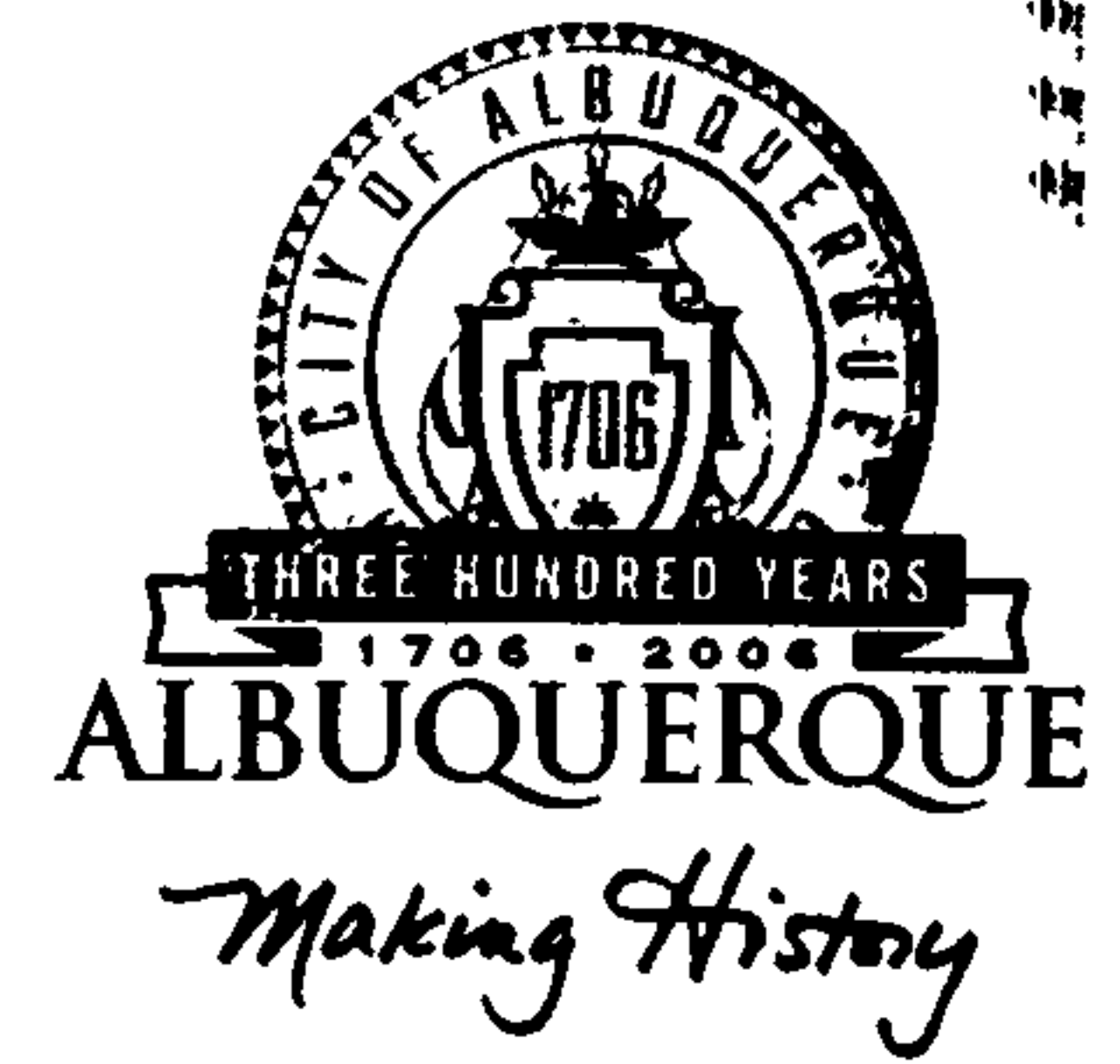


CITY OF ALBUQUERQUE



November 8, 2005

Scott M. McGee, PE
Isaacson & Arfman, PA
128 Monroe St. NE.
Albuquerque, NM 87108

Re: Montbel Paving Plan, Lot17A Renaissance Center II
Grading and Drainage Plan
Engineer's Stamp dated 11-7-05 (F15/D37)

Dear Mr. Arfman,

Based upon the information provided in your submittal received 11-8-05, the above referenced plan is approved for Paving Permit and a SO-19 permit.

A separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for this permit.

P.O. Box 1293

If you have any questions, you can contact me at 924-3986.

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Building and Development Services

C: File

CITY OF ALBUQUERQUE



August 21, 2012

Edward J. Losinki, P.E.
JEL & Associates, LLC
250 Bazan Loop
Corrales, NM 87048

jelassoc@comcast.net

**Re: Car Crafters, 5404 Edith NE,
Request for Permanent C.O. –Accepted
Engineer's Stamp dated: 12-21-12, (F15/D036)
Certification dated: 08-11-12**

Dear Mr. Losinki,

Based upon the information provided in the Certification received 08-08-12, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: tsims@cabq.gov.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

C: CO Clerk—Katrina Sigala
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



August 14, 2012

Edward J. Losinki, P.E.
JEL & Associates, LLC
250 Bazan Loop
Corrales, NM 87048

jelassoc@comcast.net

**Re: Car Crafters, 5404 Edith NE,
Request for Permanent C.O. – Not Accepted
Engineer's Stamp dated: 12-21-11, (F15/D036)
Certification dated: 08-11-12**

Dear Mr. Losinki,

Based upon the information provided in the Certification received 08-08-12, the above referenced Certification is **unacceptable** for release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

1. The eastern slope will require Shot-Crete per keyed note #1.
2. The plan should reflect current site conditions. Please indicate all details not constructed and show which keyed notes that are deleted or not used.

Albuquerque

If you have any questions, you can contact me at 924-3695.

NM 87103

Sincerely,

Shahab Biazar, P.E.
Senior Engineer—Hydrology, Planning Dept.
Development and Building Services

www.cabq.gov

C: File

*Spoke to Rick Osborne 8-15-12
924-7012
573-0071*

Rem gave shrt clout to body

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: Car Crafters

DRB#:

EPC#:

WORK ORDER#:

ZONE MAP: 7-15/2036

LEGAL DESCRIPTION:

CITY ADDRESS: 5404 Edith / Montrose

ENGINEERING FIRM: JEL & Assoc. LLC

ADDRESS: 250 Bazan hp

CITY, STATE: Cerrales, NM

CONTACT:

PHONE:

ZIP CODE: 87048

EMAIL: jelassoc@comcast.net

OWNER:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

ARCHITECT:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

EMAIL:

SURVEYOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ OTHER (SPECIFY) SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

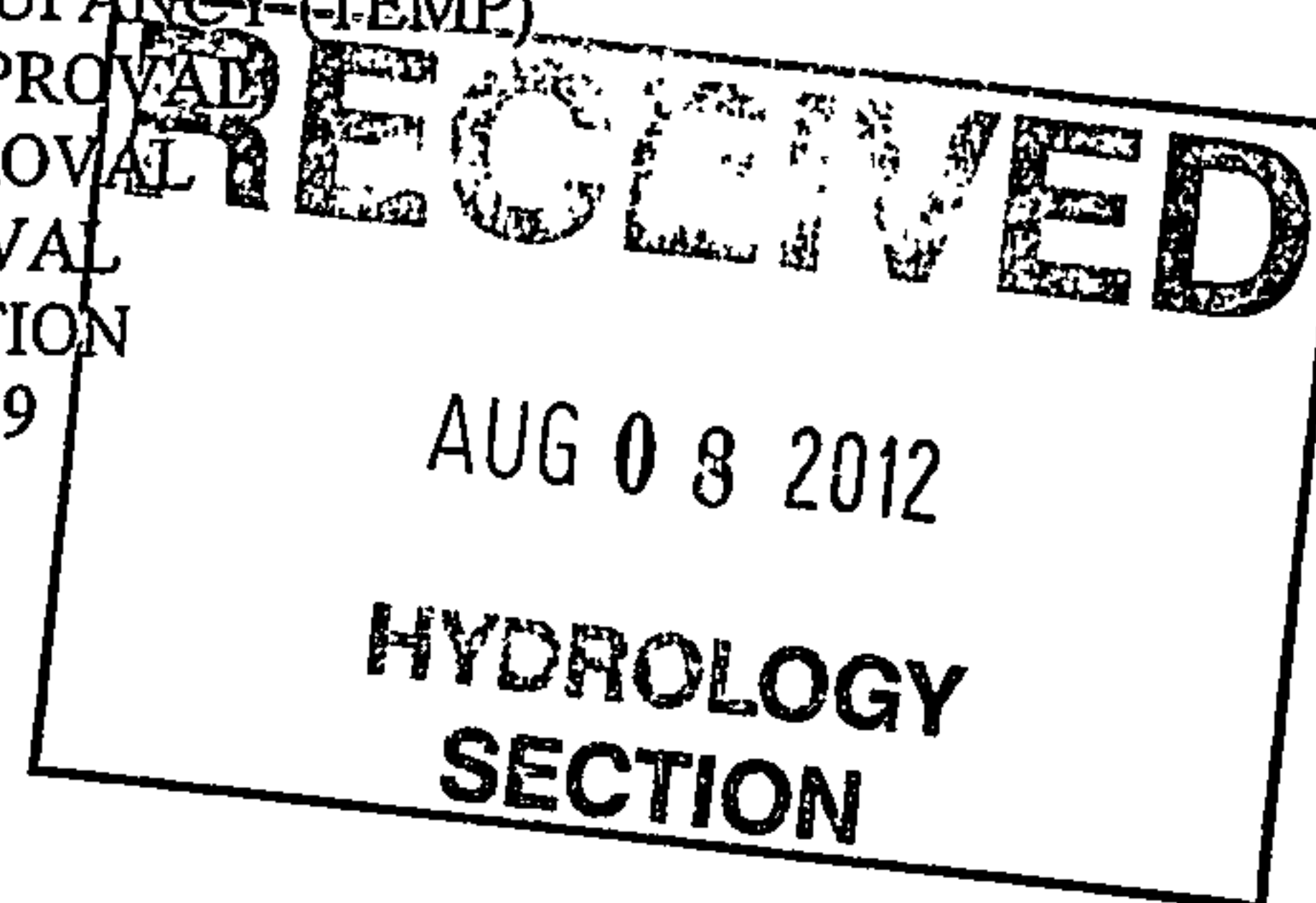
☐ YES

☐ NO

☐ COPY PROVIDED

DATE SUBMITTED:

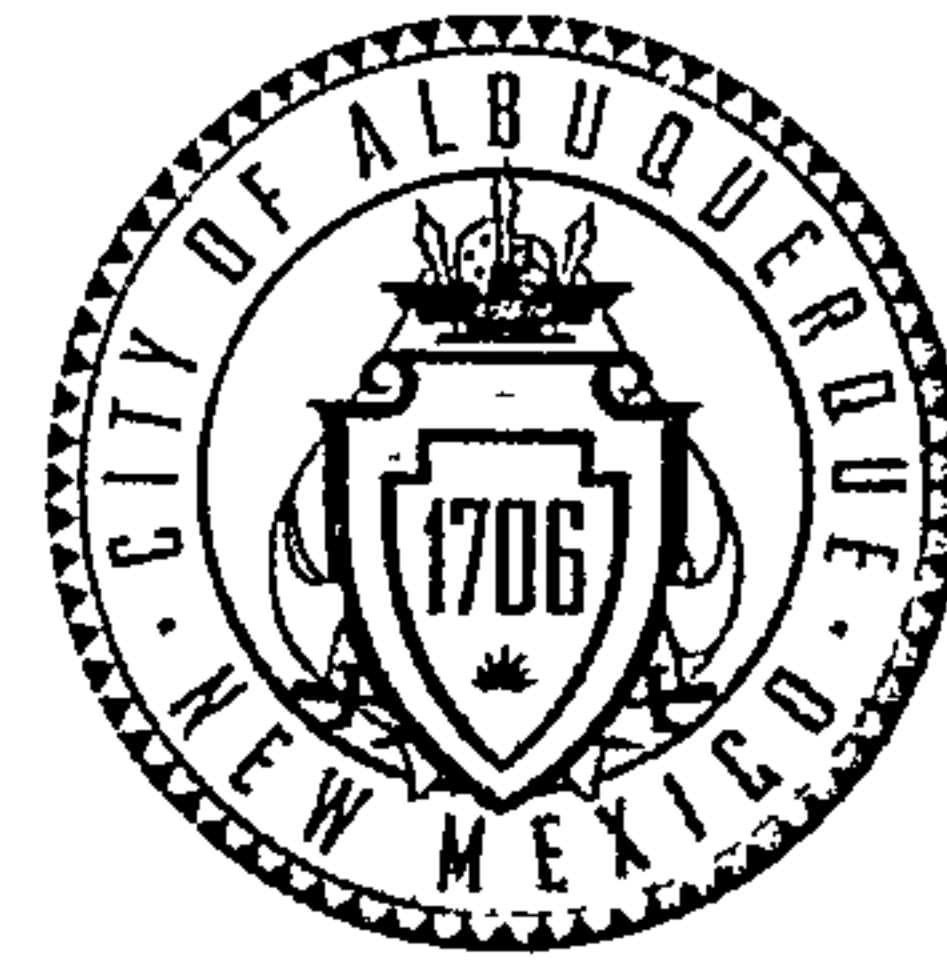
BY:



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

August 13, 2012

Darren Lee Sowell, RA
Darren Sowell Architects, LLC
4700 Lincoln Rd. NE, Ste 111
Albuquerque, NM 87109

Re: **Certification for Permanent Building Certificate of Occupancy (C.O.)
(F-15/D036)**
Car Crafters Auto Repair Garage
5404 Edith Blvd. NE
Architect's Stamp Dated 08/08/12

Dear Mr. Sowell:

Based upon the information provided in your submittal received 08/09/12
Transportation Development has no objection to the issuance of a Permanent
Certification of Occupancy. This letter serves as a 'green tag' from Transportation
Development for a Permanent Certificate of Occupancy to be issued by the Building and
Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

C. Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: Car Crafters Auto Repair Garage ZONE MAP: F-15/D036
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract A-2, Guthrie Commerce Park
CITY ADDRESS: 600 Bldg B Montano Rd, NE

(Formerly: 5404 Edith Blvd, NE)
ENGINEERING FIRM: JEL & Associates CONTACT: Eddy Losinski
ADDRESS: P.O. Box 3180 PHONE: 823-1556
CITY, STATE: Corrales, NM ZIP CODE: 87048

OWNER: Headstart Enterprises CONTACT: Jim Guthrie
ADDRESS: 600 Montano Rd NE PHONE: 87107
CITY, STATE: Albuquerque, NM ZIP CODE: 881-8889

ARCHITECT: Darren Sowell Architects, LLC CONTACT: Craig Calvert
ADDRESS: 4700 Lincoln Rd NE, Suite 111 PHONE: 342-6200
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

SURVEYOR: Harris Surveying, Inc CONTACT: Tony Harris
ADDRESS: 2412-D Monroe St NE PHONE: 889-8056
CITY, STATE: Albuquerque, NM ZIP CODE: 87110

CONTRACTOR: Bro Con Inc CONTACT: Rick Osborn
ADDRESS: 3800-A Midway Pl NE PHONE: 232-2373
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ **TRAFFIC CIRCULATION LAYOUT**
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ **CERTIFICATE OF OCCUPANCY (PERM)**
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 8/9/12

RECEIVED
AUG 09 2012

BY: Craig Calvert

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



August 8, 2012

Kristal Metro, PE
Traffic Engineer
Transportation Development
City of Albuquerque
Albuquerque, New Mexico

RE: Car Crafters Auto Repair Garage, 5404 Edith Blvd NE (600 Montano Rd NE, Building B), Traffic Circulation Layout Certification (F15-D006)

Ms. Metro:

I, Darren Sowell NMRA #3798, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout approved on 2-10-12 based on as-built information provided by BroCon Construction.

I further certify that DSA's project manager for this project, Craig Calvert, personally visited the site on July 27, 2012 and determined by visual inspection that the actual site conditions shown on this plan are true and correct to the best of his knowledge and belief.

This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

Respectfully submitted,

DSA Architects, LLC

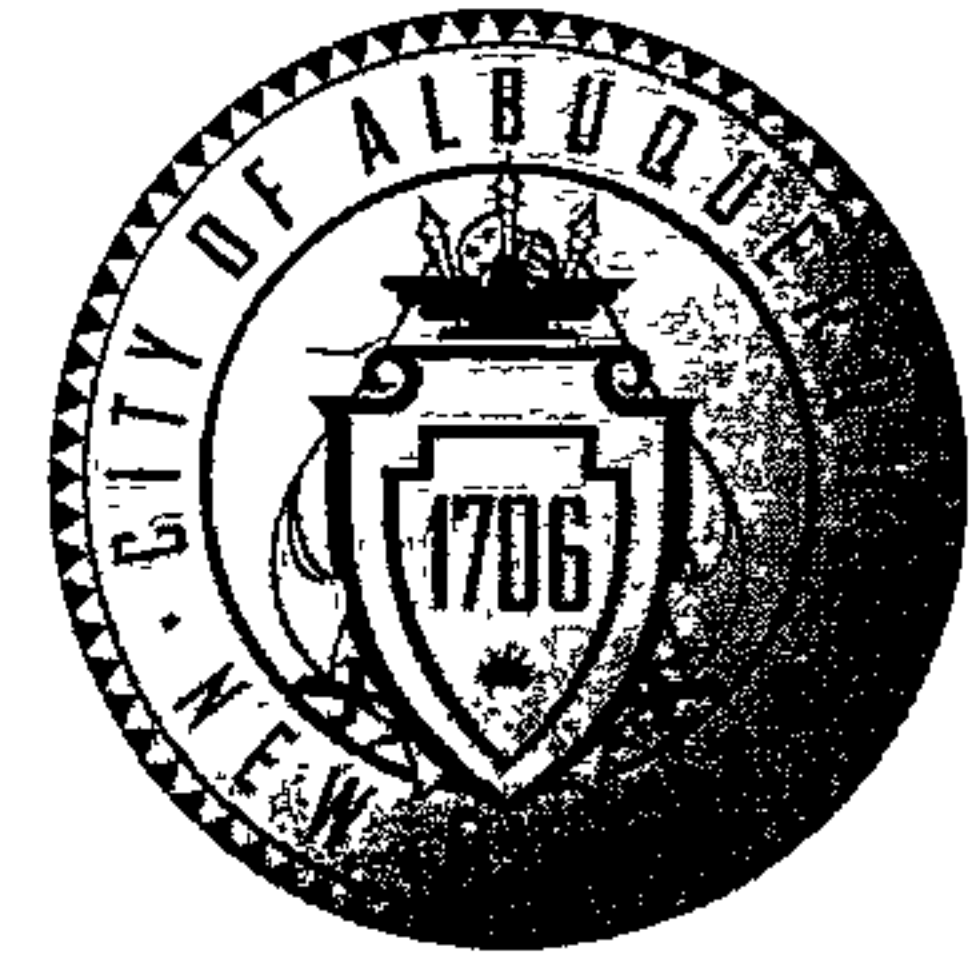
Darren Sowell, AIA
Owner



RECEIVED
AUG 09 2012

8-8-12

CITY OF ALBUQUERQUE



February 10, 2012

Darren Sowell, R.A.
Darren Sowell Architects
4700 Lincoln Rd. NE, Suite 111
Albuquerque, NM 87109

Re: Car Crafters Auto Repair Garage, 5404 Edith Blvd NE, Traffic Circulation Layout
Architect's Stamp dated 02-02-12 (F15-D006)

Dear Mr. Sowell,

The TCL submittal received 02-07-12 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

F-15/0036

PROJECT TITLE: Car Crater Auto Repair Garage ZONE MAP: F-15
 DRB#: 1004228 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tracts A-2 Guthrie Commerce Park
 CITY ADDRESS: Albuquerque 5404 Earth Blvd NE

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: DSA CONTACT: Craig C.
 ADDRESS: 4700 Lincoln Rd NE, Suite 101 PHONE: 342-10200
 CITY, STATE: Alb NM ZIP CODE: 87019

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

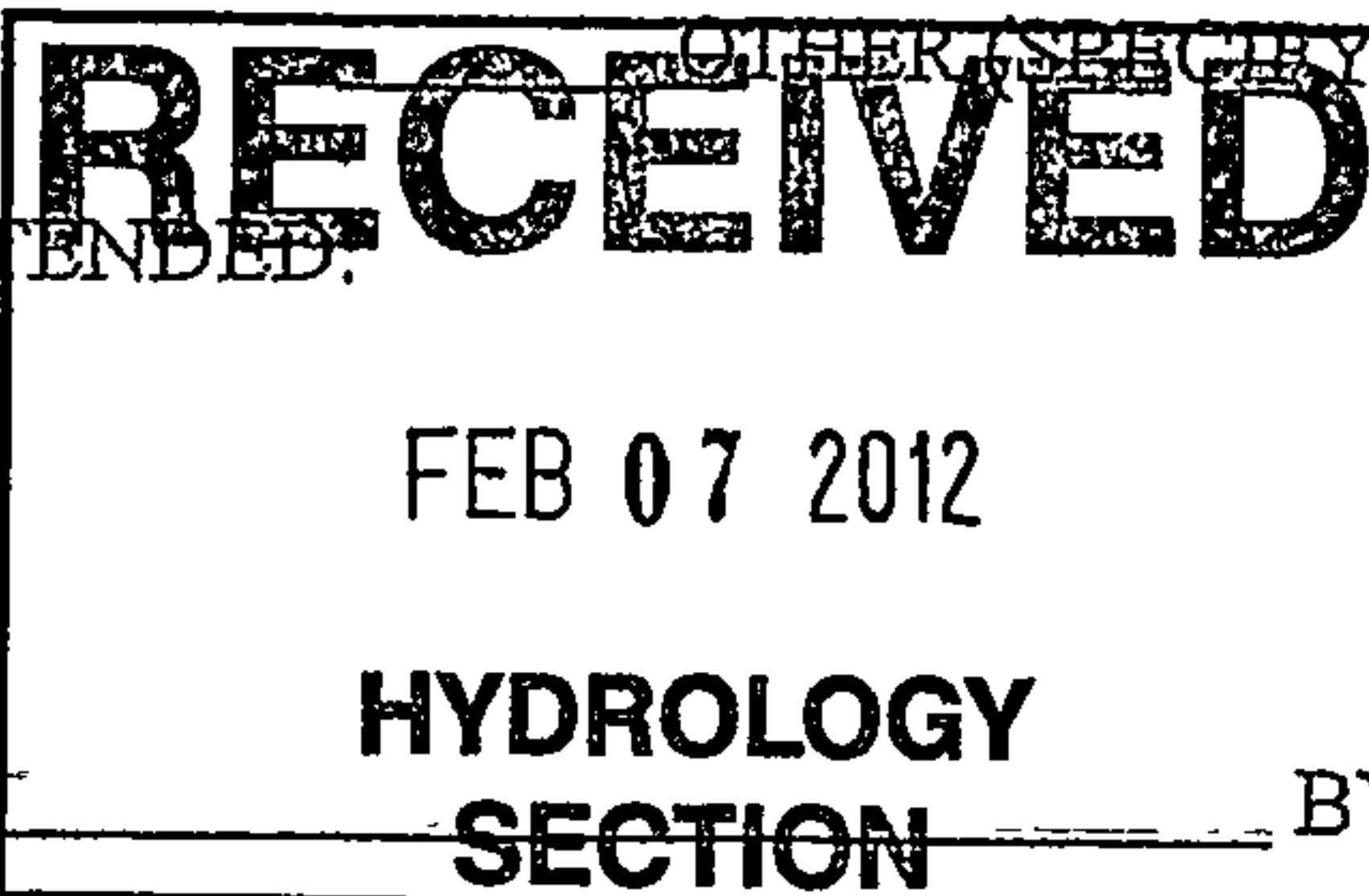
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 2/7/12

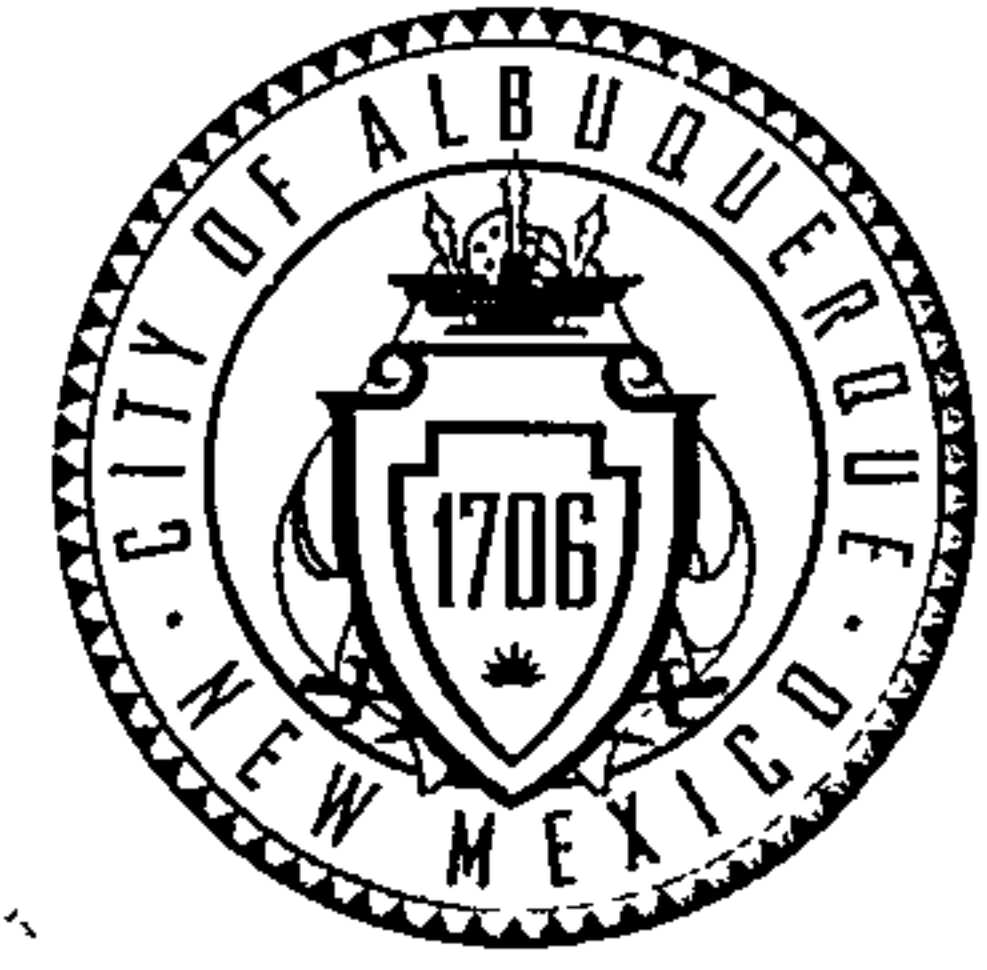


BY: Craig C.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



January 20, 2012

Edward J. Losinski, P.E.
JEL & Associates, LLC
P.O. Box 9700 3180
Corrales, NM 87048

**Re: Car Crafters Automotive Repair Garage Grading and Drainage Plan,
Engineer's Stamp dated 12-21-11 (F15/D036), 5404 Edith Blvd. NE**

Dear Mr. Losinski,

Based upon the information provided in your submittal received 12-27-11, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge as well as a Topsoil Disturbance Permit since it is disturbing $\frac{3}{4}$ of an acre or more.

Albuquerque

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

NM 87103

If you have any questions, you can contact me at 924-3695.

www.cabq.gov

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Car Crafters ZONE MAP: E15/DO36
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: lands of Guthrie
 CITY ADDRESS: 5404 Edith Blvd. NE

ENGINEERING FIRM: JEL Associates, LLC CONTACT: Eddy Losinski
 ADDRESS: 250 Bazen Loop PHONE: _____
 CITY, STATE: Corrales, NM ZIP CODE: 87048

OWNER: Jim Guthrie CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Darren Sewell CONTACT: Craig Calvert
 ADDRESS: 4700 Lincoln Suite 111 PHONE: _____
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

SURVEYOR: Ron Forrester CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

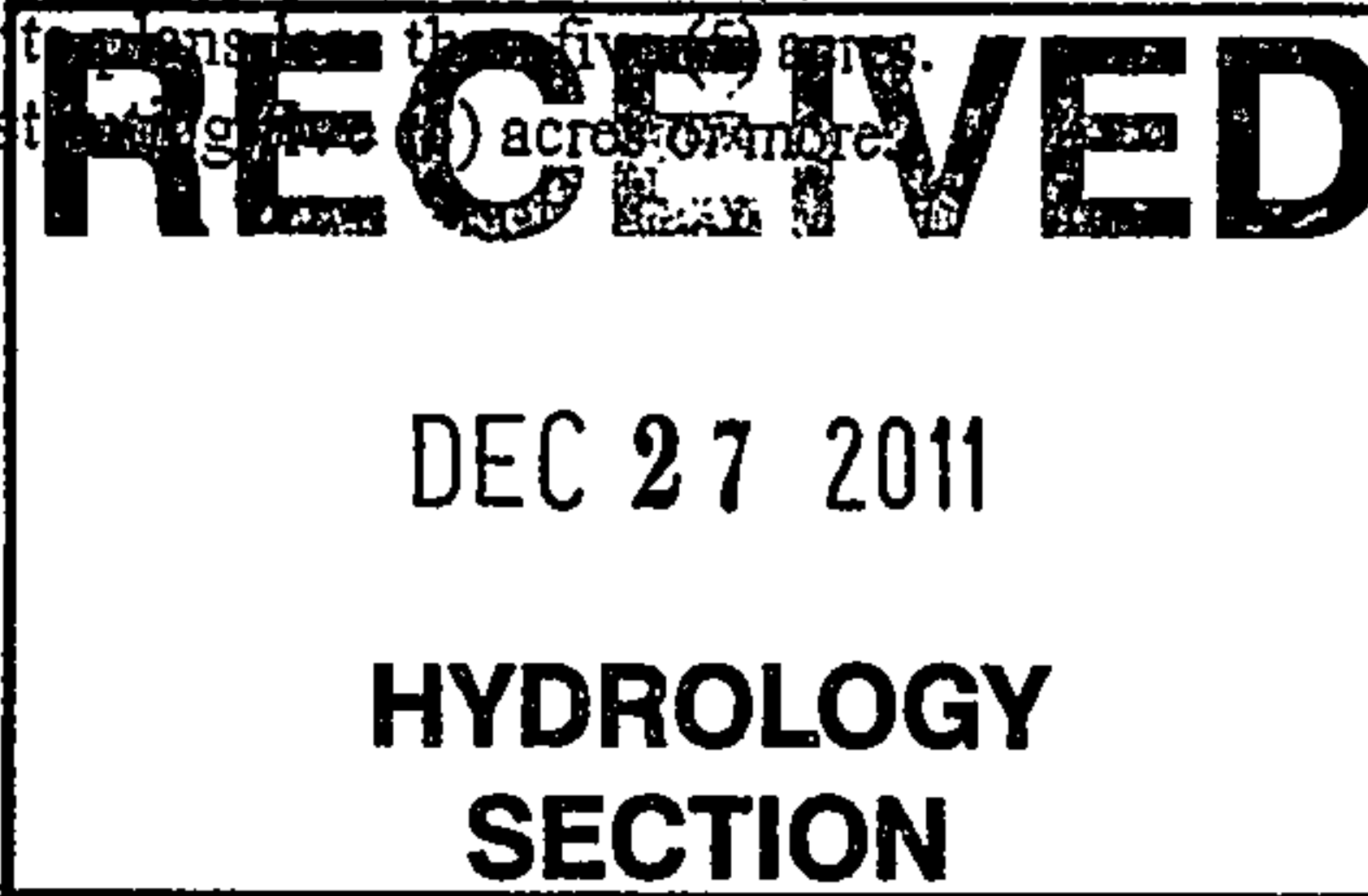
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 12/27/11 BY: E. Losinski

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans for the five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or construction of more than (1) acre or more.





JEL
& ASSOCIATES LLC

P.O. BOX 3180
250 BAZAN LOOP
CORRALES, NM 87048

jelassoc@comcast.net

December 21, 2011

Mr. Shahab Biazar, P.E.
COA Planning Department

**RE: CAR CRAFTERS AUTOMOTIVE REPAIR GARAGE GRADING AND DRAINAGE
PLAN, ENGINEER'S STAMP DATED 10-21-11 (F15/D036), 5404 EDITH BLVD. NE.**

Mr. Biazar:

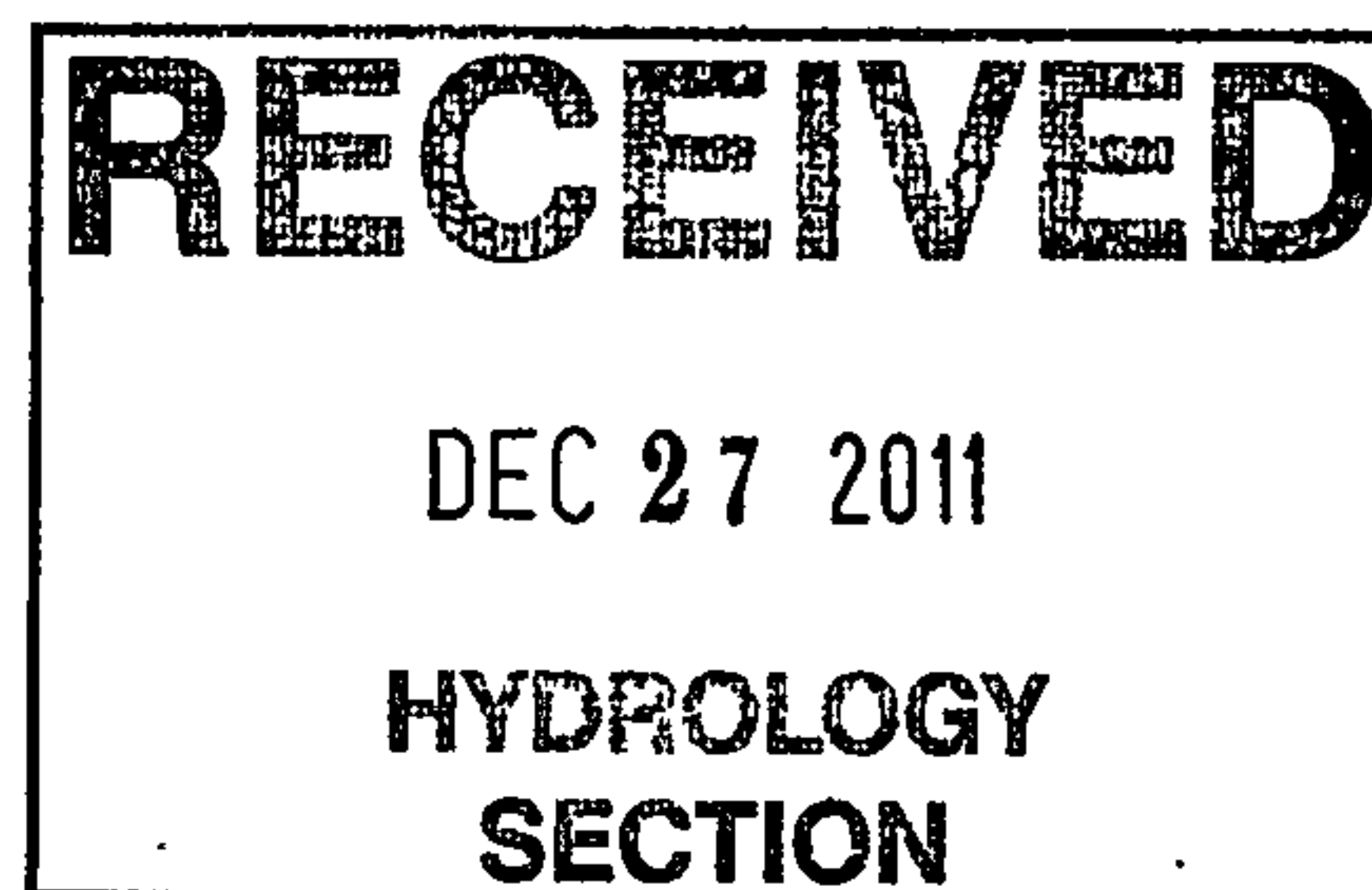
Thank you for taking the time the other day to meet with me on the above noted project. JEL has made the revisions to the plan we discussed during that meeting and with this letter is forwarding on two copies of the revised drawings for your use. Also attached to this letter are copies of the spreadsheet printouts for the hydrology analysis of the site. This information has also been included on the plans with special notes indicating locations for the design data analysis calculations. The following is a recap of the responses to your questions in your letter to JEL dated December 1, 2011:

1. The City of Albuquerque benchmark has been provided on all site sheets.
2. Runoff calculations are tabularized on Sheet C104 of the drawings and the spreadsheets are attached as noted above.
3. Ponding calculations are also shown on Sheet C104.
4. The 100-year WSEL has been added as requested as well as the retention pond volume calculations. There is an additional 1-foot of freeboard above the 100-year WSEL within the pond. There is no overflow structure as the topping of the pond discharges directly into the Alameda Lateral and the entire west side of the retention pond would act as a broad crested weir.
5. Rip rap has been added to the corners of the pond for erosion control as discussed.
6. Flows within Basin B have been routed to the pond as requested.
7. Basin B volumes have been included in the retention pond volumes and sizing.

Should you have any questions please feel free to phone me at (505) 823-1556.

Sincerely,

Edward J. Losinski, P.E.
Principal



REVISED 11-20-07

TOTAL AREA (acre)	0.12	Allowable Discharge (cfs)	50.00
Precipitation Zone	2	Allowable Discharge Vol. (ft ³)	-8652040
TOTAL AREA (ft ²)	5401	Required Pond Volume (ft ³)	8652549

Treatment Type	Acreage	Square Footage	Treatment %
A	0.00	0	0.0%
B	0.00	0	0.0%
C	0.12	5,401	100.0%
D	0.00	0	0.0%

6-hour Storm	Peak Method	Rational Method
100-year Peak Discharge (cfs)	0.39	0.39
10-year Peak Discharge (cfs)	0.21	0.21
2-year Peak Discharge (cfs)	0.07	0.07

Excess Precipitation (in.) 100-year	1.13
Excess Precipitation (in.) 10-year	0.52
Excess Precipitation (in.) 2-year	0.15

100-year 6-hr Runoff Volume (acre-feet, ft ³)	0.01	509
10-year 6-hr Runoff Volume (acre-feet, ft ³)	0.01	234
2-year 6-hr Runoff Volume (acre-feet, ft ³)	0.00	68

P _{1-hr} (in.)	2.01
P _{6-hr} (in.)	2.35
P _{24-hr} (in.)	2.75
P _{4-day} (in.)	3.30
P _{10-day} (in.)	3.95

100-year 10-day Runoff Volume (acre-feet, ft ³)	0.01	509
100-year 4-day Runoff Volume (acre-feet, ft ³)	0.01	509
100-year 24-hr Runoff Volume (acre-feet, ft ³)	0.01	509

Pipe Diameter	12.00	in
Slope	0.50%	
Manning Coefficient	0.013	
Pipe Area	0.79	ft ²
Perimeter	3.14	ft
Hydraulic Radius	0.25	ft
Flow Capacity	2.5	cfs

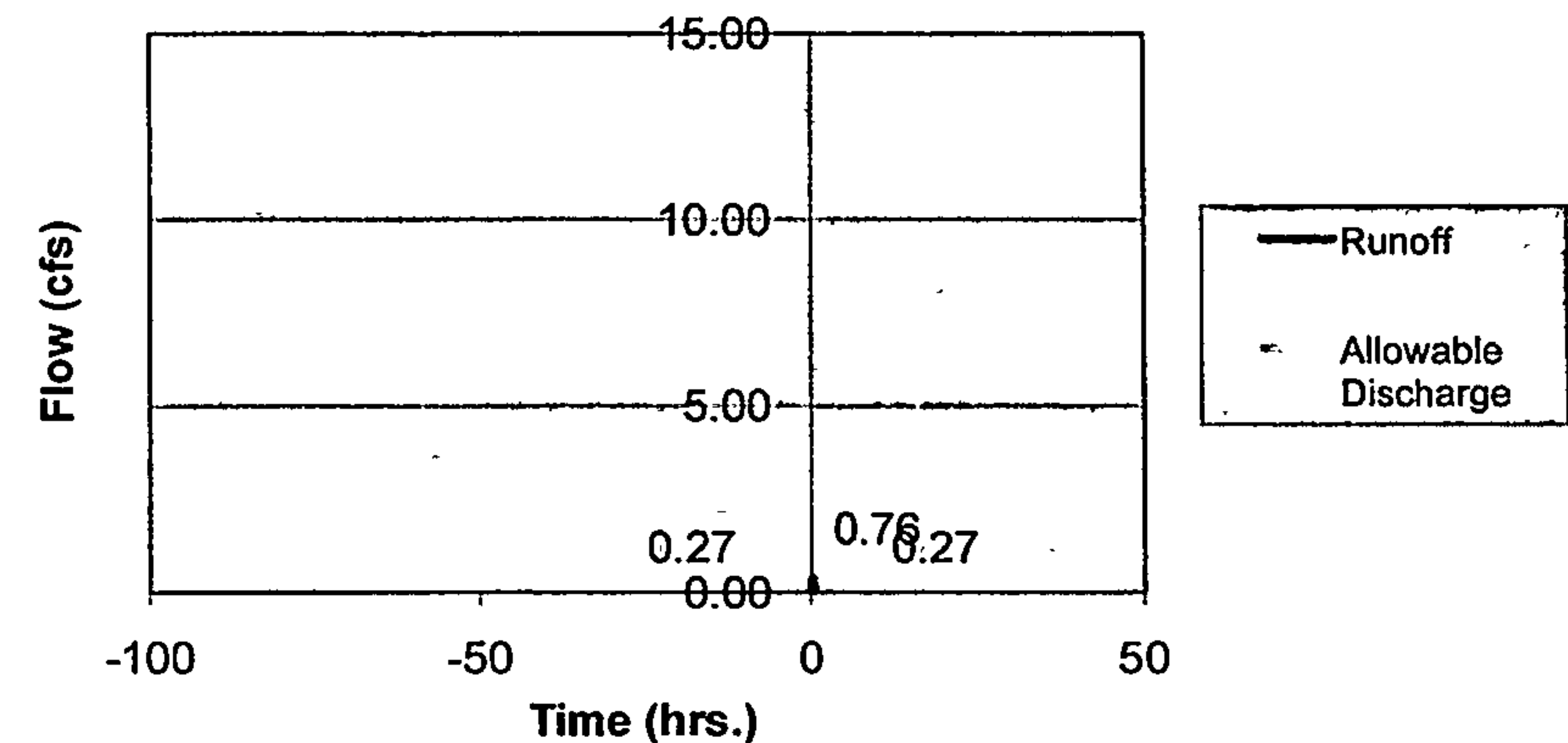
SOLVE FOR FLOW IN A TRAPEZOIDAL CHANNEL WITH
KNOWN DEPTH

Depth	0.50	feet
Top Width	1.75	feet
Bottom Width	1.50	feet
Channel Slope	1.00%	
Manning Coefficient	0.013	
Calculated Flow Capacity	5.8	cfs

SOLVE FOR DEPTH IN A TRAPEZOIDAL CHANNEL WITH
KNOWN FLOW

Required Flow	2.79	cfs
Depth Increment	0.005	feet
Initial Depth Assumption	0.30	feet
High Flow (cfs) at Depth (ft.)	2.82	0.33
Low Flow (cfs) at Depth (ft.)	2.75	0.325
Calculated Flow (cfs) at Depth (ft.)	2.8	0.3275

Hydrograph (time labels shown)



Basin "B" Pre and Post Development Flows.

REVISED 11-20-07

TOTAL AREA (acre)	3.36	Allowable Discharge (cfs)	50.00
Precipitation Zone	2	Allowable Discharge Vol. (ft ³)	-188349
TOTAL AREA (ft ³)	146362	Required Pond Volume (ft ³)	202131

Treatment Type	Acreage	Square Footage	Treatment %
A	0.00	0	0.0%
B	0.00	0	0.0%
C	3.36	146,362	100.0%
D	0.00	0	0.0%

6-hour Storm	Peak Method	Rational Method
100-year Peak Discharge (cfs)	10.55	10.52
10-year Peak Discharge (cfs)	5.75	5.73
2-year Peak Discharge (cfs)	2.02	1.99

Excess Precipitation (in.) 100-year	1.13
Excess Precipitation (in.) 10-year	0.52
Excess Precipitation (in.) 2-year	0.15

100-year 6-hr Runoff Volume (acre-feet, ft ³)	0.32	13,782
10-year 6-hr Runoff Volume (acre-feet, ft ³)	0.15	6,342
2-year 6-hr Runoff Volume (acre-feet, ft ³)	0.04	1,830

P _{1-hr} (in.)	2.01
P _{6-hr} (in.)	2.35
P _{24-hr} (in.)	2.75
P _{4-day} (in.)	3.30
P _{10-day} (in.)	3.95

100-year 10-day Runoff Volume (acre-feet, ft ³)	0.32	13,782
100-year 4-day Runoff Volume (acre-feet, ft ³)	0.32	13,782
100-year 24-hr Runoff Volume (acre-feet, ft ³)	0.32	13,782

Pipe Diameter	12.00	in
Slope	0.50%	
Manning Coefficient	0.013	
Pipe Area	0.79	ft ²
Perimeter	3.14	ft
Hydraulic Radius	0.25	ft
Flow Capacity	2.5	cfs

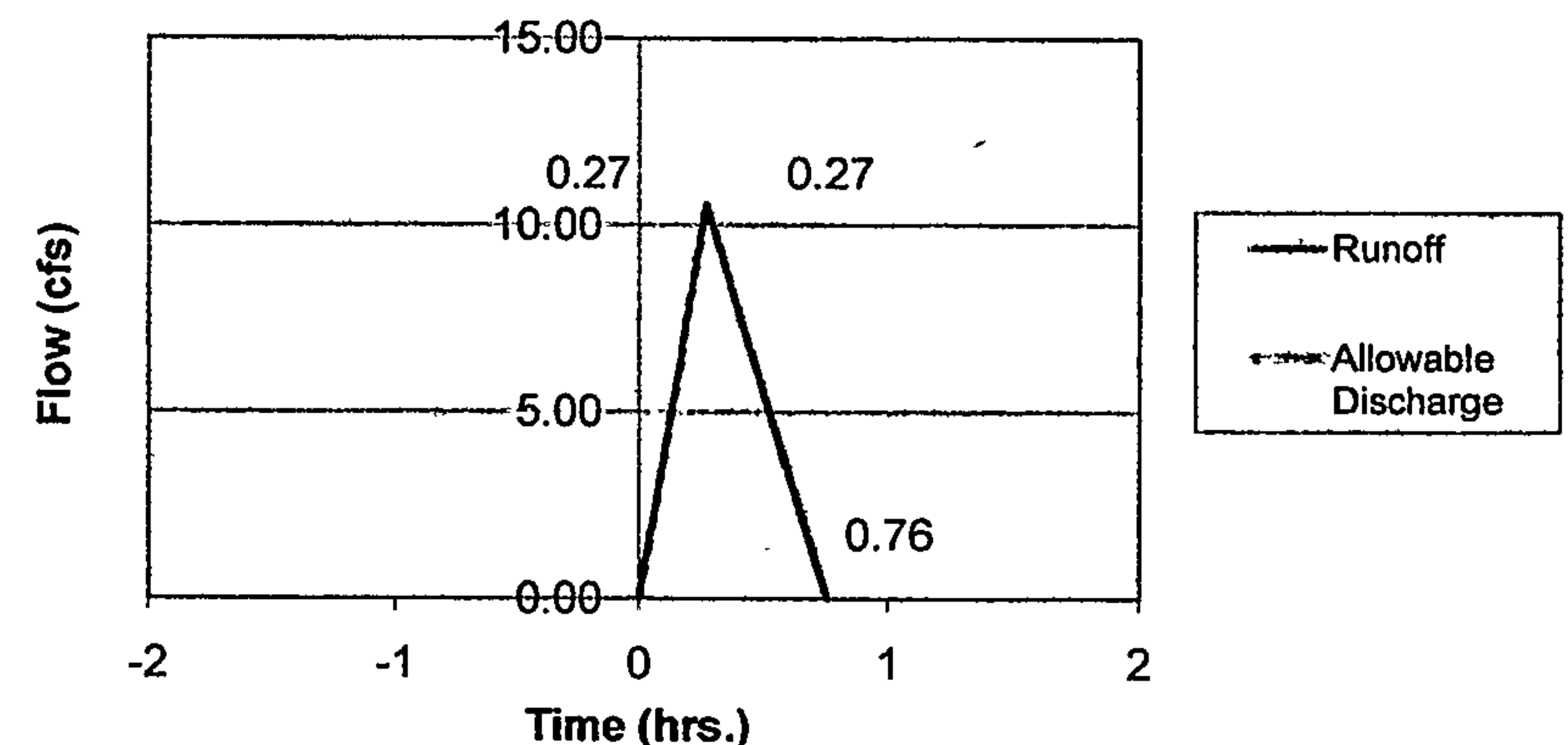
SOLVE FOR FLOW IN A TRAPEZOIDAL CHANNEL WITH KNOWN DEPTH

Depth	0.50	feet
Top Width	1.75	feet
Bottom Width	1.50	feet
Channel Slope	1.00%	
Manning Coefficient	0.013	
Calculated Flow Capacity	5.8	cfs

SOLVE FOR DEPTH IN A TRAPEZOIDAL CHANNEL WITH KNOWN FLOW

Required Flow	2.79	cfs
Depth Increment	0.005	feet
Initial Depth Assumption	0.30	feet
High Flow (cfs) at Depth (ft.)	2.82	0.33
Low Flow (cfs) at Depth (ft.)	2.75	0.325
Calculated Flow (cfs) at Depth (ft.)	2.8	0.3275

Hydrograph (time labels shown)



Pre-Development Basin "C"

This entire Tract 188A1B has been disturbed and worked with mechanical equipment. All soil type should be considered Type "C" as no reclamation or planting has occurred.

REVISÉD 11-20-07

TOTAL AREA (acre)	3.36	Allowable Discharge (cfs)	50.00
Precipitation Zone	2	Allowable Discharge Vol. (ft³)	-83097
TOTAL AREA (ft²)	146362	Required Pond Volume (ft³)	102675

Treatment Type	Acreage	Square Footage	Treatment %
A	0.00	0	0.0%
B	0.00	0	0.0%
C	1.75	76,108	52.0%
D	1.61	70,254	48.0%

6-hour Storm	Peak Method	Rational Method
100-year Peak Discharge (cfs)	13.07	13.04
10-year Peak Discharge (cfs)	8.05	8.04
2-year Peak Discharge (cfs)	4.05	4.03

Excess Precipitation (in.) 100-year	1.61
Excess Precipitation (in.) 10-year	0.91
Excess Precipitation (in.) 2-year	0.46

100-year 6-hr Runoff Volume (acre-feet, ft ³)	0.45	19,578
10-year 6-hr Runoff Volume (acre-feet, ft ³)	0.26	11,143
2-year 6-hr Runoff Volume (acre-feet, ft ³)	0.13	5,576

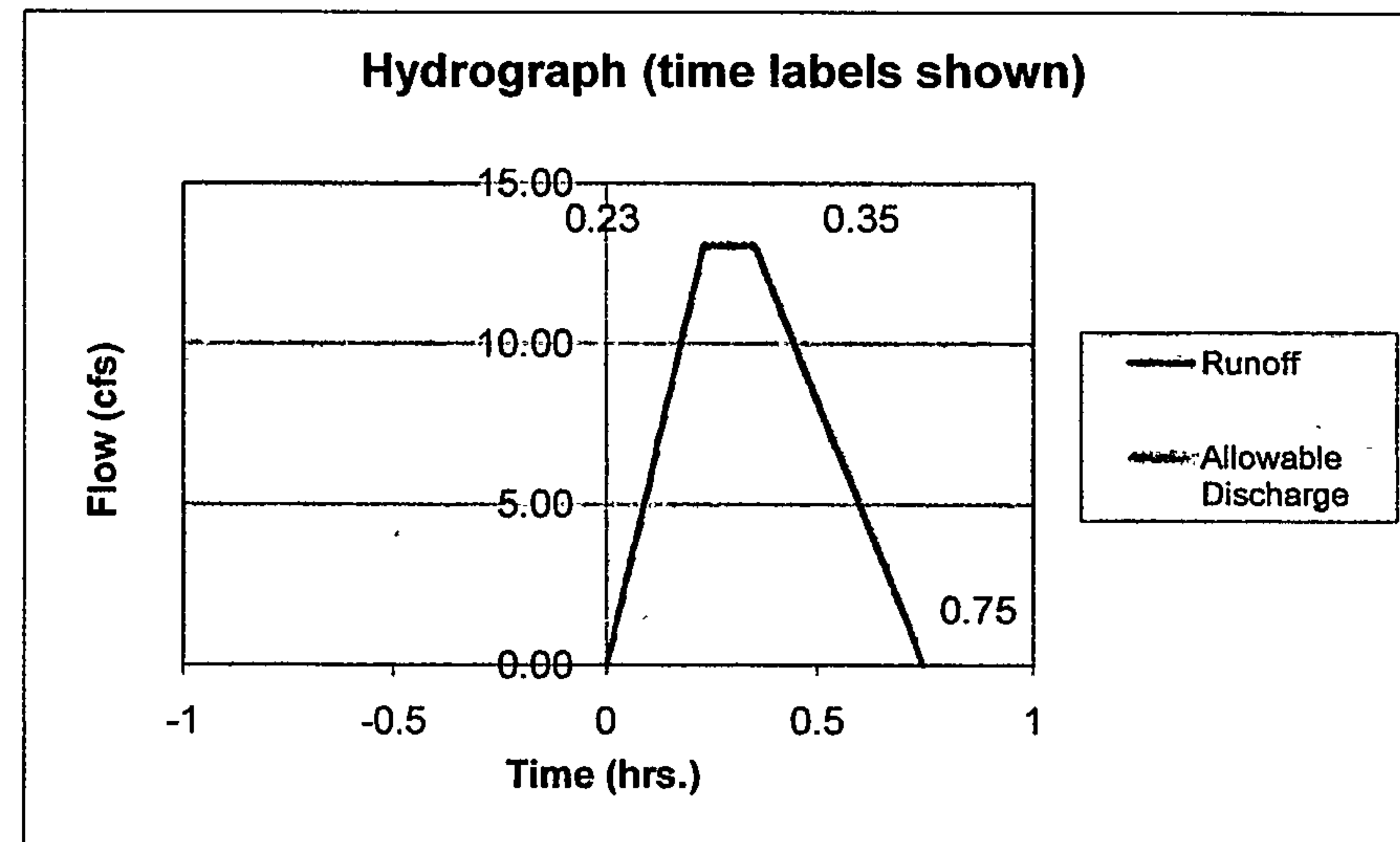
P _{1-hr} (in.)	2.01
P _{6-hr} (in.)	2.35
P _{24-hr} (in.)	2.75
P _{4-day} (in.)	3.30
P _{10-day} (in.)	3.95

100-year 10-day Runoff Volume (acre-feet, ft ³)	0.66	28,945
100-year 4-day Runoff Volume (acre-feet, ft ³)	0.58	25,140
100-year 24-hr Runoff Volume (acre-feet, ft ³)	0.50	21,920

Pipe Diameter	12.00	in
Slope	0.50%	
Manning Coefficient	0.013	
Pipe Area	0.79	ft ²
Perimeter	3.14	ft
Hydraulic Radius	0.25	ft
Flow Capacity	2.5	cfs

SOLVE FOR FLOW IN A TRAPEZOIDAL CHANNEL WITH KNOWN DEPTH		
Depth	0.50	feet
Top Width	1.75	feet
Bottom Width	1.50	feet
Channel Slope	1.00%	
Manning Coefficient	0.013	
Calculated Flow Capacity	5.8	cfs

SOLVE FOR DEPTH IN A TRAPEZOIDAL CHANNEL WITH KNOWN FLOW		
Required Flow	2.79	cfs
Depth Increment	0.005	feet
Initial Depth Assumption	0.30	feet
High Flow (cfs) at Depth (ft.)	2.82	0.33
Low Flow (cfs) at Depth (ft.)	2.75	0.325
Calculated Flow (cfs) at Depth (ft.)	2.8	0.3275



Post-Development Basin "1"

Portions of this Tract 188A1B will be paved, grout stabilized or have a structure on it. Since runoff should not be allowed to enter the Alameda Lateral (unlike current condition 100% of flows along with roof drainage from adjoining facility will be housed in the proposed retention pond.

$$\text{Total } Q_{100}(10\text{-day}) = 28,945 \text{ ft}^3 + 5,401 \text{ ft}^3 = 34,346 \text{ ft}^3$$

$$D_1 \cap D_2 = \emptyset \quad \text{and} \quad D_1 \cup D_2 = D$$

REVISED 11-20-07

TOTAL AREA (acre)	0.40	Allowable Discharge (cfs)	50.00
Precipitation Zone	2	Allowable Discharge Vol. (ft ³)	-952918
TOTAL AREA (ft ²)	17424	Required Pond Volume (ft ³)	955996

Treatment Type	Acreage	Square Footage	Treatment %
A	0.00	0	0.0%
B	0.00	0	0.0%
C	0.00	0	0.0%
D	0.40	17,424	100.0%

6-hour Storm	Peak Method	Rational Method
100-year Peak Discharge (cfs)	1.88	1.88
10-year Peak Discharge (cfs)	1.26	1.25
2-year Peak Discharge (cfs)	0.74	0.74

Excess Precipitation (in.) 100-year	2.12
Excess Precipitation (in.) 10-year	1.34
Excess Precipitation (in.) 2-year	0.79

100-year 6-hr Runoff Volume (acre-feet, ft ³)	0.07	3,078
10-year 6-hr Runoff Volume (acre-feet, ft ³)	0.04	1,946
2-year 6-hr Runoff Volume (acre-feet, ft ³)	0.03	1,147

P _{1-hr} (in.)	2.01
P _{6-hr} (in.)	2.35
P _{24-hr} (in.)	2.75
P _{4-day} (in.)	3.30
P _{10-day} (in.)	3.95

100-year 10-day Runoff Volume (acre-feet, ft ³)	0.12	5,401
100-year 4-day Runoff Volume (acre-feet, ft ³)	0.10	4,458
100-year 24-hr Runoff Volume (acre-feet, ft ³)	0.08	3,659

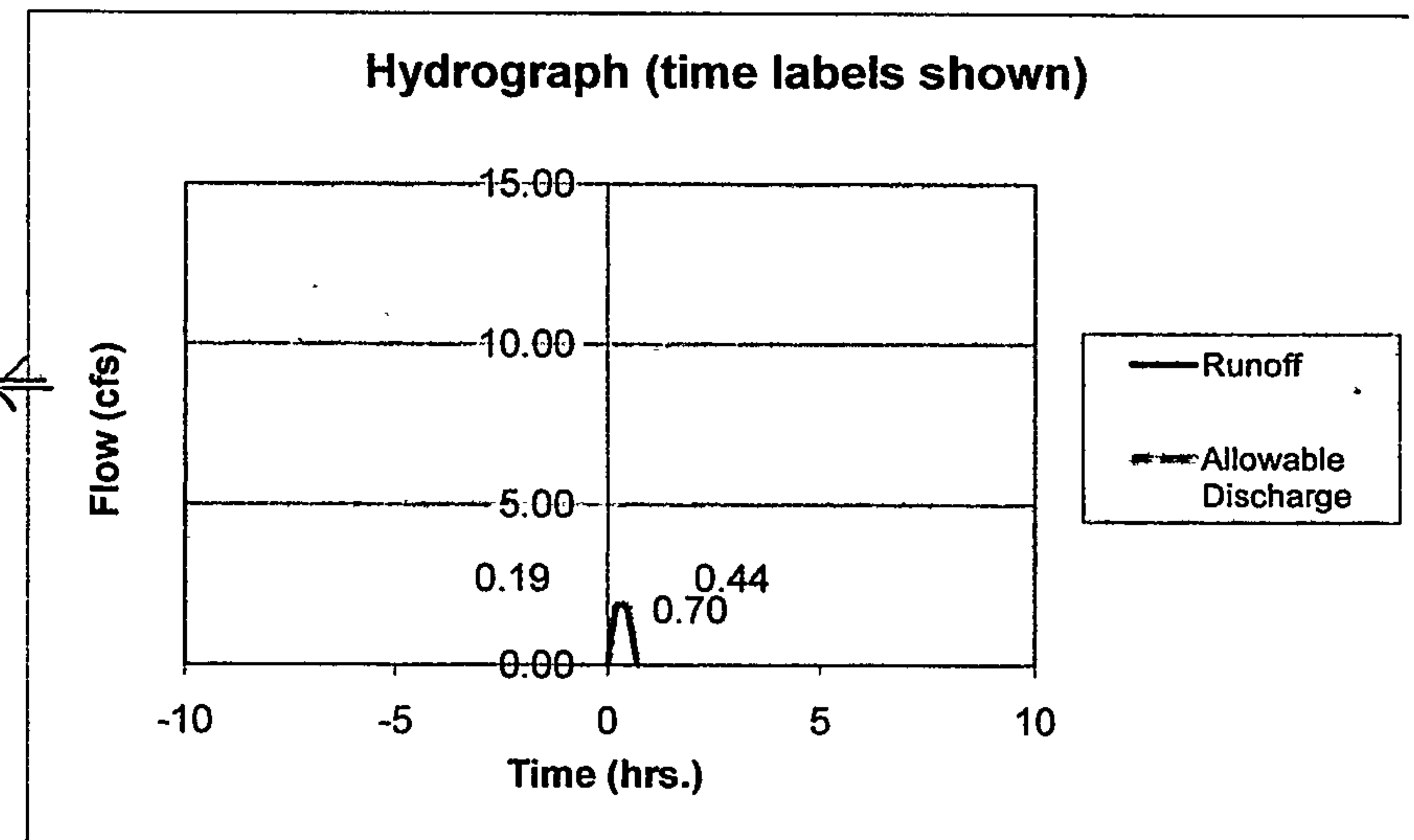
Pipe Diameter	12.00	in
Slope	0.50%	
Manning Coefficient	0.013	
Pipe Area	0.79	ft ²
Perimeter	3.14	ft
Hydraulic Radius	0.25	ft
Flow Capacity	2.5	cfs

SOLVE FOR FLOW IN A TRAPEZOIDAL CHANNEL WITH KNOWN DEPTH

Depth	0.50	feet
Top Width	1.75	feet
Bottom Width	1.50	feet
Channel Slope	1.00%	
Manning Coefficient	0.013	
Calculated Flow Capacity	5.8	cfs

SOLVE FOR DEPTH IN A TRAPEZOIDAL CHANNEL WITH KNOWN FLOW

Required Flow	2.79	cfs
Depth Increment	0.005	feet
Initial Depth Assumption	0.30	feet
High Flow (cfs) at Depth (ft.)	2.82	0.33
Low Flow (cfs) at Depth (ft.)	2.75	0.325
Calculated Flow (cfs) at Depth (ft.)	2.8	0.3275



Flows from Pre-Development Basin "A" collected from down-spouts of 1/2 of Roof area (17,250 ft²) and conveyed to Retention Pond on Tract 188A1B.

REVISED 11-20-07

TOTAL AREA (acre)	3.75	Allowable Discharge (cfs)	50.00
Precipitation Zone	2	Allowable Discharge Vol. (ft ³)	-75155
TOTAL AREA (ft ²)	163350	Required Pond Volume (ft ³)	95349

Treatment Type	Acreage	Square Footage	Treatment %
A	0.00	0	0.0%
B	1.78	77,591	47.5%
C	0.00	0	0.0%
D	1.97	85,759	52.5%

6-hour Storm	Peak Method	Rational Method
100-year Peak Discharge (cfs)	13.31	13.29
10-year Peak Discharge (cfs)	7.87	7.88
2-year Peak Discharge (cfs)	3.80	3.80

Excess Precipitation (in.) 100-year	1.48
Excess Precipitation (in.) 10-year	0.84
Excess Precipitation (in.) 2-year	0.42

100-year 6-hr Runoff Volume (acre-feet, ft ³)	0.46	20,194
10-year 6-hr Runoff Volume (acre-feet, ft ³)	0.26	11,387
2-year 6-hr Runoff Volume (acre-feet, ft ³)	0.13	5,775

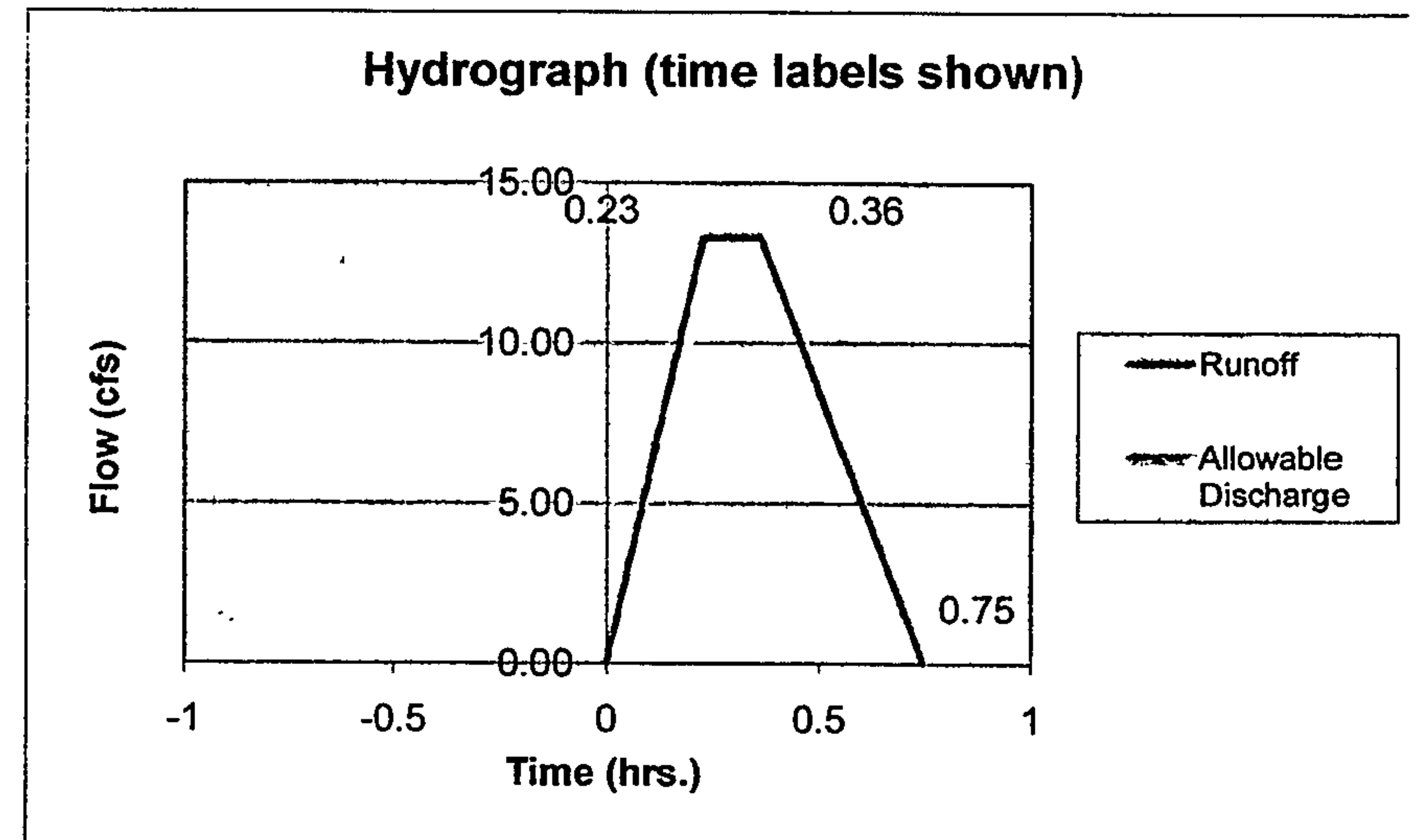
P _{1-hr} (in.)	2.01
P _{6-hr} (in.)	2.35
P _{24-hr} (in.)	2.75
P _{4-day} (in.)	3.30
P _{10-day} (in.)	3.95

100-year 10-day Runoff Volume (acre-feet, ft ³)	0.73	31,629
100-year 4-day Runoff Volume (acre-feet, ft ³)	0.62	26,983
100-year 24-hr Runoff Volume (acre-feet, ft ³)	0.53	23,053

Pipe Diameter	18.00	in
Slope	1.50%	
Manning Coefficient	0.013	
Pipe Area	1.77	ft ²
Perimeter	4.71	ft
Hydraulic Radius	0.375	ft
Flow Capacity	12.9	cfs

SOLVE FOR FLOW IN A TRAPEZOIDAL CHANNEL WITH KNOWN DEPTH		
Depth	0.50	feet
Top Width	1.75	feet
Bottom Width	1.50	feet
Channel Slope	1.00%	
Manning Coefficient	0.013	
Calculated Flow Capacity	5.8	cfs

SOLVE FOR DEPTH IN A TRAPEZOIDAL CHANNEL WITH KNOWN FLOW		
Required Flow	2.79	cfs
Depth Increment	0.005	feet
Initial Depth Assumption	0.30	feet
High Flow (cfs) at Depth (ft.)	2.82	0.33
Low Flow (cfs) at Depth (ft)	2.75	0.325
Calculated Flow (cfs) at Depth (ft.)	2.8	0.3275



10/1/07

REVISED 11-20-07
TOTAL AREA (acre)
Precipitation Zone
TOTAL AREA (ft³)
Treatment Type
A
B
C
D
6-hour Storm
100-year Peak Discharge (cfs)
10-year Peak Discharge (cfs)
2-year Peak Discharge (cfs)
Excess Precipitation (in.) 100-year
Excess Precipitation (in.) 10-year
Excess Precipitation (in.) 2-year
100-year 6-hr Runoff Volume (acre-feet)
10-year 6-hr Runoff Volume (acre-feet)
2-year 6-hr Runoff Volume (acre-feet)
P _{1-hr} (in.)
P _{6-hr} (in.)
P _{24-hr} (in.)
P _{4-day} (in.)
P _{10-day} (in.)
100-year 10-day Runoff Volume (acre-feet)
100-year 4-day Runoff Volume (acre-feet)
100-year 24-hr Runoff Volume (acre-feet)
Pipe Diameter
Slope
Manning Coefficient
Pipe Area
Perimeter
Hydraulic Radius
Flow Capacity

CITY OF ALBUQUERQUE



December 1, 2011

Edward J. Losinski, P.E.
JEL & Associates, LLC
P.O. Box 9700 3180
Corrales, NM 87048

**Re: Car Crafters Automotive Repair Garage Grading and Drainage Plan,
Engineer's Stamp dated 10-21-11 (F15/D036), 5404 Edith Blvd. NE**

Dear Mr. Losinski,

Based upon the information provided in your submittal received 11-16-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- ✓• Provide City BM.
- ✓• Include all the runoff calculations.
- ✓• Provide required ponding volume calculations.
- ✓• Add the 100-Yr WSEL to the plan. Include the proposed retention pond volume calculations. Provide emergency overflow with calculations.
- ✓• Will there be a concrete rundown for the pond to avoid erosion?
- ✓• Please route the runoff from Basin B to the proposed retention pond.
- ✓• The area east of Basin B appears to drain south. Please make sure that this area will be included as part of the retention pond volume.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

CITY OF ALBUQUERQUE



December 5, 2011

Darren Sowell, R.A.
Darren Sowell Architects
4700 Lincoln Rd. NE, Suite 111
Albuquerque, NM 87109

**Re: Car Crafters – Automotive Repair Garage, 5404 Edith Blvd NE,
Traffic Circulation Layout
Architect's Stamp dated 10-20-11 (F15-D036)**

Dear Mr. Sowell,

Based upon the information provided in your submittal received 11-16-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please clarify the status of the proposed platting action. What is the DRB project number? An approved preliminary plat must be provided prior to building permit approval.
2. Clarify how the proposed access easement will function with the existing knox box shown on site. This information must be provided on the plan.
3. The site layout indicates access will be shared at the northeast and northwest corners of the site. However, an access easement is shown only in the northeast corner of the site. Please revise.
4. Provide a legend identifying all hatching and linetypes.
5. Parking spaces cannot cross the lot lines.
6. The proposed concrete walkway cannot be flush with the asphalt, as this places it directly within the vehicular way.
7. Clearly indicate the 6-foot wide, ADA accessible pathway from the handicapped parking stalls to the building.
8. Clearly indicate the 6-foot wide, ADA accessible pathway from the roadway to the building.
9. Define the width of all parking stalls.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

F-15/2036

PROJECT TITLE: Car Crafters - Automotive Repair Garage ZONE MAP: F-15
 DRB#: N/A EPC#: N/A WORK ORDER#: _____

LEGAL DESCRIPTION: Tract 188A1B, MRGCD Map 32, (Tract A-2, Guthrie Commerce Park)
 CITY ADDRESS: 5404 Edith Blvd. NE

ENGINEERING FIRM: JEL & Associates, LLC CONTACT: Eddy Losinski
 ADDRESS: P.O. Box 3180 PHONE: 823-1556
 CITY, STATE: Corrales, NM ZIP CODE: 87048

OWNER: Headstart Enterprises, LP CONTACT: Jim Guthrie
 ADDRESS: 600 Montano Rd. NE PHONE: 881-8889
 CITY, STATE: Albuquerque, NM ZIP CODE: 87107

ARCHITECT: Darren Sowell Architects, LLC CONTACT: Craig Calvert
 ADDRESS: 4700 Lincoln Rd NE Suite 111 PHONE: 342-6200
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

SURVEYOR: Harris Surveying, Inc. CONTACT: Tony Harris
 ADDRESS: 2412-D Monroe St. NE PHONE: 889-8056
 CITY, STATE: Albuquerque, NM ZIP CODE: 87110

CONTRACTOR: Pro Con, Inc. CONTACT: Rick Osborn
 ADDRESS: 3800-A Midway Place NE PHONE: 232-2373
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

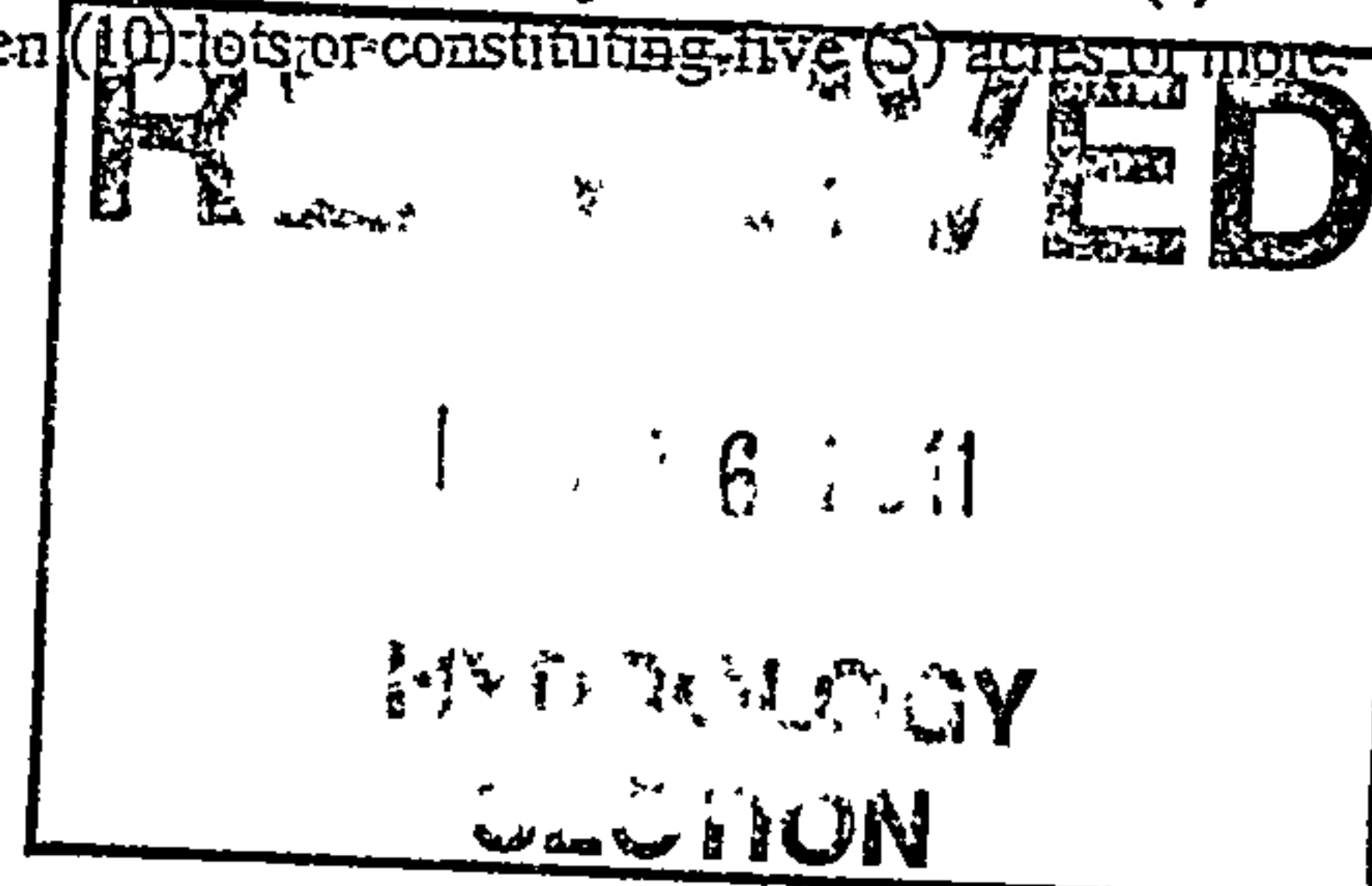
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 11-14-11 BY: Craig Calvert

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



FIS/030

4-27-4

Car Crafters

Spoke to Eddie Lyzinski,

Due to a previous error, I asked Eddie to
direct some flows from the existing side
into the retention pond on the back.

Ante in chun

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD MEMO

DRB PROJECT NO: 1002629

AGENDA ITEM NO: 8

SUBJECT:

Sketch Plat

ENGINEERING COMMENTS:

A Conceptual Grading and Drainage plan will be required for Preliminary Plat approval.

Stormwater runoff restrictions

RESOLUTION:

APPROVED ____; DENIED ____; COMMENTS PROVIDED ____; WITHDRAWN ____
DEFERRED TO: _____

SIGNED: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED TO: (UD) (CE) (TRANS) (PKS) (PLNG)

COMMENTS:

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3695

DATE: 4-27-11

CITY OF ALBUQUERQUE



December 1, 2011

Edward J. Losinski, P.E.
JEL & Associates, LLC
P.O. Box 9700 3180
Corrales, NM 87048

**Re: Car Crafters Automotive Repair Garage Grading and Drainage Plan,
Engineer's Stamp dated 10-21-11 (F15/D036), 5404 Edith Blvd. NE**

Dear Mr. Losinski,

Based upon the information provided in your submittal received 11-16-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- Provide City BM.
- Include all the runoff calculations.
- Provide required ponding volume calculations.
- Add the 100-Yr WSEL to the plan. Include the proposed retention pond volume calculations. Provide emergency overflow with calculations.
- Will there be a concrete rundown for the pond to avoid erosion?
- Please route the runoff from Basin B to the proposed retention pond.
- The area east of Basin B appears to drain south. Please make sure that this area will be included as part of the retention pond volume.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

CITY OF ALBUQUERQUE



May 17, 2007

Mr. David Aube, P.E.
The Design Group
202 Central Ave. Ste 200
Albuquerque, NM 87106

**Re: Car Crafters, 600 Montano Rd. NE,
Approval of Permanent Certificate of Occupancy (C.O.),
Engineer's Stamp dated 12/13/06 (F-15/D036)
Certification dated: 5/15/07**

Based upon the information provided in your submittal received 05/17/07, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Sincerely,

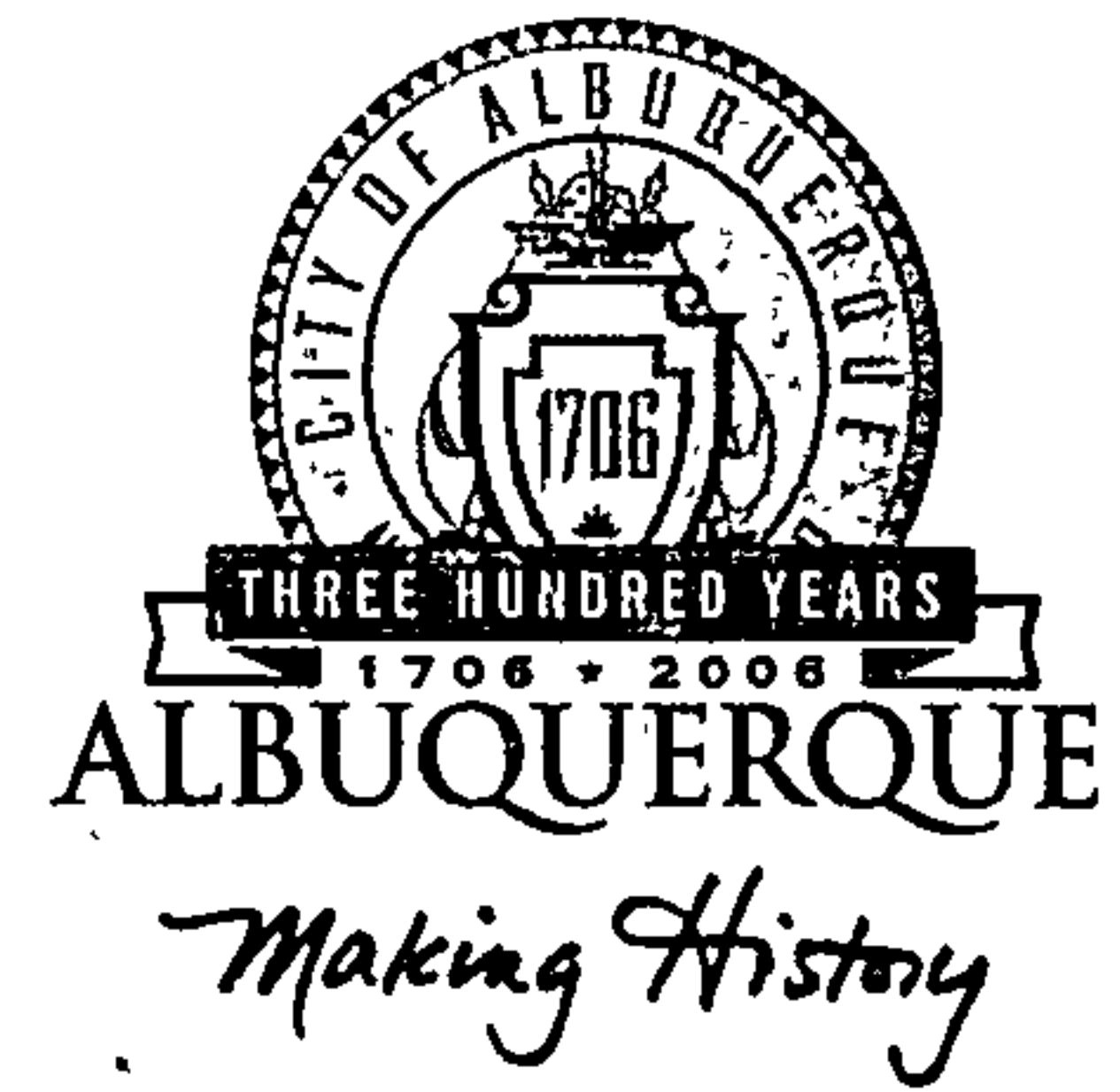
Timothy Sims
Plan Checker - Hydrology
Development and Building Services

New Mexico 87103

www.cabq.gov

C: CO Clerk-Katrina Sigala
File

CITY OF ALBUQUERQUE



April 27, 2006

David A. Aube, P.E.
The Design Group
202 Central Avenue SE – Suite 200
Albuquerque, NM 87102

**Re: Car Crafters, Lots 11-17 Sunrise Heights Subdivision, MRGCD
Tracts 89-A-2, 89-B-2, Grading & Drainage Plan
Engineer's Stamp dated 3-29-06 (F15-D36)**

Dear Mr. Aube,

Based upon the information provided in your submittal dated 3-30-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Additionally, prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Municipal Development Department Hydrology Section at 768-3654 (Charles Caruso).

If you have any questions, you can contact me at 924-3990.

Sincerely,

Phillip J. Lovato, E.I., C.F.M.
Engineering Associate, Hydrology,
Development and Building Services,
Planning Department

cc: Charles Caruso, DMD
file

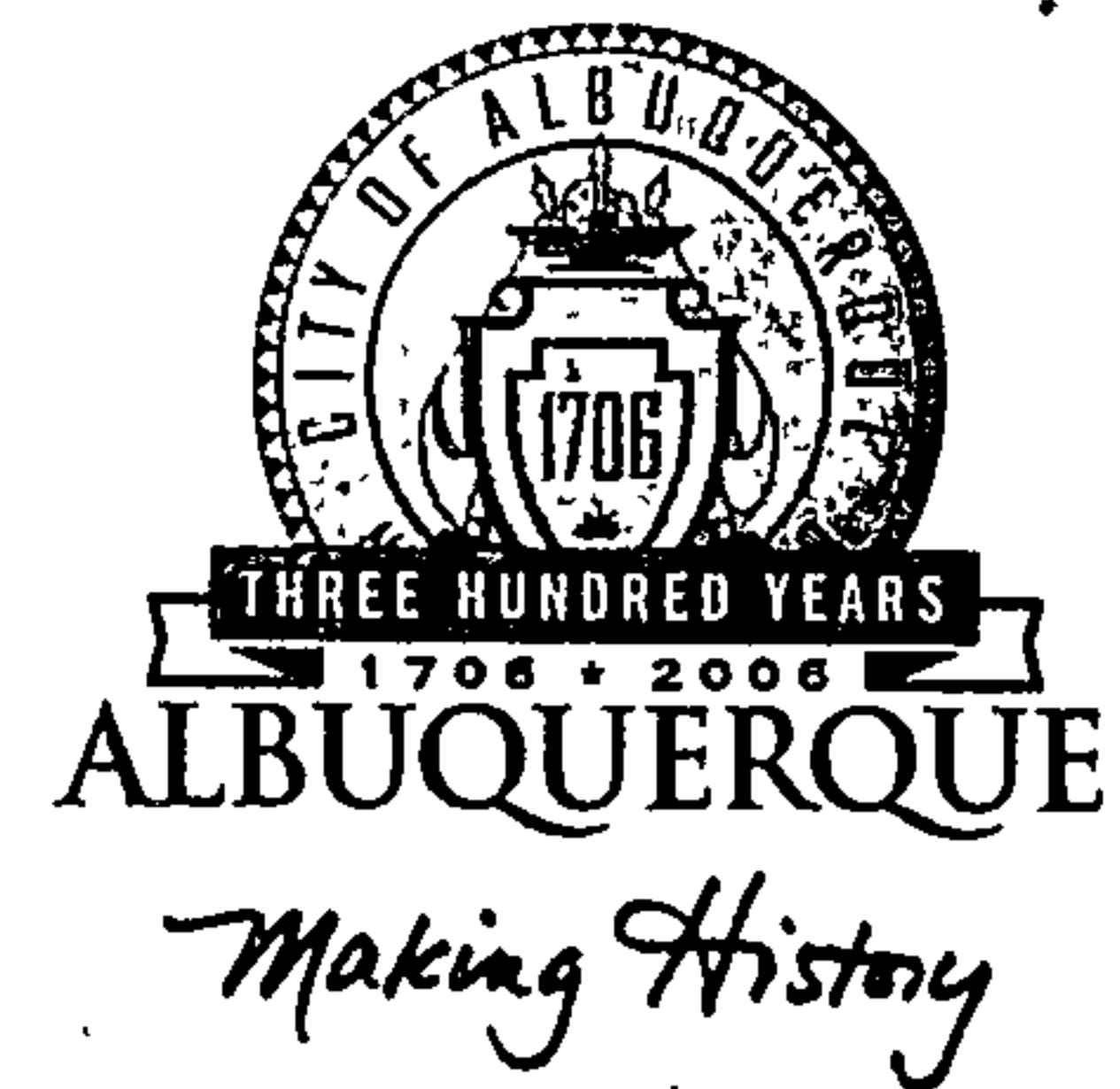
P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



July 25, 2005

David A. Aube, P.E.
The Design Group
202 Central Avenue SE – Suite 200
Albuquerque, NM 87102

**Re: Car Crafters, Lots 11-17 Sunrise Heights Subdivision, MRGCD
Tracts 89-A-2, 89-B-2, Grading & Drainage Plan
Engineer's Stamp dated 7-18-05 (F15-D36)**

Dear Mr. Aube,

Based upon the information provided in your submittal dated 7-18-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Additionally, prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Municipal Development Department Hydrology Section at 768-3654 (Charles Caruso).

If you have any questions, you can contact me at 924-3990.

Sincerely,

Phillip J. Lovato, E.I., C.F.M.
Engineering Associate, Hydrology,
Development and Building Services,
Planning Department

cc: Charles Caruso, DMD
file

P.O. Box 1293

Albuquerque

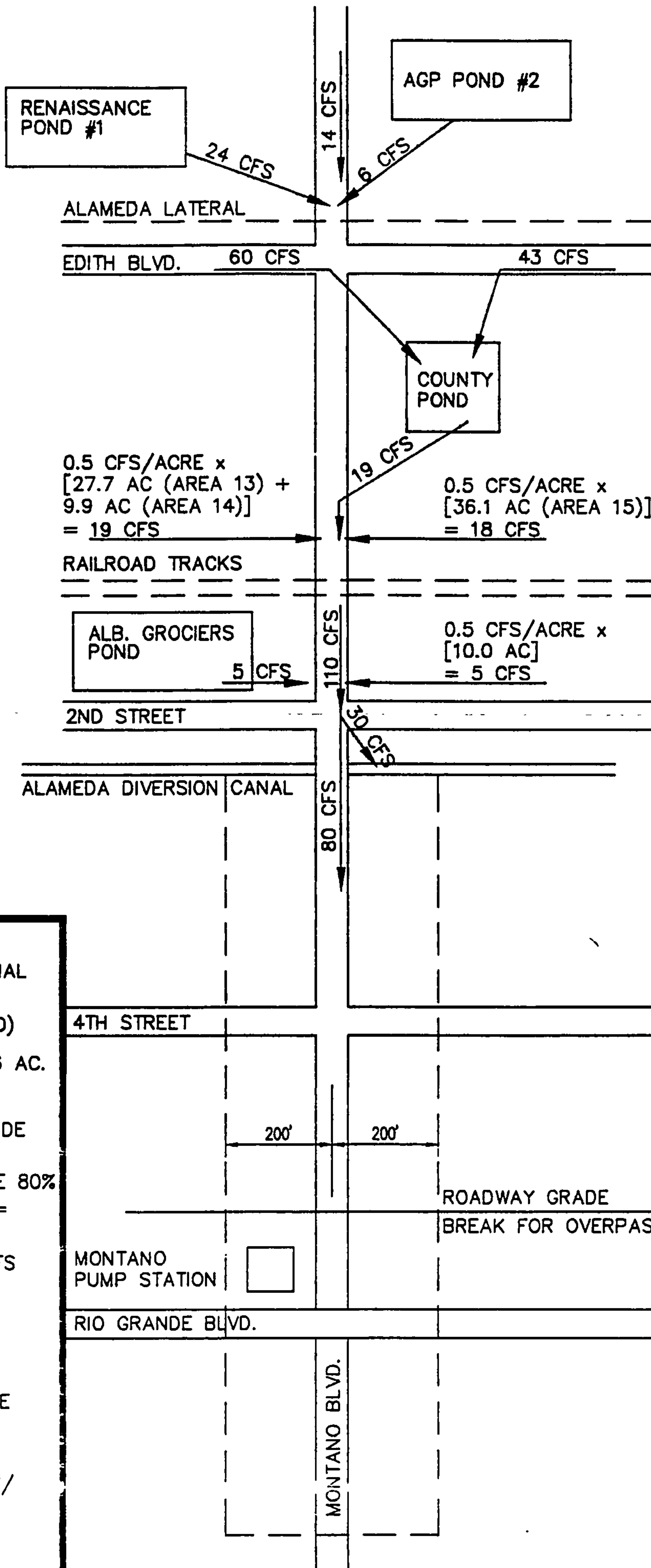
New Mexico 87103

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MONTANO RANGE



NTS



9.8 MIN.
TRAVEL TIME
IN PIPE

32.6 MIN.
TRAVEL TIME
IN PIPE

RUNOFF AREA FROM
ALAMEDA DIVERSION CANAL
TO START OF ROADWAY
DEPRESSION (STA. 81+00)
8270' x 400' WIDE = 76 AC.
43560

% DRAINAGE AREA OUTSIDE
OF ROADWAY =
(1-86/400) = 0.78, USE 80%
ALLOWABLE DISCHARGE =
0.5 CFS/ACRE
76 x 0.8 x 0.5 = 30 CFS

COMBINED FLOWS =
80 + 30 = 110 CFS

PUMP STATION WILL HAVE
CAPACITY TO HANDLE
FLOWS DUE TO:

- 1) AVAILABLE ROADWAY/
SIDE DITCH STORAGE
- 2) SPECIFIC ROUTING
OF FLOWS

STA. 163+70

STA. 150+80

STA. 81+00

STA. 73+72

STA. 57+00

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

May 17, 2007

David Aube, P.E.
The Design Group
202 Central Ave. SE, Ste. 200
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
Car Crafters, [F-15 / D36]
600 Montano Rd. NE
Engineer's Stamp Dated 05/15/07

P.O. Box 1293

Dear Mr. Aube:

Albuquerque

The TCL / Letter of Certification submitted on May 17, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

New Mexico 87103

Sincerely,

www.cabq.gov

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

CITY OF ALBUQUERQUE



Planning Department Transportation Development Services Section

December 18, 2006

David Aube, P.E.
Design Group
202 Central Ave., Ste. 200
Albuquerque, NM 87106

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
Car Crafters, [F-15 / D36]
600 Montano NE
Engineer's Stamp Dated 12/15/06

Dear Mr. Aube:

The TCL submittal, dated December 15, 2006, is sufficient for acceptance by this office and is stamped and signed as such. Four copies will be required: two for submittal of building permit plans, one for this office and one to be kept by you to be used for certification of the site for final C.O. for Hydrology/Transportation.

P.O. Box 1293 When superintendent of project is ready to call for a Temporary C.O. immediate issuance is no longer possible at that time. An exact copy of the approved TCL, marked up, showing incomplete work remaining, along with a letter of certification is required prior to issuance of Temporary C.O. If project is one of multiple phases, Barricading Plan is needed clearly illustrating separation of this site from coming phases, not completed or yet begun.

Albuquerque

New Mexico 87103 When site is complete and a Final C.O. is needed, a Letter of Certification, stating site was built in substantial compliance, needs to be attached to your stamped, approved TCL letter or TCL must be stamped with the designer's seal for the certification. Seal must be signed and dated for that submittal. This and all documentation must be submitted with a completed Drainage Information Sheet (also used for the Grading and Drainage submittal) to Hydrology at the Development Services Center of Plaza Del Sol Building.

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Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. to confirm that Final C.O. has been issued to the superintendent, call Building Safety at 924-3306. **An approved Plat is Condition of Acceptance for Final C.O.**

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

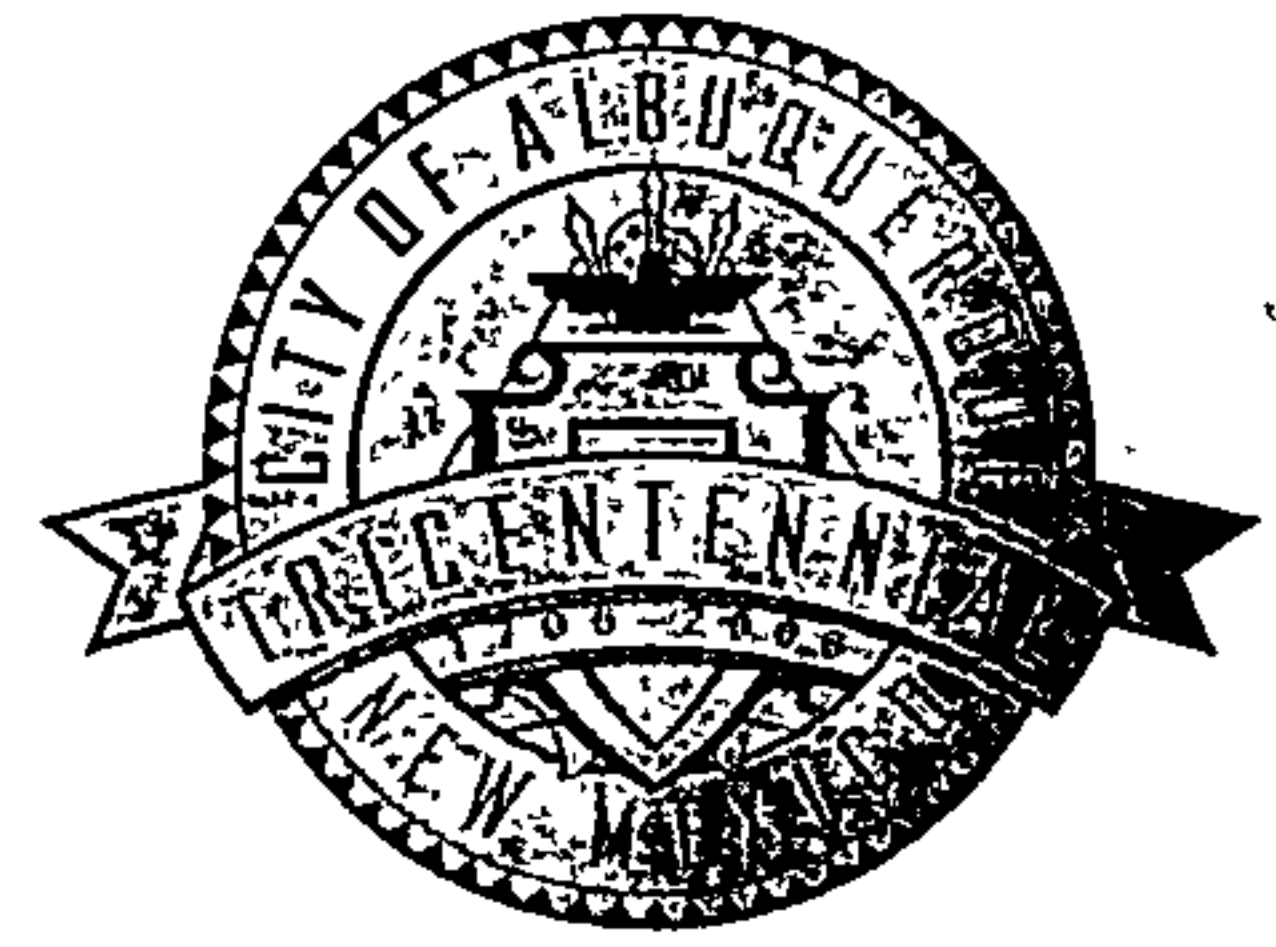
c: Engineer
Hydrology file
Mike Zamora

2/16/07
Hold on
CO per WG
- need access
esmt to
be vacated
- needs
plat to
be filed
or be
provided
proof that
will not
be appealed

2/28/07
Scheduled
for DRB
(have 15 days
from 2/28/07
to appeal
this)

3/1/07
Per RD,
once FG is approved,
can get a CO-TEMP
OR
get written from Mike Tran
stating median work will
be tied into his plans
(letter or email)

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

June 22, 2006

David Aube
Design Group
202 Central Ave. NE Ste 200
Albuquerque, NM 87106

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
Offices and Warehouse for Car Crafters [F-15/D-36]
(Lots 11-17 Sunrise heights), Albuquerque, NM
Engineer's/Architect's Stamp Dated 06-22-2006

Dear Mr. Aube,

The TCL submittal dated June 22, 2006 is approved for building permit. The plan is stamped and signed as approved. Two copies of the plan that is stamped as approved will be required: one for each of the building permit plans and the original to be kept by you to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed then a copy of the original TCL that was stamped as approved by the City which includes a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance". This statement requires a NM registered architect or engineer stamp to be dated. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer needs stamp and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,


Nilo Salgado-Fernandez, PE
Senior Traffic Engineer
Development and Building Services

cc: Hydrology file
File