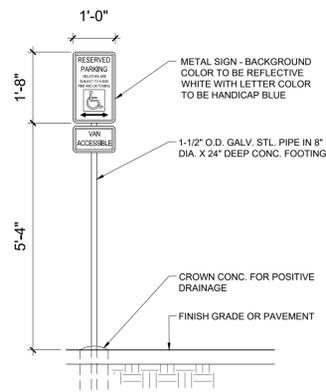
TYPE OF SUBMITTAL:

- Engineering / Architect Certification
- Conceptual Grading & Drainage Plan
- Grading & Drainage Plan, and/or Drainage Report
- Drainage Report (Work Order)
- Drainage Master Plan
- Conditional Letter of Map Revision (CLOMR)
- Letter of Map Revision (LOMR)
- Floodplain Development Permit
- Traffic Circulation Layout (TCL) – Administrative
- Traffic Circulation Layout (TCL) – DFT Approval
- Traffic Impact Study (TIS)
- Street Light Layout
- OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

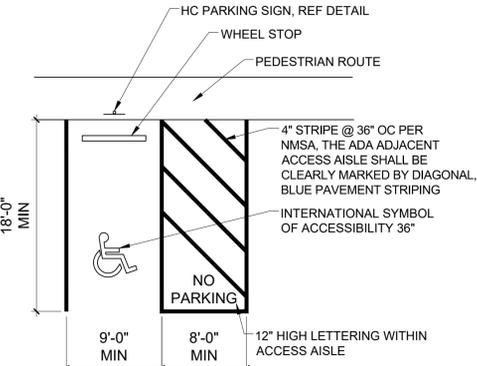
- Pad Certification
- Building Permit
- Grading Permit
- Paving Permit
- SO-19 Permit
- Foundation Permit
- Certificate of Occupancy - Temp Perm
- Preliminary / Final Plat
- Site Plan for Building Permit - DFT
- Work Order (DRC)
- Release of Financial Guarantee (ROFG)
- CLOMR / LOMR
- Conceptual TCL - DFT
- OTHER (SPECIFY) _____

DATE SUBMITTED: _____



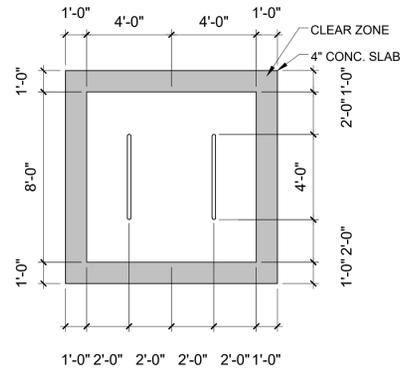
HC SIGN

SCALE: NTS



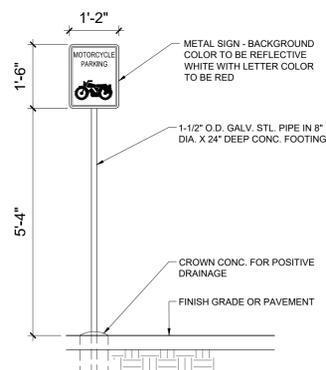
ADA PARKING

SCALE: 1/8" = 1'-0"



BIKE PARKING

SCALE: 1/4" = 1'-0"



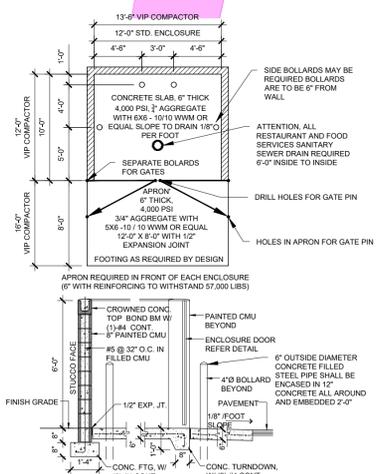
MOTORCYCLE SIGN

SCALE: 1/2" = 1'-0"



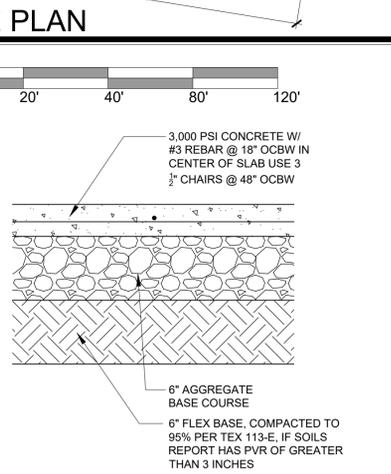
SITE PLAN

SCALE: 1" = 20'-0"



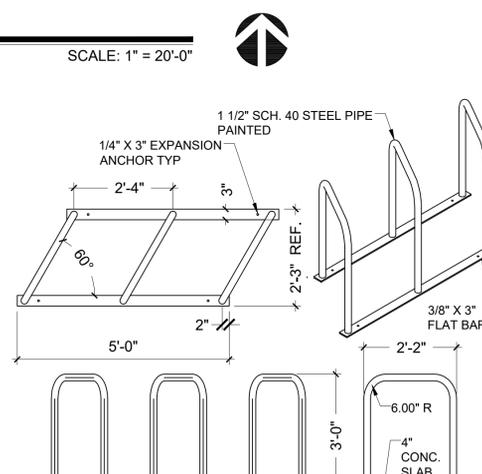
REFUSE ENCLOSURE

SCALE: 1/8" = 1'-0"



LOW ALBEDO PAVING SECTION

SCALE: NTS



BIKE CORRAL

SCALE: NTS

KEYED NOTES

- NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- 8 SPACE BIKE RACK, REF DETAIL THIS SHEET
- MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
- H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
- EXISTING FIRE HYDRANT
- IRRIGATION BOX
- NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- FIRE DEPT. CONNECTION
- HC PARKING SYMBOL
- 6" CMU WALL
- CURB, REF DETAIL THIS SHEET
- EXISTING PROPERTY LINE
- VEHICULAR GATE
- EXISTING POWER POLE
- KNOX BOX
- CLEAR SIGHT TRIANGLE, LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- EXISTING CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2418, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- ELECTRIC CHARGING STATION
- REFUSE CONTAINER, REF DETAIL THIS SHEET
- RECYCLING CONTAINER, REF DETAIL THIS SHEET
- CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING C
- EXISTING 6" PUE
- 15' MAX SETBACK PER IDO
- EXISTING STORM WATER CURB INLET
- NEW RETAINING WALL W/ 3'-6" GUARDRAIL CAP
- EXISTING TRAFFIC SIGNAL
- EXISTING TELECOM BOX
- EXISTING TRANSFORMER
- EXISTING TRAFFIC CONTROL VAULT
- NEW 6" CMU WALL
- EXISTING CURB
- BUILDING ENTRANCE

SOLID WASTE NOTES:

THE DEVELOPMENT IS GATED, SOLID WASTE WILL HAVE 24 HOUR ACCESS TO THE REFUSE CONTAINER AND WILL BE PROVIDED WITH A GATE OPENER.

THE SLOPE LEADING TO THE TRASH ENCLOSURE/DUMPSTER SHALL BE NO GREATER THAN 1/8" PER FOOT ON THE APPROACH.

THERE IS NO FOOD SERVICE FOR THIS PROJECT.

RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE, SEE KEYED NOTE.

THE REFUSE DRIVER SHALL HAVE ACCESS TO TRASH ENCLOSURE/DUMPSTER BY 5:00AM.

THERE ARE NO OVERHANGING WIRES LEADING TO AND EXITING FROM THE TRASH ENCLOSURE.

THIS PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION.

OWNER SHALL PURCHASE 8 CY REFUSE CONTAINER.

THE PRESSURE GAUGE TO OPEN THE GATES UPON EXITING SHALL BE POSITIONED AT A MIN OF 22 FEET NORTH OF WHERE THE GATES MEET.

TRAFFIC CIRCULATION LAYOUT APPROVED
 Sortil A. Kanbar 8/30/24

UPC: 101406150849411301
 LEGAL: LOT 32 LOS ALAMOS ADDITION
 ZONING: MX-T (UC-MS-PT) (CPO 9)
 ZONE ATLAS PAGE: F-14

GROSS LOT AREA = 0.7084 AC = 30,858 SF
 BUILDING FOOTPRINT = 9,940 SF
 NET LOT AREA = 20,918 SF
 REQUIRED LANDSCAPE AREA @ 15% = 3,138SF : 6,281 SF PROVIDED

PARKING:
 MULTIFAMILY
 1 BEDROOM: 24 EACH X 1 SPACES (UC-MS-PT) = 24 SPACES
 24 SPACES X 5% = 1 CHARGING SPACES REQUIRED, 3 PROVIDED

HC REQUIRED: 1 STANDARD, 1 VAN
 MOTORCYCLE PARKING 30 SPACES: 2 SPACES REQUIRED / 3 PROVIDED
 BIKE PARKING 10% OF 24: 3 REQUIRED, 8 SPACES PROVIDED

IDO TABLE 5-1-2 OPEN SPACE:
 1 BEDROOM: 24 EA X 225 SF X 0.5 (UC-MS-PT) = 2,700 SF

GRADE LEVEL OPEN SPACE = 8,497 SF PROVIDED
 UPPER FLOOR BALCONIES & DECKS = 504 SF PROVIDED

IDO 14-16-4-3(B)(8)(b) 1 TREE REQUIRED PER GROUND FLOOR UNIT = 12 TREES
 STREET FRONTAGE 230 FT X TREES 25FT = 10 TREES
 TOTAL TREES REQUIRED = 22
 TOTAL TREES PROVIDED = 25

MX-T ZONING, UC-MS-PT, CPO 9
 FRONT SETBACK: 10FT MIN, 15' MAX (CPO 9)
 SIDE SETBACK: 0FT MIN, 15' MAX
 REAR SETBACK: 0FT
 MAX BUILDING HEIGHT: 30FT

FAÇADE DESIGN, 14-16-5-11 (E)(2)(b)
 2 a. GROUND FLOOR WINDOWS NO HIGHER THAN 30 IN
 2 b. WINDOWS PROVIDED ON UPPER FLOORS
 2 d. BALCONIES & AWNINGS PROVIDED
 3 a. WALL PLANE PROJECTIONS OF AT LEAST 1FT PROVIDED
 3 b. COLOR CHANGE PROVIDED

GENERAL NOTES:

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED, FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER.

SITE LIGHTING WILL BE PROVIDED BY LIGHT BOLLARDS AND WALL MOUNTED FIXTURES AND SHALL COMPLY WITH 5-8 OF THE IDO

ROOFTOP SHALL BE BUILT WITH NECESSARY SOLAR INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO ELECTRICAL CONDUIT AND GEAR AND STRUCTURAL SUPPORT

ALL PARKING LOT PAVING SHALL BE COOL SURFACE TREATMENT

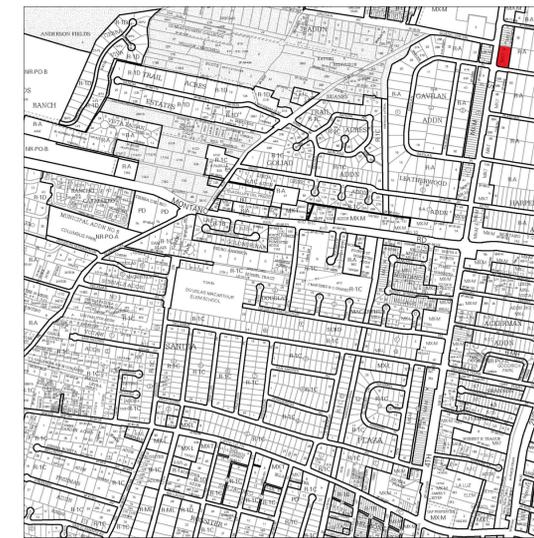
ALL EXISTING ADA CURB RAMPS SHALL BE UPDATED TO CURRENT STANDARDS AND HAVE TRUNCATED DOMES INSTALLED

ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

LEGEND

- BUILDING
- CONCRETE
- ASPHALT PAVING
- LANDSCAPE
- CLEAR SIGHT TRIANGLE

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER



AREA MAP

SCALE: NTS

No	Revision Item	Date

LA PLATA APARTMENTS
 313 LA PLATA RD NW
 ALBUQUERQUE, NM 87107

DRAWING TITLE		
SITE PLAN		
DESIGNED	PROJECT NO	
DRAWN	SCALE	
CHECKED	DRAWING NO	A-100
REVIEWED	DATE	8/6/2024