

DRAINAGE CERTIFICATION W/SURVEY WORK BY OTHERS

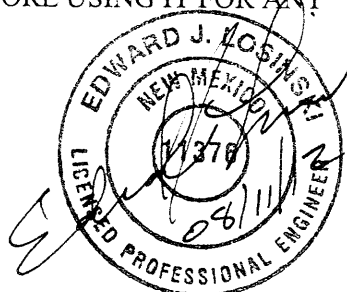
I, EDWARD J. LOSINSKI, NMPE 11376, OF THE FIRM JEL & ASSOCIATES, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/21/2011. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY, MR. TONY HARRIS, NMPS 11463, OF THE FIRM HARRIS SURVEYING COMPANY, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JULY 26, 2012 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR BUILDING CERTIFICATE OF OCCUPANCY.

DURING THE COURSE OF CONSTRUCTION APPROXIMATELY 10,245 SQUARE FEET OF ADDITIONAL PAVEMENT WAS ADDED ABOVE THAT APPROVED ON THE ORIGINAL PLAN. THE INCREASE OF STORMWATER VOLUME TO THE WESTERLY POND IS 2,212 CUBIC FEET. THE FREEWATER SURFACE ELEVATION IN THE POND WILL INCREASE BY 0.21-FEET TO ELEVATION 4,996.45. THE TOP OF THE POND IS AT 4997.96 AS CONSTRUCTED AND AS SUCH 1.51- FEET OF FREEBOARD REMAINS IN THE POND AFTER THE 100-YEAR EVENT. POND BOTTOM ELEVATION IS 4,992.93 AS CONSTRUCTED.

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Edward J. Losinski
EDWARD J. LOSINSKI, NMPE 11376

08/11/12
DATE



Revised 08/15/12
per Meeting w/ Council
EJR

BENCHMARK: CITY OF ALBUQUERQUE 9-F15. AN ALLUMINUM DISK ON CONCRETE DROP INLET, ENE QUADRANT OF MONTANO AND EDITH N.E. ELEVATION: 4986.68, NAVD88

KEYED NOTES:

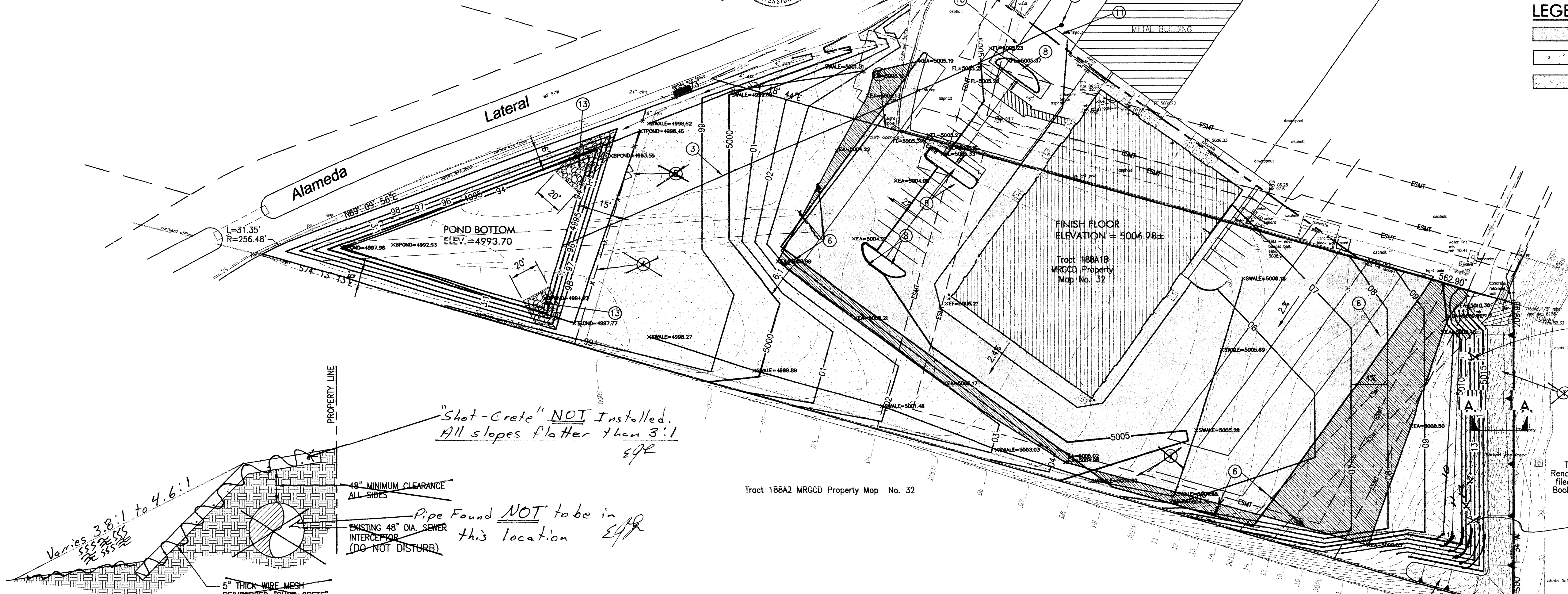
- 1 5" THICK "SHOT-CRETE" WITH WIRE MESH REINFORCING. *Not Built EJR*
- 2 INSTALL 250 L.F. OF 12" DIA. HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAIN. MINIMUM SLOPE = 0.5%.
- 3 INSTALL 374 L.F. OF 12" DIA. HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAIN. MINIMUM SLOPE = 0.5%.
- 4 INSTALL APPROXIMATELY 170 L.F. OF FENCING TO MATCH EXISTING PERIMETER FENCING. *Not Built EJR*
- 5 INSTALL 12" WIDE (DOUBLE 6") GATES FOR MAINTENANCE ACCESS TO PONDS. MATCH EXISTING PERIMETER FENCING. *Not Built EJR*
- 6 INSTALL HEADER CURB FLUSH WITH ASPHALT PER COA STANDARD DETAIL 2415.
- 7 INSTALL CONCRETE PAVING SECTION FOR TRASH DUMPSTER. SEE DETAIL THIS SHEET. *Not Built. Trash Dumpster Remains at pre-development location EJR*
- 8 INSTALL CURB AND GUTTER TO MATCH EXISTING CURB AND GUTTER WITHIN THE CAR CRAFTERS FACILITY.
- 9 END 12" DIA. HIGH DENSITY POLYETHYLENE (HDPE) AND INSTALL TRAFFIC RATED 6" DIA. CLEANOUT.
- 10 INSTALL 12" DIAx45" WYE.
- 11 INSTALL 6" DIA. HIGH DENSITY POLYETHYLENE (HDPE) LATERAL AND CONNECT TO EXISTING BUILDING DOWN SPOUT AND 12" DIA. HDPE MAIN LINE. SEE DETAIL THIS SHEET.
- 12 INSTALL 6" DIA. TRAFFIC RATED CLEAN OUT.
- 13 INSTALL 20" WIDE BY 1'-2" DEEP DUMPED RIPRAP AS SHOWN. INSTALL FILTER FABRIC BELOW RIPRAP. $D_{50}=6"$ STONE.

LEGEND

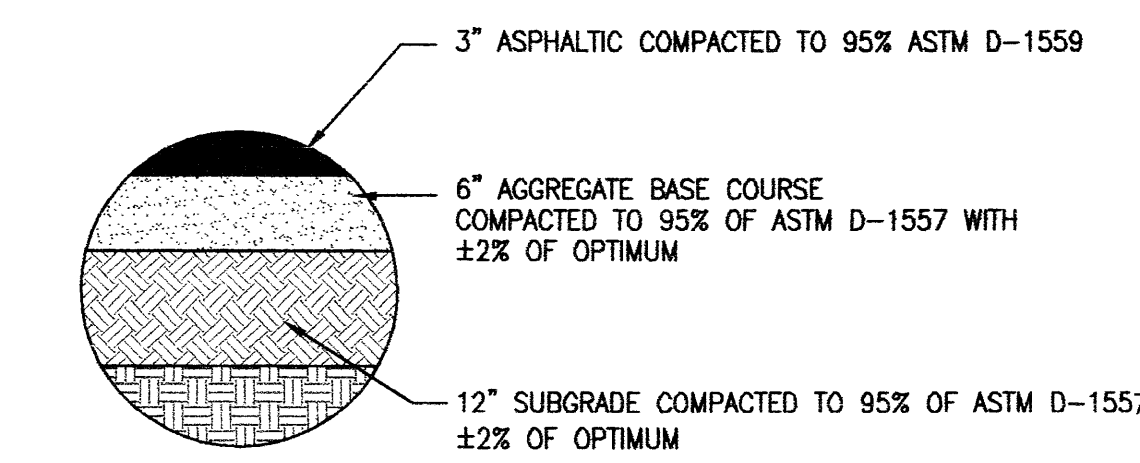
- INDICATES ASPHALT PAVING
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Car Crafters
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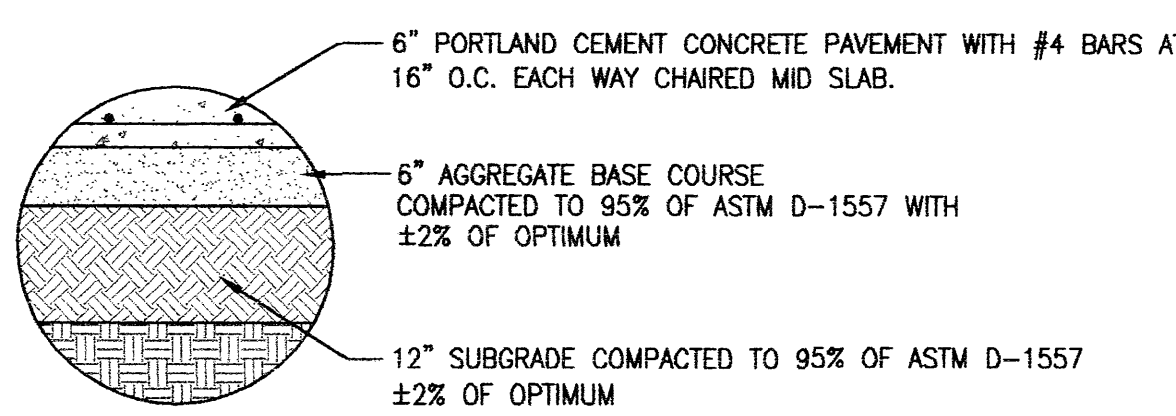
AS-BUILT



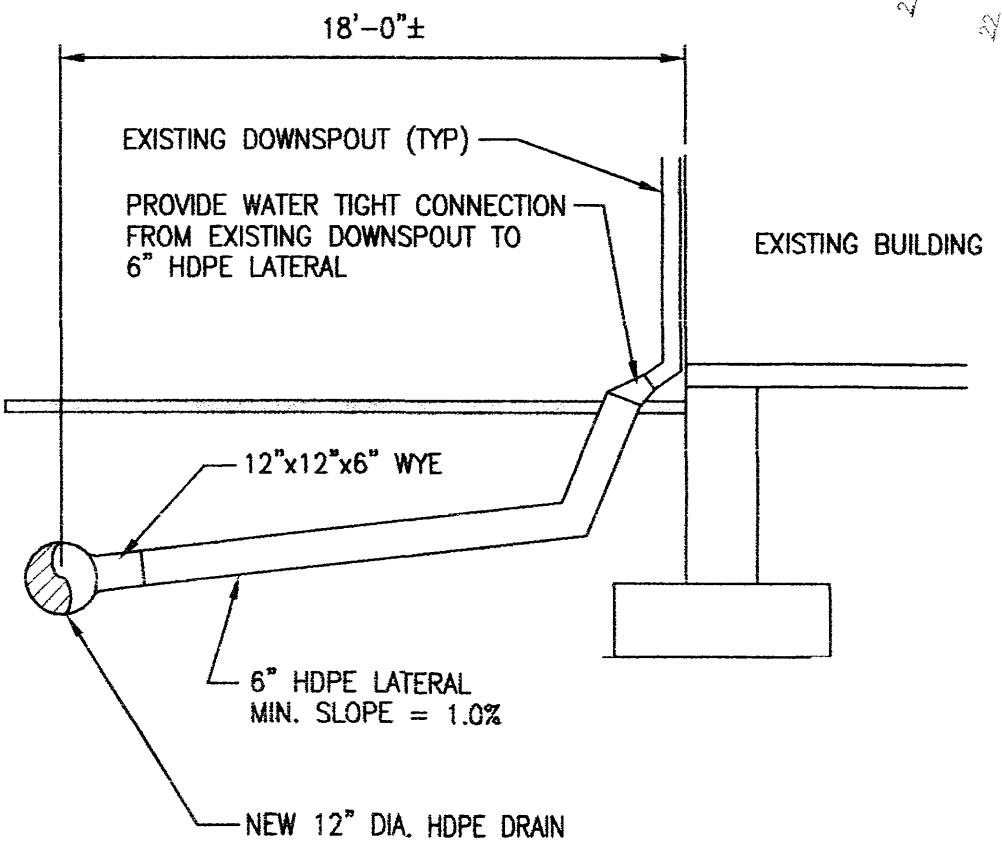
SECTION A-A



TYPICAL ASPHALT PAVING SECTION



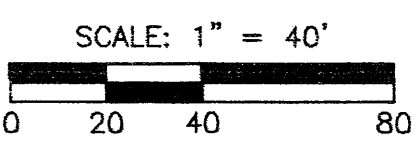
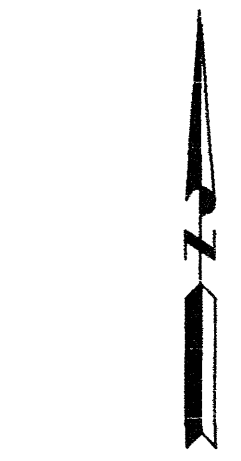
TYPICAL CONCRETE PAVING SECTION



DOWNSPOUT CONNECTION DETAIL

GENERAL NOTES:

- 1 EASEMENTS SHOWN HEREIN ARE EXISTING AND SOME ARE INTENDED TO BE VACATED. SEE PRELIMINARY PLAT WITHIN THIS SET OF DRAWINGS FOR DETAILS.
- 2 THE PROPERTY LINE SHOWN IS EXISTING AND A LOT LINE ADJUSTMENT IS PENDING. SEE PRELIMINARY PLAT WITHIN THIS SET FOR DETAILS.



Project Number
Drawn By T.D.S.
Checked E.J.L.
Issue Date 12/22/2011

GRADING AND
DRAINAGE PLAN

Scale:

C102A

GENERAL CONSTRUCTION NOTES:

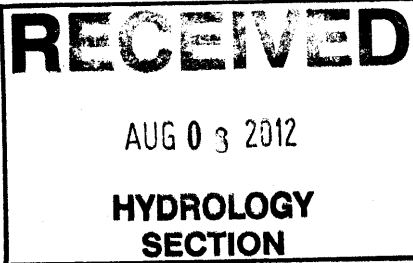
1. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY SUPPLIERS AT LEAST THREE (3) DAYS PRIOR TO ANY UTILITY CONSTRUCTION (INCLUDING CONNECTIONS TO EXISTING SYSTEM) TO COORDINATE THE VARIOUS ITEMS OF WORK WITH OPERATIONS STAFF. THE CONTRACTOR SHALL CONTACT WATER UTILITY TWO (2) WEEKS PRIOR TO WATER SHUT-OFF AND INFORM ANY AFFECTED USERS OF INTERRUPTIONS IN UTILITY SERVICES.
2. ALL TEES, BENDS AND CAPS ON WATER PIPING SHALL BE BLOCKED ACCORDING CITY OF ALBUQUERQUE STANDARD DETAIL 2320.
3. ALL TRENCH BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 95% OF OPTIMUM (MODIFIED) ASTM D-1557, $\pm 2\%$.
4. ALL NON-UTILITY WORK DETAILED ON THESE PLANS SHALL BE PERFORMED EXCEPT AS OTHERWISE STATED IN ACCORDANCE WITH THE AWWA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION AS AMENDED.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
6. EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED ON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLY WITH (BLUE STAKE) PROCEDURES, OR OTHERWISE.
7. THE GEOTECHNICAL REPORT INDICATES THAT ON SITE NON-EXPANSIVE SOILS MAY BE USED FOR ENGINEERED FILL OR FOR GENERAL SITE GRADING AND EXTERIOR SLABS. NO MATERIALS PITS HAVE BEEN DESIGNATED FOR THIS PROJECT. IT IS ANTICIPATED THAT ANY REQUIRED ENGINEERED SOILS WOULD BE OBTAINED FROM EXISTING STATE AND EPA COMPLIANT BORROW SOURCES.
8. ALL NEW STREET PAVING AND CURB AND GUTTER SHALL MATCH THE ELEVATIONS OF ABUTTING EXISTING AREAS AS SHOWN IN THE PLANS OR AS DIRECTED BY THE PROJECT OWNERS REPRESENTATIVE.
9. THE CONTRACTOR SHALL COORDINATE HIS CONSTRUCTION ACTIVITIES WITH ALL OTHER CONTRACTORS AND UTILITY COMPANIES WORKING IN THE SAME AREA.
10. WHEN ABUTTING NEW PAVEMENT TO EXISTING, CONTRACTOR SHALL SAW CUT TO FULL PAVEMENT DEPTH, THE EXISTING PAVEMENT TO A NEAT VERTICAL STRAIGHT LINE AS REQUIRED TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW TO EXISTING. THIS WORK SHALL BE CONSIDERED INCIDENTAL AND NO ADDITIONAL PAYMENT WILL BE MADE THEREFORE.
11. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB AND GUTTER, OR SIDEWALK DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS, AND SHALL REPAIR OR REPLACE IN KIND AT HIS OWN EXPENSE.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING, AT HIS OWN EXPENSE, ALL PERMITS NECESSARY FOR CONSTRUCTION. PERMITS ASSOCIATED WITH ENVIRONMENTAL CONCERNS AND SURFACE DISTURBANCE OF SOILS SHOULD BE ACQUIRED THROUGH THE CITY OF LAS CRUCES OF FEDERAL EPA AS REQUIRED.
13. OVERNIGHT PARKING OF CONSTRUCTION VEHICLES ON PRIVATE PROPERTY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
14. ALL TRENCH EXCAVATION BACKFILL WITHIN THE ROADWAY PRISM SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR PER ASTM D-1557 AS APPLICABLE.
15. ANY EARTHWORK HAUL ON THIS PROJECT WILL BE CONSIDERED AS INCLUDED IN THE CONTRACT PRICE. NO SEPARATE PAYMENT WILL BE MADE THEREFORE.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REMOVALS REQUIRED TO COMPLETE THE PROJECT. ADDITIONAL REMOVALS NOT SHOWN ON THE PLANS WILL BE CONSIDERED INCLUDED IN THE CONTRACT PRICE.
17. THE CONSTRUCTION CLEAR ZONE FOR THIS PROJECT IS 30 FT. FROM THE EDGE OF DRIVING LANE. THE CONTRACTOR SHALL NOT STORE EQUIPMENT OR MATERIAL WITHIN THE CONSTRUCTION CLEAR ZONE UNLESS THE EQUIPMENT OR MATERIAL IS PROPERLY SHIELDED UTILIZING CURRENT SAFETY DESIGN AND INSTALLATION METHODS. THE SAFETY DESIGN FOR SHIELDING SHALL BE PROVIDED BY THE CONTRACTOR AND MUST BE APPROVED BY THE OWNERS PROJECT REPRESENTATIVE BEFORE IMPLEMENTING. THIS WORK, INCLUDING DESIGN, INSTALLATION, AND REMOVAL OF THE SHIELDING, SHALL BE CONSIDERED INCIDENTAL TO THE COMPLETION OF THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE THEREFOR.
18. THE CONTRACTOR SHALL MAINTAIN AN UP TO DATE SET OF AS-BUILT PLANS FOR THE PROJECT. THESE PLANS SHALL BE KEPT CURRENT, WITHIN TWO (2) WEEKS, AT ALL TIMES AND SHALL BE SUBJECT TO REVIEW BY THE OWNERS PROJECT REPRESENTATIVE THROUGHOUT THE PROJECT AND WILL BE REVIEWED BY THE OWNERS PROJECT REPRESENTATIVE FOR ACCURACY AND COMPLETENESS AT LEAST ONCE EVERY 30 DAYS. THE FINAL AS-BUILT PLANS SHALL BE SUBMITTED TO THE OWNER'S MANAGER PRIOR TO FULL PAYMENT.
19. CONTRACTOR TO PROVIDE CONSTRUCTION JOINT LAYOUT FOR PCC PAVED AREAS TO ARCHITECT A MINIMUM OF TWO (2) WEEKS PRIOR TO CONCRETE PLACEMENT. WRITTEN APPROVAL OF JOINT LAYOUT MUST BE PROVIDED TO CONTRACTOR PRIOR TO PLACEMENT OF ANY CONCRETE IN THIS AREA.
20. THE CONTRACTOR SHALL PREPARE & OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES. THE CONTRACTOR SHALL PREPARE AN EPA APPROVED STORM WATER POLLUTION PREVENTION (SWPP) PLAN FOR THIS PROJECT. ALL PERMITS MUST BE OBTAINED PRIOR TO START OF CONSTRUCTION.
21. THE CONTRACTOR SHALL MAINTAIN AND PROTECT ALL EXISTING SURVEY MONUMENTS WITHIN THE CONSTRUCTION AREA. SHOULD A MONUMENT BE DAMAGED OR DESTROYED IT WILL BE REPLACED IN ACCORDANCE WITH SURVEY PRACTICE STANDARDS AT NO ADDITIONAL EXPENSE TO THE OWNER.
22. ALL TRAFFIC HANDLING SHALL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). A TRAFFIC HANDLING CONTROL PLAN SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE ARCHITECT/ENGINEER AND ENTITY HAVING JURISDICTION OVER THE ADJOINING ROADWAYS FOR APPROVAL PRIOR TO COMMENCEMENT OF ANY WORK.
23. ALL MATERIAL REQUIRING DISPOSAL SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN AN EPA APPROVED LANDFILL OR APPROPRIATE FACILITY. ALL ASPHALTIC ROADWAY MATERIAL, AND CONCRETE CURB AND GUTTER, IS TO BE REMOVED FROM THE PROJECT. CONTRACTOR SHALL SUBMIT DISPOSAL MANIFEST TO OWNER'S PROJECT REPRESENTATIVE FOR ALL MATERIAL REQUIRING A DISPOSAL MANIFEST. THIS ALSO INCLUDES REMOVAL AND DISPOSAL OF ANY AND ALL TRANSITE MATERIALS IN ACCORDANCE WITH EPA AND OTHER GOVERNMENTAL AGENCY REQUIREMENTS AS NECESSARY. ALL DISPOSALS SHALL BE AT AN APPROVED EPA FACILITY. THIS WORK IS CONSIDERED INCIDENTAL AND NO ADDITIONAL PAYMENT SHALL BE MADE THEREFORE.
24. NO ON-SITE ASPHALT AND/OR CONCRETE BATCH PLANTS ARE ANTICIPATED FOR THIS PROJECT.
25. THE CONTRACTOR IS ADVISED THAT THE CURB AND GUTTER SHOWN FOR INSTALLATION SHALL BE IN PLACE PRIOR TO PLACEMENT OF ASPHALTIC SURFACING MATERIALS.
26. CONTRACTOR SHALL CONFORM TO ALL CITY OF ALBUQUERQUE WATER, AND WASTE WATER SPECIFICATIONS AND STANDARDS.
27. ALL WATER LINES SHALL BE PVC C-900-200 PSI AND SEWER LINES TO BE PVC SDR35.
28. CONTRACTOR TO ABANDON OLD UTILITY LINES (WATER AND SEWER) IN PLACE OR REMOVE AS NECESSARY TO PERMIT NEW CONSTRUCTION. TOP PORTION OF MANHOLES SHALL BE REMOVED. GATE VALVES, VALVE BOXES AND WATER METERS SHALL BE REMOVED FROM ALL BUILDINGS AND CONTRACTOR SHALL ABIDE BY GOVERNING REGULATIONS AND PROCEDURES FOR ABANDONMENT, REMOVAL AND DISPOSAL OF ITEMS MENTIONED. CONTRACTOR TO PROVIDE TIE IN TO EXISTING UTILITIES IN SUCH A MANNER THAT SERVICE IS MAINTAINED TO ANY EXISTING FACILITIES. IN THE EVENT THAT SERVICES MUST BE DISCONNECTED FOR A PERIOD OF TIME THIS WORK WILL BE PERFORMED AT SUCH TIMES WHEN THE FACILITY IS NOT IN USE OR AS DESCRIBED BY WRITTEN DIRECTION OF THE OWNER.
29. THE SITE AND UTILITY SURVEY WAS PROVIDED TO J.E.L. & ASSOCIATES, LLC (JEL) BY THE OWNER. JEL ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SAID SURVEY.



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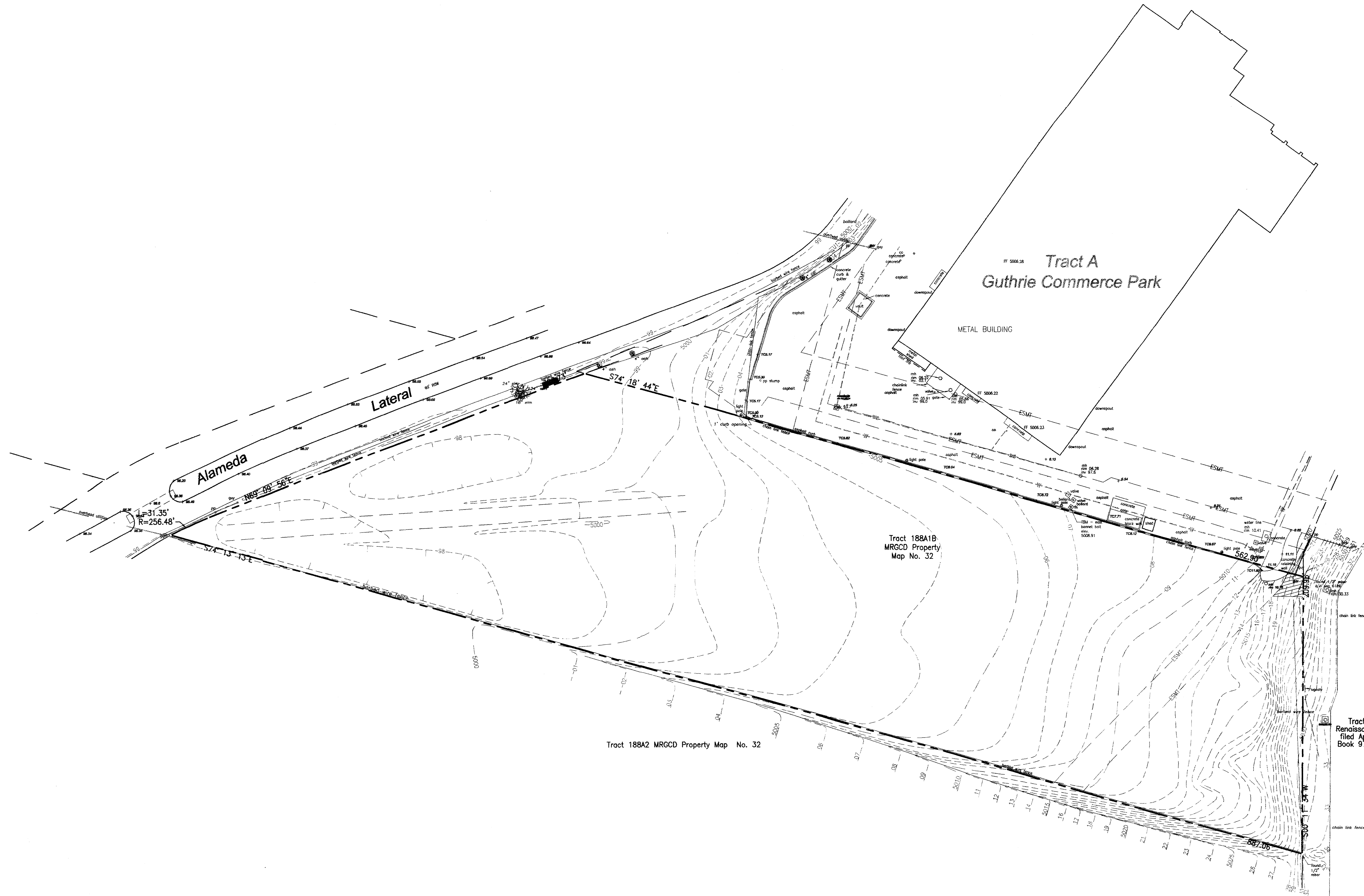


Project Number
Drawn By T.D.S.
Checked E.J.L.
Issue Date 12/22/2011
GENERAL
CONSTRUCTION
NOTES

Scale:



Car Crafters
Automotive Repair Garage
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 Albuquerque, New Mexico 87107



BENCHMARK: CITY OF ALBUQUERQUE 9-F15. AN ALLUMINUM DISK ON
 CONCRETE DROP INLET, ENE QUADRANT OF MONTANO AND EDITH N.E.
 ELEVATION: 4986.68, NAVD88



SCALE: 1" = 40'
 0 20 40 80

Project Number _____
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 Checked E.J.L.
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EXISTING SITE
PLAN

Scale: _____

DRAINAGE CERTIFICATION W/SURVEY WORK BY OTHERS

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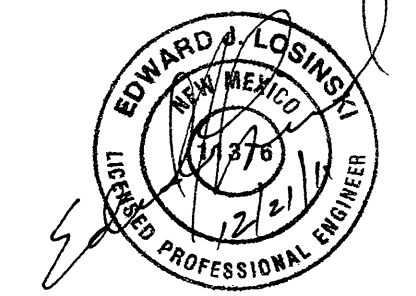
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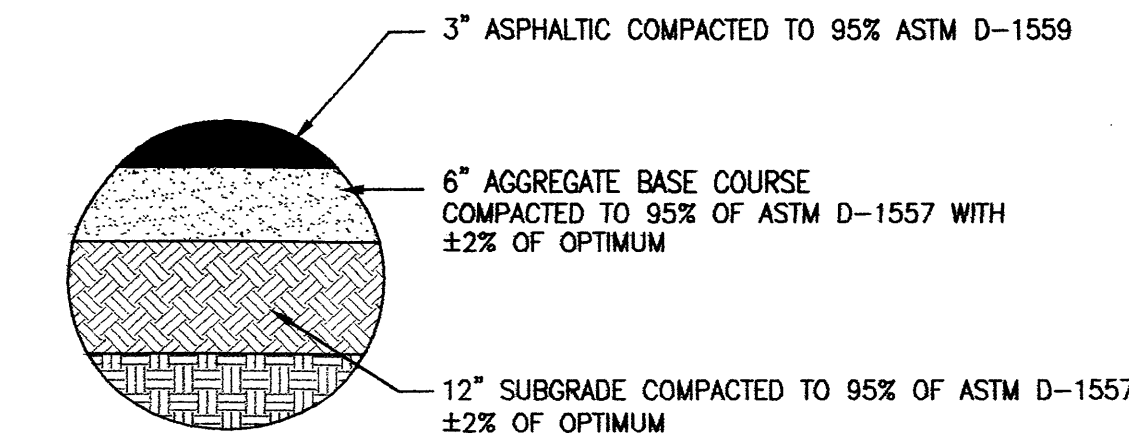


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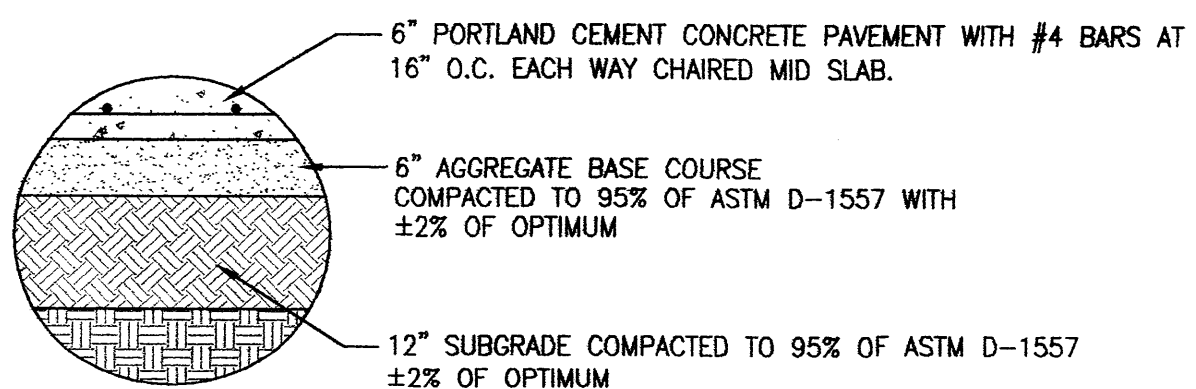


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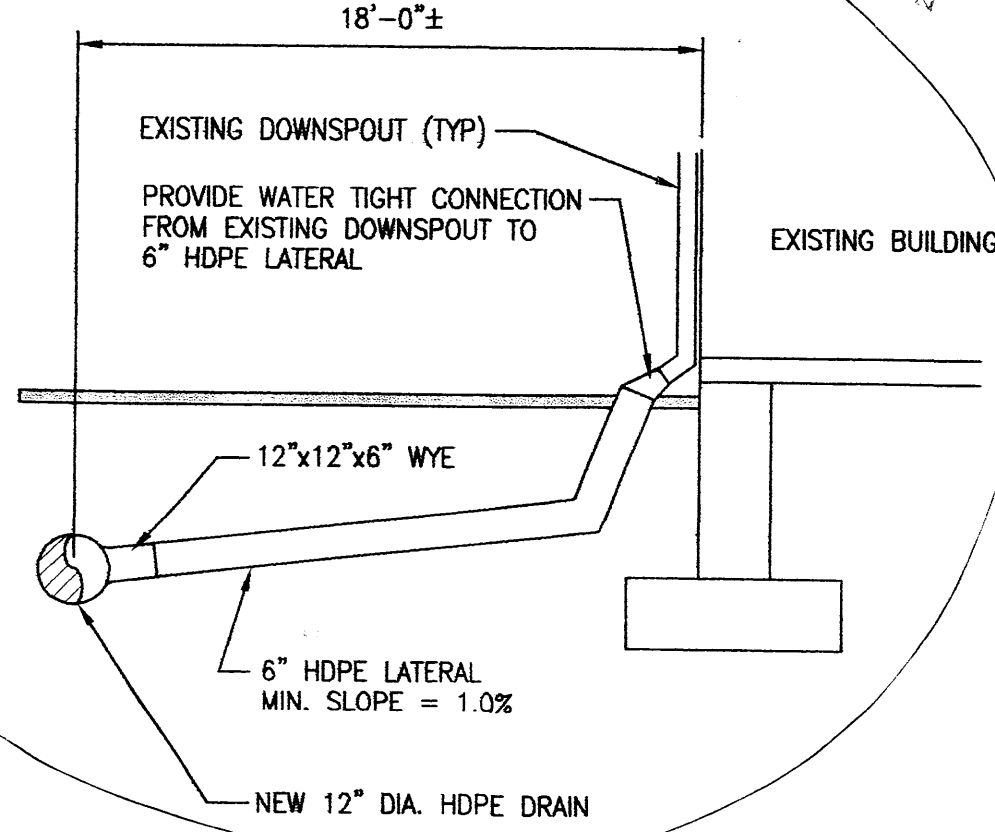
SECTION A-A



TYPICAL ASPHALT PAVING SECTION



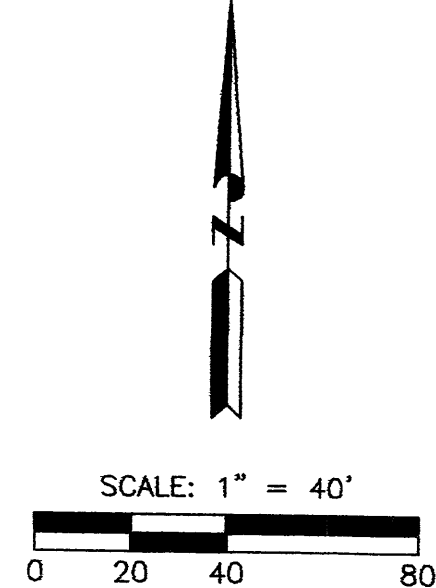
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DOWNSPOUT CONNECTION DETAIL

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GRADING AND DRAINAGE PLAN

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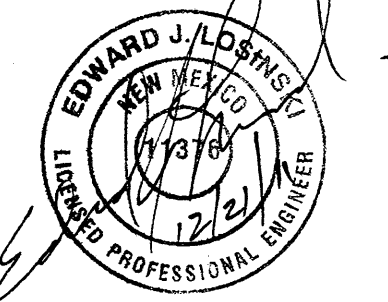
LEGEND

PRE-DEVELOPMENT BASIN

POST-DEVELOPMENT BASIN



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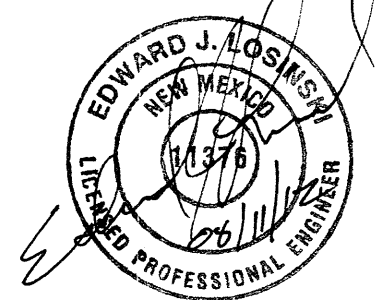
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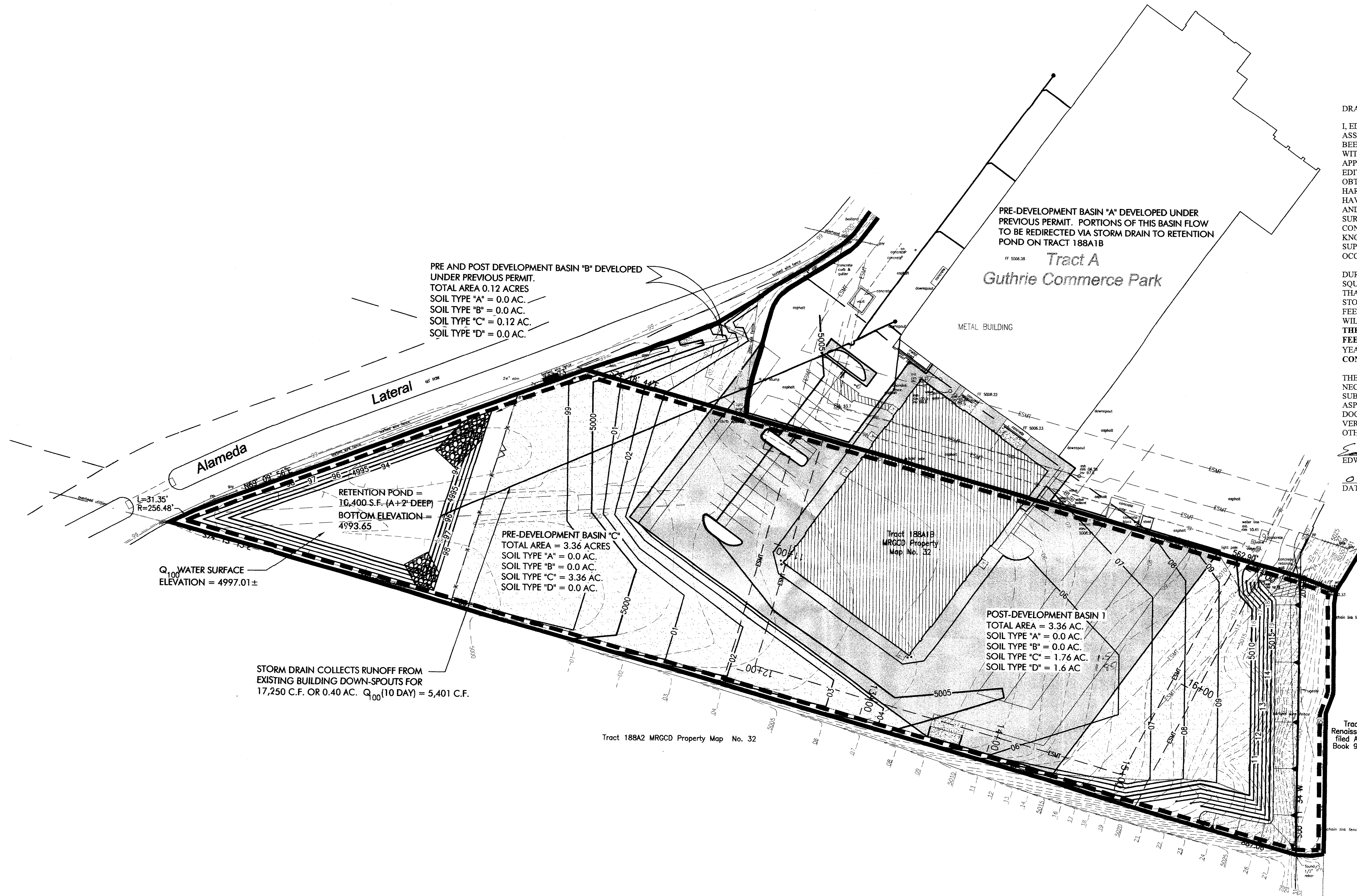
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EDWARD J. LOSINSKI, NMPE 11376

DATE 04/11/12



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FOR DRAINAGE CALCULATIONS
SUMMARY SEE SHEET C104

BENCHMARK: CITY OF ALBUQUERQUE 9-F15. AN ALLUMINIUM DISK ON CONCRETE DROP INLET, ENE QUADRANT OF MONTANO AND EDITH N.E. ELEVATION: 4986.68, NAVD88

SCALE: 1" = 40'

Project Number 1016
Drawn By T.D.S.
Checked E.J.L.
Issue Date 12/22/2011
**PRE AND POST
DEVELOPMENT
DRAINAGE BASINS**
Scale:

C103
OF

LEGEND

PRE-DEVELOPMENT BASIN

POST-DEVELOPMENT BASIN

DRAINAGE CERTIFICATION W/SURVEY WORK BY OTHERS

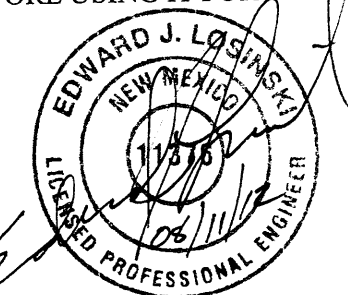
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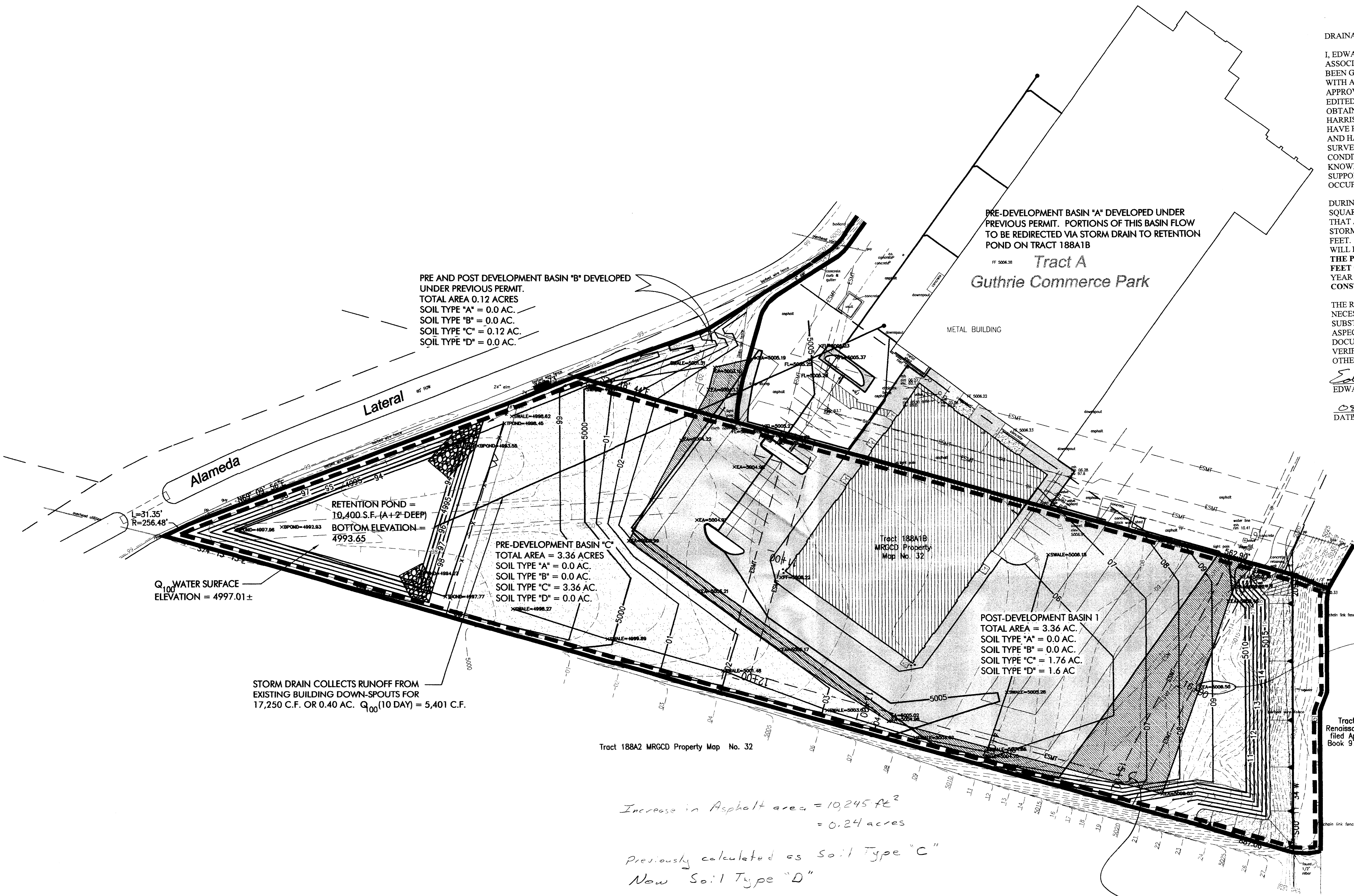
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Edward J. Losinski
EDWARD J. LOSINSKI, NMPE 11376

08/11/12
DATE



Car Crafters
Automotive Repair Garage
5404 Edith Blvd. NE
Albuquerque, New Mexico 87107



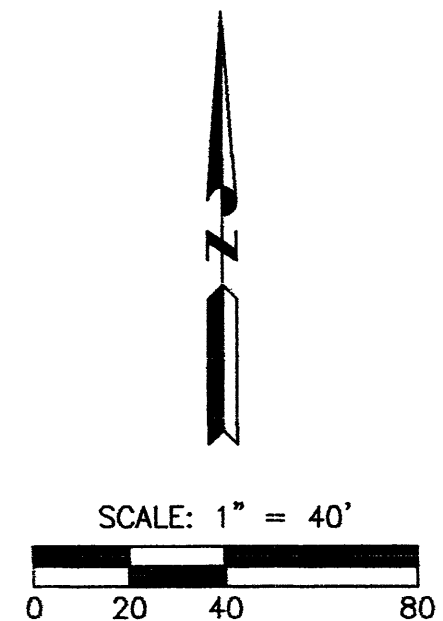
Increase in Asphalt area = 10,245 ft²
= 0.24 acres

Previously calculated as Soil Type "C"
Now Soil Type "D"

New Asphalt
above original
Design

FOR DRAINAGE CALCULATIONS
SUMMARY SEE SHEET C104

BENCHMARK: CITY OF ALBUQUERQUE 9-F15. AN ALLUMINUM DISK ON CONCRETE DROP INLET, ENE QUADRANT OF MONTANO AND EDITH N.E. ELEVATION: 4986.68, NAVD88



Project Number 1016
Drawn By T.D.S.
Checked E.J.L.
Issue Date 12/22/2011

PRE AND POST
DEVELOPMENT
DRAINAGE BASINS

Scale:

C103A

OF

CAR CRAFTER FACILITY PHASE II

- I. PURPOSE AND SCOPE
THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE MANAGEMENT PLANS FOR THE PROPOSED CAR CRAFTERS FACILITY LOCATED ON MONTANO NEAR THE ALAMEDA LATERAL. THE SITE CURRENTLY IS DISTURBED BUT UNDEVELOPED.
- II. SITE DESCRIPTION AND HISTORY
THE SITE IS CURRENTLY VACANT AND WAS PART OF A FACILITY THAT STORED VINTAGE TRUCKS. NO STRUCTURES WERE KNOWN TO EXIST ON THIS PROPERTY BUT THE VEHICLES WERE STORED THERE UNTIL LATE 2004. THE SITE WAS ACCESSED THROUGH THE SUNRISE HEIGHTS SUBDIVISION VIA A CROSSING OVER THE ALAMEDA LATERAL.
- THE SITE GENERALLY SLOPES FROM EAST TO SOUTHWEST TOWARD THE ALAMEDA LATERAL. WATER FROM THE SITE PRESENTLY OVERTOPS A SMALL DEPRESSION AND ENTERS THE ALAMEDA LATERAL.
- III. COMPUTATIONAL PROCEDURES
HYDRAULIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA FOUND IN THE COA-DPM SECTION 22.2 RELEASED IN JUNE 1997.
- IV. PRECIPITATION
THE 100-YEAR 6-HOUR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THE SITE IS LOCATED WITHIN ZONE 2 AS IDENTIFIED IN THE DPM SECTION 22.2. TABLES WITHIN THAT SECTION WERE USED TO ESTABLISH THE 6-HOUR PRECIPITATION, EXCESS PRECIPITATION AND PEAK DISCHARGE.
- V. EXISTING DRAINAGE CONDITIONS OVERVIEW
THE 3.36 ACRES SITE, LOCATED WITHIN ZONE ATLAS K-13-Z HAS NOT BEEN STRUCTURALLY DEVELOPED. THE SITE WAS FORMERLY USED FOR STORAGE OF VINTAGE TRUCKS AND MINOR WORK ON THE SAME.
- THE SITE GENERALLY SLOPES FROM EAST TO SOUTHWEST. THERE IS A LARGE DETENTION POND LOCATED UPSTREAM OF THE SITE (ON THE EAST SIDE) THAT IS PART OF THE RENAISSANCE PARK DEVELOPMENT. THERE IS A LARGE EMBANKMENT TO CONTAIN THIS DETENTION POND ALONG THE EAST PROPERTY LINE. THE ONLY OFFSITE DRAINAGE FROM THE EAST IS FROM WATER THAT LANDS DIRECTLY ON THE EMBANKMENT.
- THE SITE IS BOUND BY TRACT A GUTHRIE COMMERCE PARK ON THE NORTH, THE ALAMEDA LATERAL TO THE WEST, TRACT 188A2 MROSD TO THE SOUTH AND TRACT 16-A-1 RENAISSANCE CENTER II TO THE EAST.
- ALL FLOWS WITHIN TRACT A, GUTHRIE COMMERCE PARK ARE CONVEYED TO THE NORTH AND ENTER MONTANO BLVD. A 25' WIDE STRIP OF EMBANKMENT LOCATED WITHIN TRACT 16-A-1, RENAISSANCE CENTER II FLOWS ONTO THE SITE FROM THE EAST. FROM THE SOUTH ONLY A SMALL SLIVER OF LAND VARYING FROM 4 FEET TO 13 FEET CONTRIBUTES STORM FLOW TO THE PROPERTY.
- THE PEAK RUNOFF FROM ALL CONTRIBUTARY AREAS FLOWS WEST WHERE A SMALL DETENTION POND IS QUICKLY FILLED ALLOWING THE BALANCE OF WATER TO ENTER INTO THE ALAMEDA LATERAL WHERE IT IS CONVEYED TO THE SOUTH.
- VI. THE SITE IMPROVEMENTS INCLUDE THE CONSTRUCTION OF AN APPROXIMATELY 24,275 SQUARE FOOT CAR CRAFTERS AUTO BODY FACILITY AND ASSOCIATED PARKING AND OUTSIDE STORAGE AREA. IN ORDER TO RECTIFY THE INAPPROPRIATE DISCHARGE OF STORM FLOWS TO THE ALAMEDA LATERAL, A RETENTION POND WILL BE CONSTRUCTED ON THE WEST SIDE OF THE PROPERTY.
- BASED ON DISCUSSIONS WITH THE COA HYDROLOGY DEPARTMENT (MR. CURTIS CHEME) A PORTION OF THE GENERATED STORM FLOW FROM TRACT A, GUTHRIE COMMERCE PARK WILL BE COLLECTED VIA SUBSURFACE STORM DRAIN AND COLLECTED WITHIN THE PROPOSED RETENTION POND. AN ADDITIONAL 1-FOOT OF FREEBOARD ABOVE THE 100-YEAR, 10-DAY RUNOFF VOLUME WILL ALSO BE PROVIDED.
- THE PEAK DISCHARGE FOR TRACT 188A1B IS 13.07 CFS, THE COLLECTION OF ROOF DRAINAGE FROM TRACT A, GUTHRIE COMMERCE PARK IS 1.88 CFS, AND THE COLLECTION OF PRE-DEVELOPMENT BASIN "B" IS 0.39 CFS, FOR A TOTAL OF 15.34 CFS. THE 100-YEAR 10-DAY VOLUME GENERATED IS 34,855 C.F.
- VII. THE SITE IS FULLY RETAINED AFTER THE CONSTRUCTION OF THE PROPOSED POND AND WILL LOWER CURRENT IMPACTS TO DOWNSTREAM FACILITIES.

DRAINAGE SUMMARY			
PROJECT	CAR CRAFTERS		
DATE	12/22/11		
BY	EDDY L.		
SITE LOCATION			
PRECIPITATION ZONE	2 PER TABLE A-1 COA SECTION 22.2		
EXISTING CONDITION SUMMARY			
BASIN NAME	BASIN A	BASIN B	BASIN C
AREA (SF)	17,424	5401	146,362
AREA (acres)	0.40	0.12	2.36
%A LAND TREATMENT			
%B LAND TREATMENT			
%C LAND TREATMENT		100	100
%D LAND TREATMENT	100		
SOIL TREATMENT (acres)			
%A LAND TREATMENT	0.0	0.0	0.0
%B LAND TREATMENT	0.0	0.0	0.0
%C LAND TREATMENT	0.0	0.12	3.36
%D LAND TREATMENT	0.40	0.0	0.0
EXCESS RUNOFF (acre feet)			
100YR 6HR	0.07	0.01	0.32
10YR 6HR	0.04	0.01	0.15
2YR 6HR	0.03	0.00	0.04
100YR 24HR	0.08	0.01	0.32
PEAK DISCHARGE (cfs)			
100YR	1.88	0.39	10.55
10YR	1.26	0.21	5.75
2YR	0.74	0.07	2.02
PROPOSED CONDITION SUMMARY			
BASIN NAME	BASIN A	BASIN B	BASIN 1
AREA (SF)	17,424	5401	146,362
AREA (acres)	0.40	0.12	3.36
%A LAND TREATMENT			
%B LAND TREATMENT			
%C LAND TREATMENT		100	52' 4.5
%D LAND TREATMENT	100	48	48' 5.5
SOIL TREATMENT (acres)			
%A LAND TREATMENT	0.0	0.0	0.0
%B LAND TREATMENT	0.0	0.0	0.0
%C LAND TREATMENT	0.0	0.12	1.78 1.51
%D LAND TREATMENT	0.40	1.61	1.61 1.85
EXCESS RUNOFF (acre feet)			
100YR 6HR	0.07	0.01	0.48 0.47
10YR 6HR	0.04	0.01	0.26 0.27
2YR 6HR	0.03	0.00	0.15 0.14
100YR 24HR	0.08	0.01	0.50
PEAK DISCHARGE (cfs)			
100YR	1.88	0.39	13.07 13.43
10YR	1.26	0.21	8.85 8.39
2YR	0.74	0.07	4.85 4.34

POND VOLUME DEPTH CALCULATION Q₁₀₀

AREA OF POND = 10,400 FT².
REQUIRED PONDING VOLUME = 34,855 FT³.
DEPTH @ Q₁₀₀ = 3.35 FEET
POND BOTTOM ELEVATION = 4993.65.
WATER SURFACE ELEVATION = 4997.01.
TOP OF POND ELEVATION = 4998.00.
FREEBOARD = 1'±.

See Certification
Below
↓

DRAINAGE CERTIFICATION W/SURVEY WORK BY OTHERS

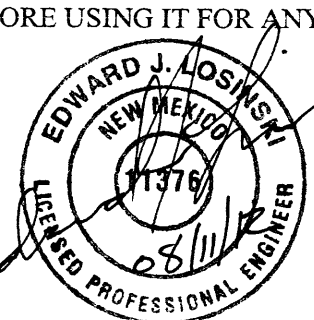
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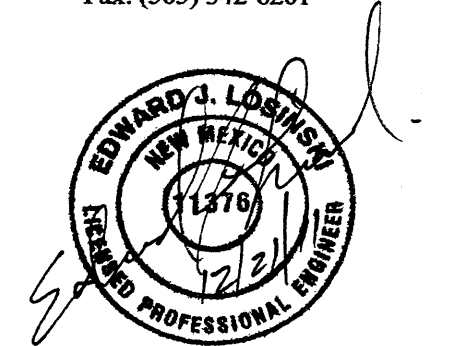
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EDWARD J. LOSINSKI, NMPE 11376

08/11/12
DATE



4700 Lincoln N.E., Suite 111
Albuquerque, N.M. 87109
Phone: (505) 342-6200
Fax: (505) 342-6201

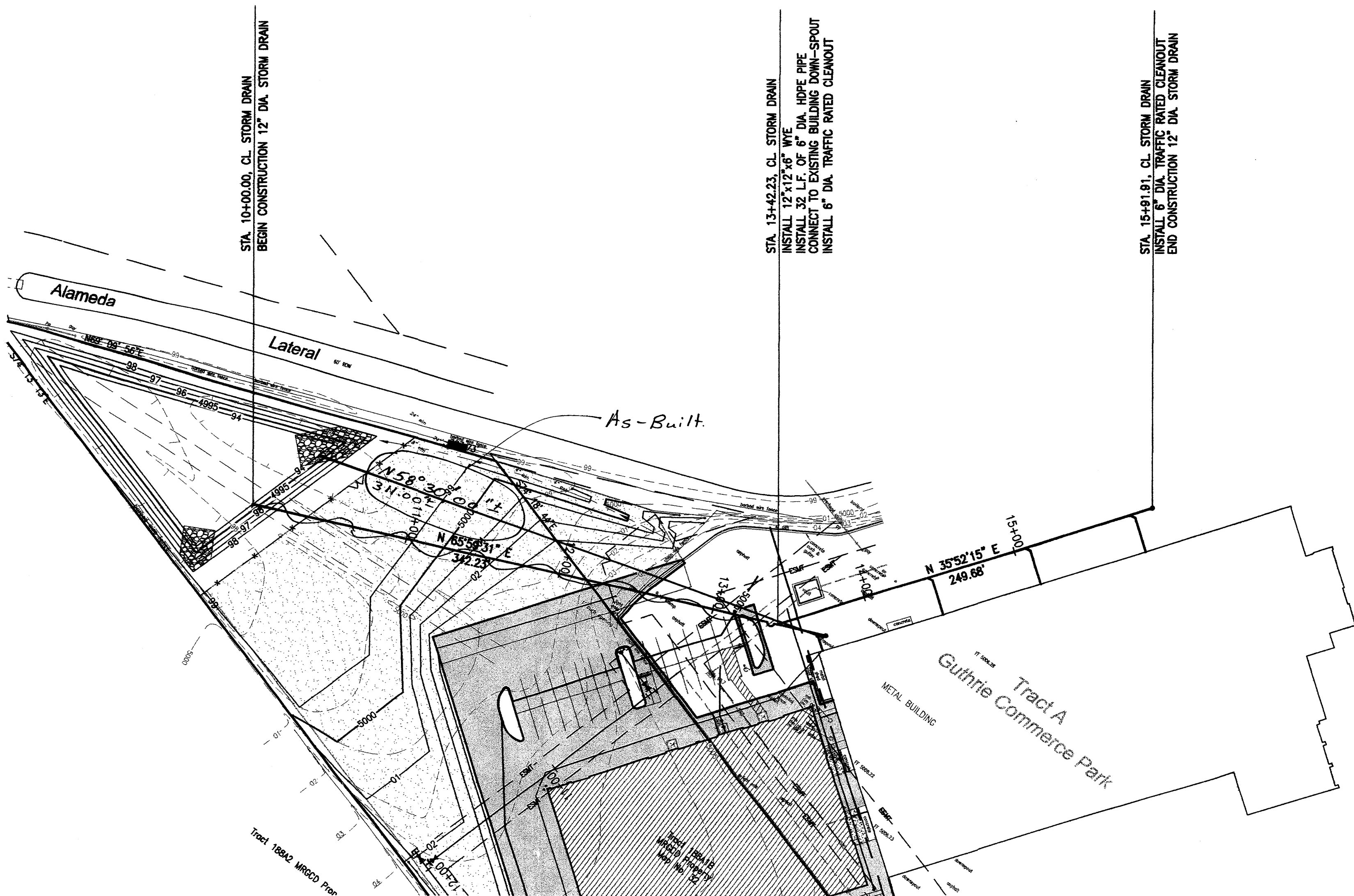


Car Crafters
Automotive Repair Garage
5404 Edith Blvd. NE
Albuquerque, New Mexico 87107

Project Number 1016
Drawn By T.D.S.
Checked E.J.L.
Issue Date 12/22/2011

DRAINAGE
SUMMARY
AND CALCULATIONS

Scale:



DRAINAGE CERTIFICATION W/SURVEY WORK BY OTHERS

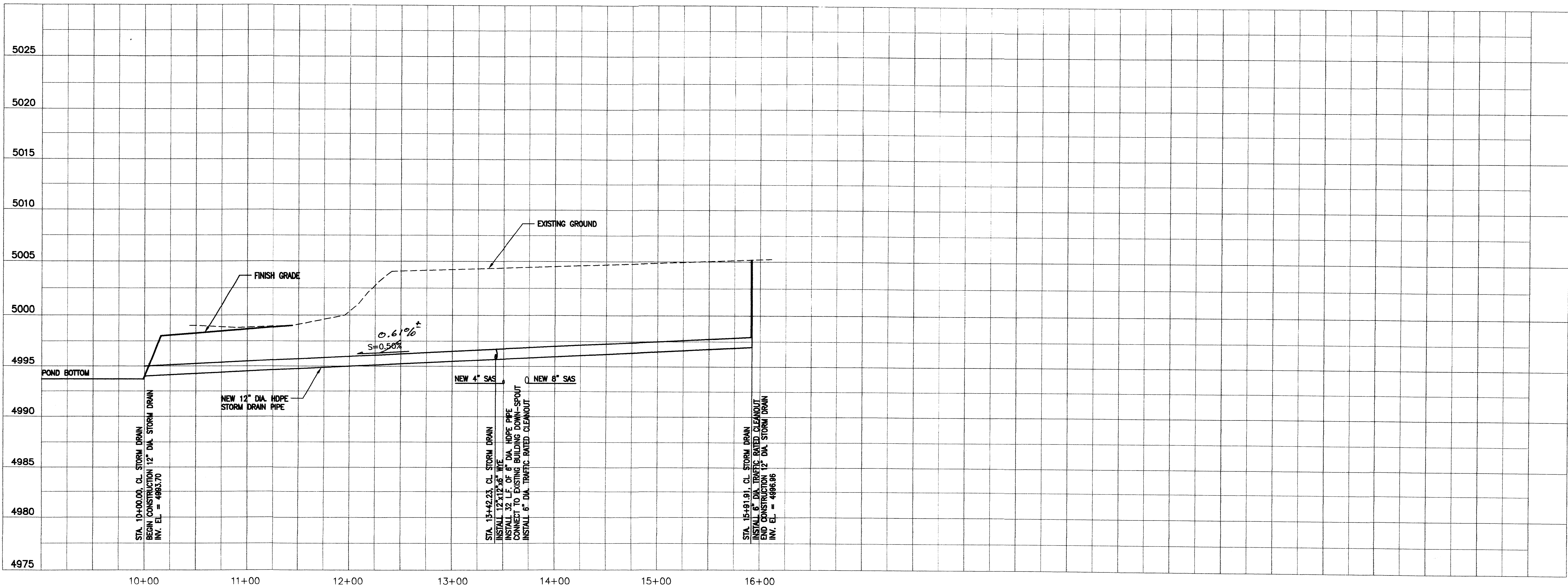
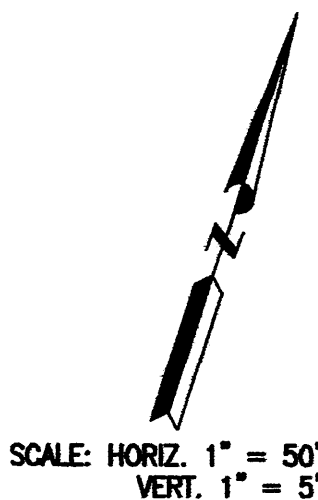
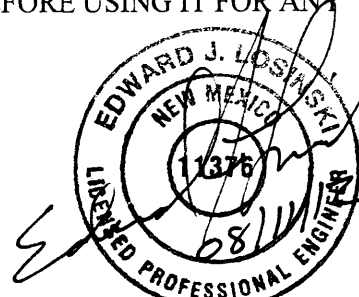
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08/11/12
DATE



Car Crafters
Automotive Repair Garage
5404 Edith Blvd. NE
Albuquerque, New Mexico 87107

Project Number 1016
Drawn By T.D.S.
Checked E.J.L.
Issue Date 12/22/2011
STORM SEWER
PLAN AND
PROFILE

Scale:

C105

RECEIVED

FEB 07 2012

HYDROLOGY SECTION

1

19-2012

PERMIT COMMENTS

PROJECT NUMBER

1016

DRAWN BY

1016

CHECKED

1016

ISSUE DATE

SEPTEMBER 29, 2011

TRAFFIC CIRCULATION LAYOUT

Scale: AS SHOWN

DATE

AUG 09 2011

PROJECT

1016

Car Crafters
Automotive Repair Garage
5404 Edith Blvd. NE
Albuquerque, New Mexico 87107

2-2-12

REGISTERED ARCHITECT

NO. 5798

DARREN LEE SOWELL

STATE OF NEW MEXICO

4700 Lincoln N.E., Suite 111

Albuquerque, N.M. 87109

Phone: (505) 342-6200

Fax: (505) 342-6201

Darren Sowell ARCHITECTS

ISA

23. ACCESSIBLE PATH BETWEEN BUILDINGS.

22. NEW 6' WIDE PAINTED ACCESSIBLE PATH.

21. NEW MECHANICAL EQUIPMENT, SEE SHEET M-101.

20. NEW CONCRETE WALK TO BE FLUSH WITH ASPHALT, SEE DETAIL 8/A5501.

19. NEW ASPHALT CURB, SEE DETAIL 9/A5501.

18. SHOT-CRETE SLOPE STABILIZATION, SEE SHEET C-102 FOR DETAILS.

17. INSTALL COMPACTED BASE COURSE/MILLINGS FOR FUTURE OVERFLOW VEHICLE STORAGE WITHIN THIS AREA.

16. EXISTING DOUBLE BIN REFUSE ENCLOSURE TO REMAIN.

15. INSTALL 2" ASPHALT CONCRETE PAVING OVER 4" AGGREGATE BASE COURSE OVER PREPARED SUBGRADE.

14. NEW VEHICLE STAGING AREA, PAVEMENT MARKING PATTERN & SPACING TO BE DETERMINED BY OWNER.

13. LOT LINE TO BE ADJUSTED BY PLATTING ACTION.

12. NEW MOTORCYCLE PARKING & SIGN, SEE 6/A5501.

11. NEW STORM WATER RETENTION AREA.

10. NEW LANDSCAPE AREA.

9. NEW 4" WIDE PAVEMENT MARKING.

8. NEW 6" DIA. CONCRETE FILLED PIPE BOLLARD, SEE 2/A5501.

7. NOT USED.

6. NEW ACCESSIBLE PARKING SPACE MARKING & SIGN, SEE 5 & 7/A5501.

5. NOT USED.

4. NEW CONCRETE APRON TO BE FLUSH WITH ASPHALT, SEE DETAIL 8/A5501.

3. NEW CONCRETE STOOP TO BE FLUSH WITH ASPHALT, SEE DETAIL 8/A5501.

2. INSTALL 4" ASPHALT CONCRETE PAVING OVER 6" AGGREGATE BASE COURSE OVER PREPARED SUBGRADE.

1. NEW 6" CONCRETE HEADER CURB, SEE 4/A5501.

KEYED NOTES:

1. NEW 6" CONCRETE HEADER CURB, SEE 4/A5501.

2. INSTALL 4" ASPHALT CONCRETE PAVING OVER 6" AGGREGATE BASE COURSE OVER PREPARED SUBGRADE.

3. NEW CONCRETE STOOP TO BE FLUSH WITH ASPHALT, SEE DETAIL 8/A5501.

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18. SHOT-CRETE SLOPE STABILIZATION, SEE SHEET C-102 FOR DETAILS.

19. NEW ASPHALT CURB, SEE DETAIL 9/A5501.

20. NEW CONCRETE WALK TO BE FLUSH WITH ASPHALT, SEE DETAIL 8/A5501.

21. NEW MECHANICAL EQUIPMENT, SEE SHEET M-101.

22. NEW 6' WIDE PAINTED ACCESSIBLE PATH.

23. ACCESSIBLE PATH BETWEEN BUILDINGS.

GENERAL NOTES:

A. REFER TO SHEET C-102 FOR GRADING AND DRAINAGE.

B. REFER TO SHEET C-106 FOR SITE UTILITIES.

C. REFER TO SHEET B-101 FOR SITE ELECTRICAL.

D. TRACT A-1 SITE DEVELOPMENT SHOWN FOR INFORMATION ONLY.

E. EXISTING BUSINESS ON TRACT A-1 IS THE SAME AS THE NEW BUSINESS ON TRACT A-2 AND SHARE THE SAME HOURS OF OPERATION.

F. EXISTING GATE AT PRIVATE ACCESS EASEMENT ON TRACT A-1 SHALL REMAIN OPEN AND UNLOCKED DURING HOURS OF OPERATION.

G. PUBLIC/EXISTING PARKING AND BUILDING ACCESS IS LIMITED TO THE NORTH END OF TRACT A-1. THE DEVELOPMENT ON TRACT A-2 IS NOT OPEN TO THE PUBLIC. ONLY EMPLOYEES OF CAR CRAFTERS ARE ALLOWED ACCESS TO THE DEVELOPMENT ON TRACT A-2.

PARKING CALCULATIONS:

REQUIRED PARKING: 1 SPACE PER 1,000 SF MANUFACTURING; 20,944 SF/1,000 SF; 20,944 SF

PROVIDED PARKING: ADA SPACES 24 SPACES; STANDARD SPACES 2 SPACES; TOTAL: 26 SPACES

REQUIRED PARKING: 1 SPACE PER 1,000 SF; 20,944 SF/1,000 SF; 20,944 SF

PROVIDED PARKING: ADA SPACES 24 SPACES; STANDARD SPACES 2 SPACES; TOTAL: 26 SPACES

SITE DATA:

LEGAL DESCRIPTION: TRACT A-2, OUTSIDE COMMERCE PARK ZONING, M-1, PHASE 1, 3.94 ACRES, 800 MONTANO ROAD, NE

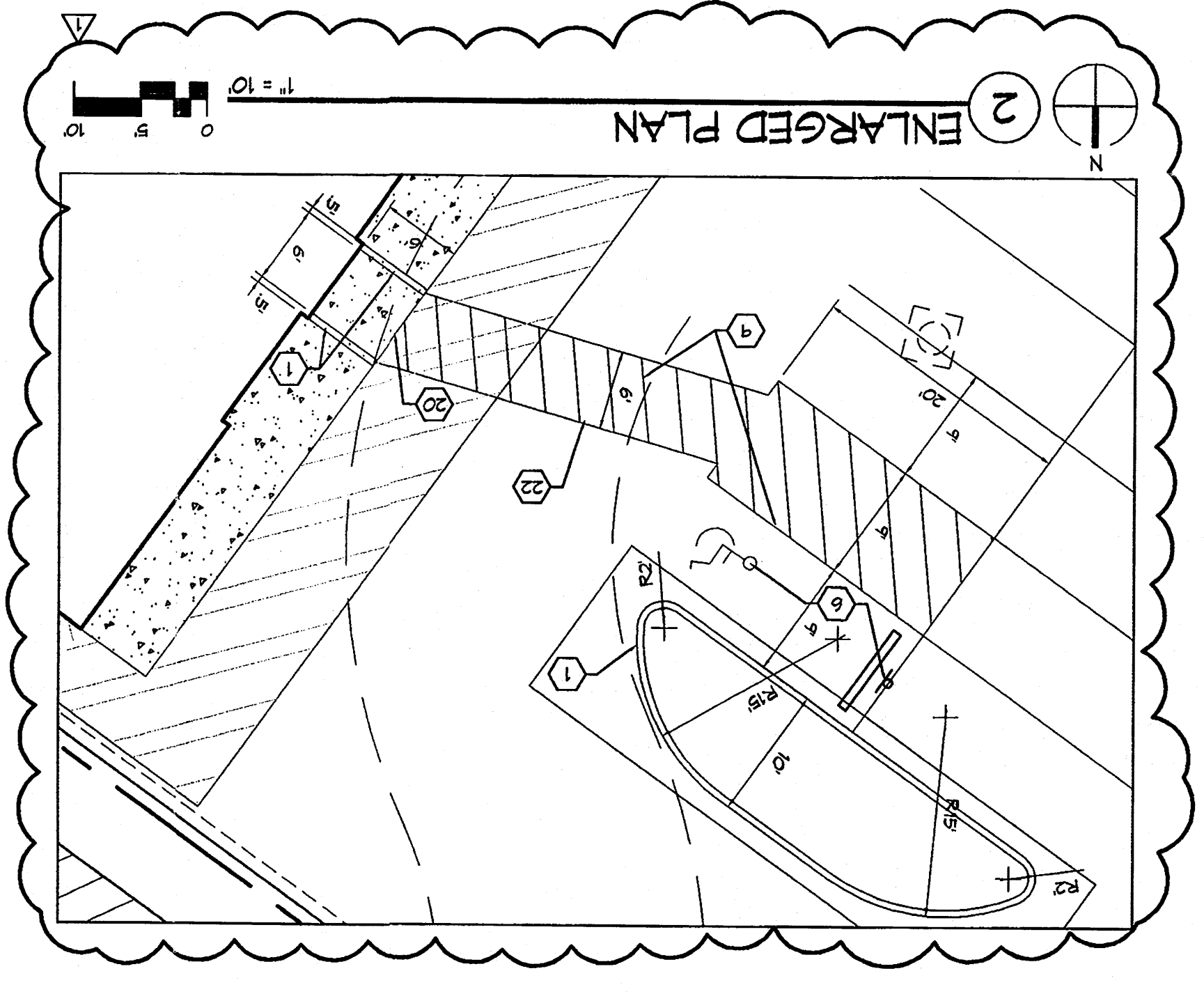
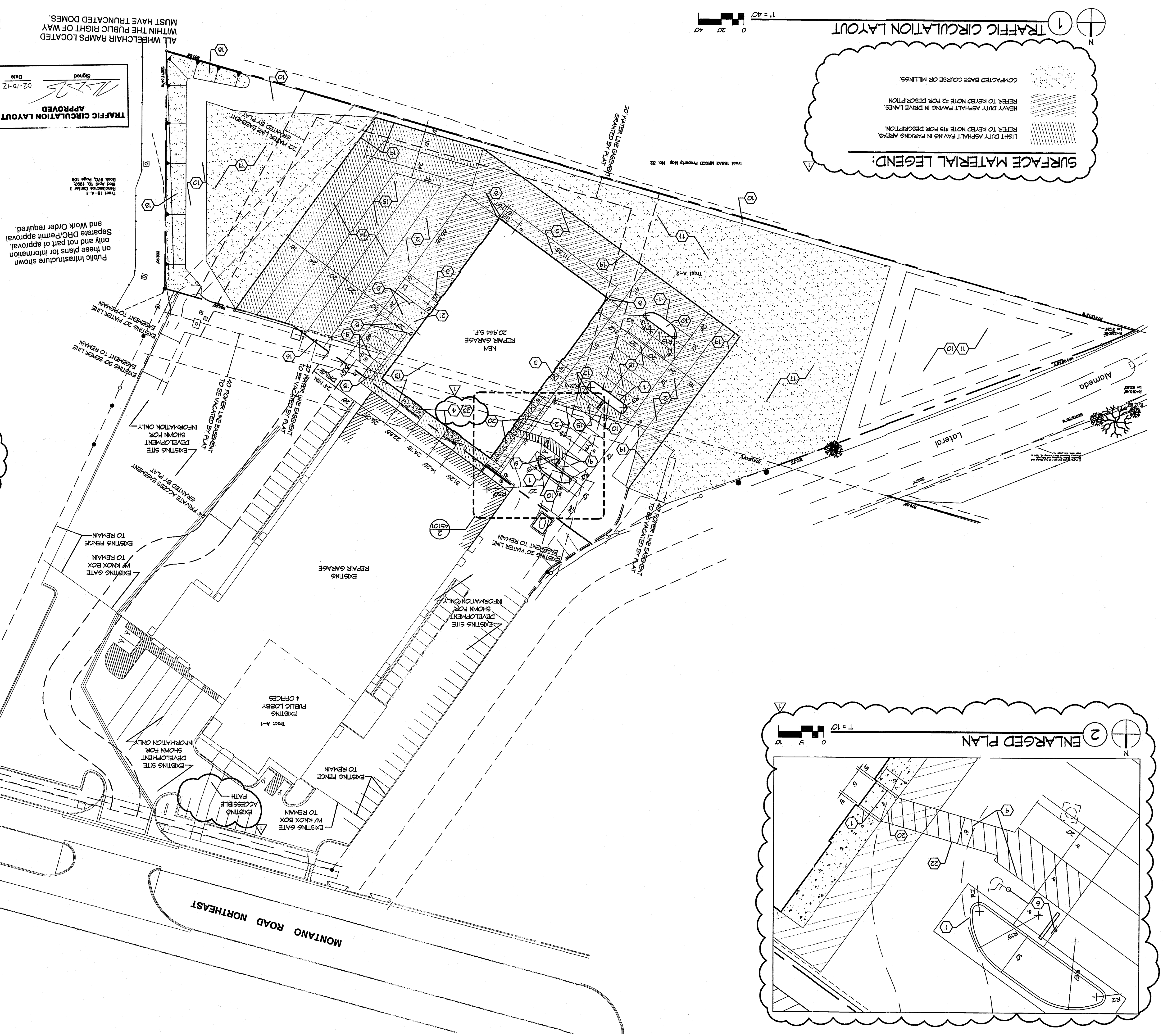
BUILDING AREA: 20,944 SF

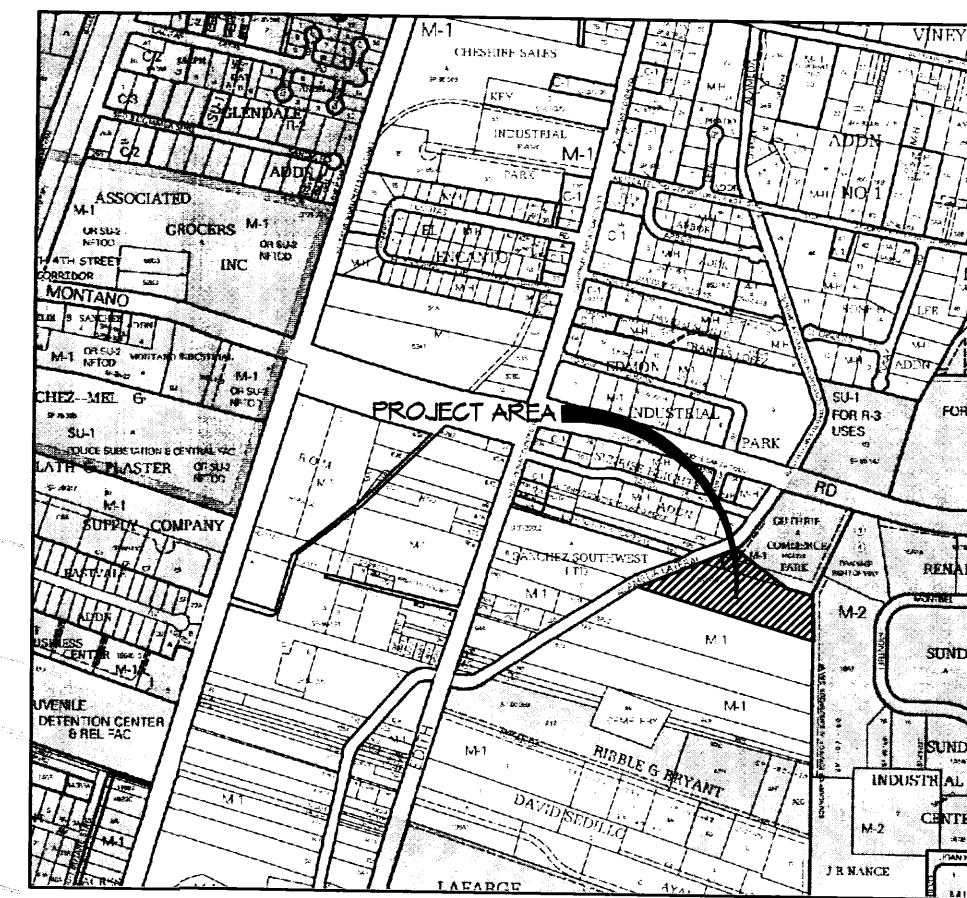
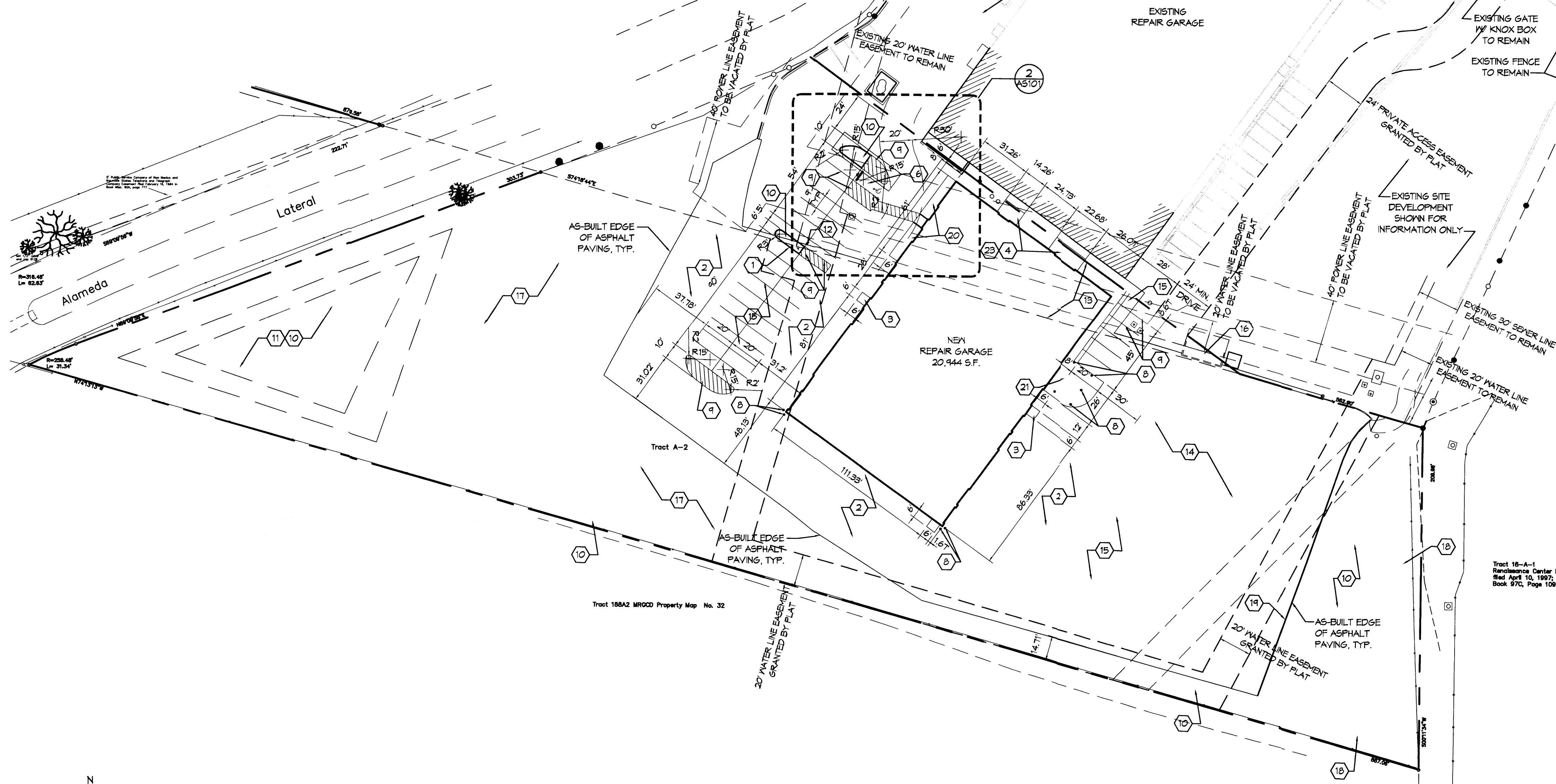
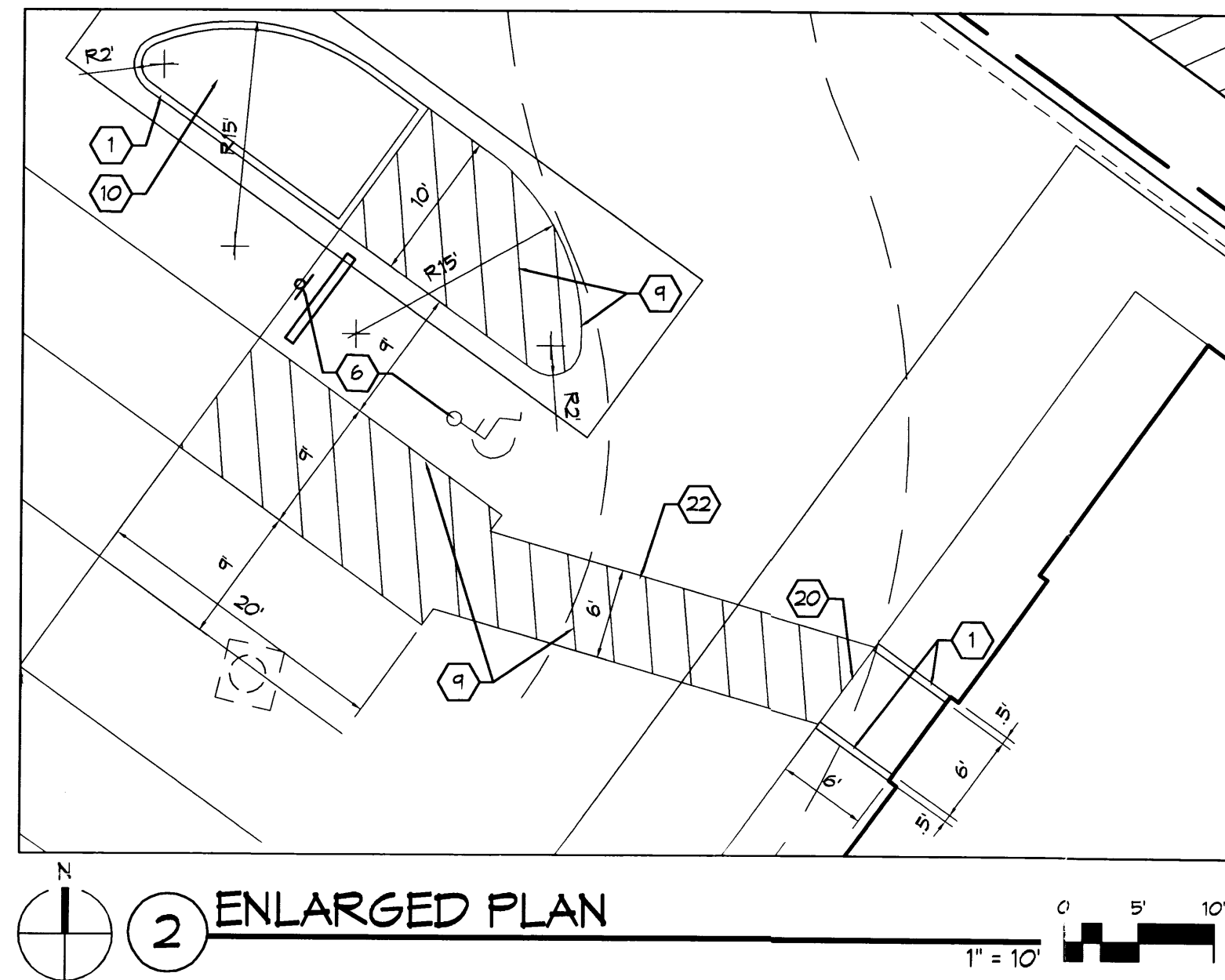
NEW AUTOMOTIVE REPAIR GARAGE: 20,944 SF

VICINITY MAP

ZONE ATLAS: F-15-2

PROJECT AREA MAP





SITE DATA:

LEGAL DESCRIPTION: TRACT A-2, GUTHRIE COMMERCE PARK
ADDRESS: 600 MONTANO ROAD, NE
PROPERTY AREA: 3.94 ACRES
ZONING: M-1
BUILDING AREA:
NEW AUTOMOTIVE REPAIR GARAGE: 20,944 SF

PARKING CALCULATIONS:

REQUIRED PARKING:	
1 SPACE PER 1000 SF MANUFACTURING:	21 SPACES
20,944 SF / 1000 SF:	1 SPACE
ADA SPACES	1 SPACE
MOTORCYCLE SPACES	1 SPACE
TOTAL:	23 SPACES
PROVIDED PARKING:	
STANDARD SPACES	25 SPACES
ADA SPACES	1 SPACE
MOTORCYCLE SPACES	2 SPACES
TOTAL:	32 SPACES

GENERAL NOTES:

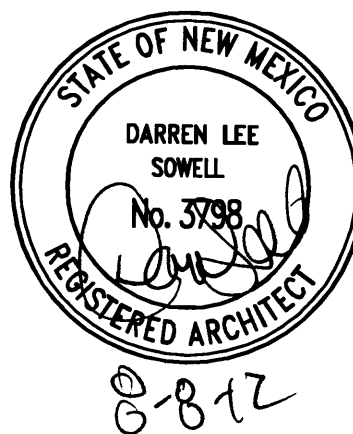
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KEYED NOTES: ○

- NEW 6" CONCRETE HEADER CURB, SEE 4/AS501.
- INSTALL 4" ASPHALT CONCRETE PAVING OVER 6" AGGREGATE BASE COURSE OVER PREPARED SUBGRADE.
- NEW CONCRETE STOOP TO BE FLUSH WITH ASPHALT, SEE DETAIL 8/AS501.
- NEW CONCRETE APRON TO BE FLUSH WITH ASPHALT, SEE DETAIL 8/AS501.
- NOT USED.
- NEW ACCESSIBLE PARKING SPACE MARKING & SIGN, SEE 5 & 1/AS501.
- NOT USED.
- NEW 6" DIA. CONCRETE FILLED PIPE BOLLARD, SEE 2/AS501.
- NEW 4" WIDE PAVEMENT MARKING.
- NEW LANDSCAPE AREA.
- NEW STORM WATER RETENTION AREA.
- NEW DOUBLE-SIDED MOTORCYCLE PARKING SIGN, SEE 6/AS501.
- LOT LINE TO BE ADJUSTED BY PLATTING ACTION.
- NEW VEHICLE STAGING AREA, PAVEMENT MARKING PATTERN & SPACING TO BE DETERMINED BY OWNER.
- INSTALL 2" ASPHALT CONCRETE PAVING OVER 4" AGGREGATE BASE COURSE OVER PREPARED SUBGRADE.
- EXISTING DOUBLE BIN REFUSE ENCLOSURE TO REMAIN.
- INSTALL COMPACTED BASE COURSE/MILLINGS FOR FUTURE OVERFLOW VEHICLE STORAGE WITHIN THIS AREA.
- SLOPE NOT TO EXCEED 3:1, SEE SHEET C-102 FOR DETAILS.
- NEW ASPHALT CURB, SEE DETAIL 3/AS501.
- NEW CONCRETE WALK TO BE FLUSH WITH ASPHALT, SEE DETAIL 8/AS501.
- NEW MECHANICAL EQUIPMENT, SEE SHEET MH-101.
- NEW 6" WIDE PAINTED ACCESSIBLE PATH.
- ACCESSIBLE PATH BETWEEN BUILDINGS.

DLA
Darren Sowell
ARCHITECTS

4700 Lincoln N.E., Suite 111
Albuquerque, N.M. 87109
Phone: (505) 342-6200
Fax: (505) 342-6201



Car Crafters
Automotive Repair Garage
5404 Edith Blvd. NE
Albuquerque, New Mexico 87107

1 1-31-2012 PERMIT COMMENTS

2 8-8-12 RECORD DRAWING

Project Number 1016

Drawn By

Checked

Issue Date September 23, 2011

TRAFFIC

CIRCULATION

LAYOUT

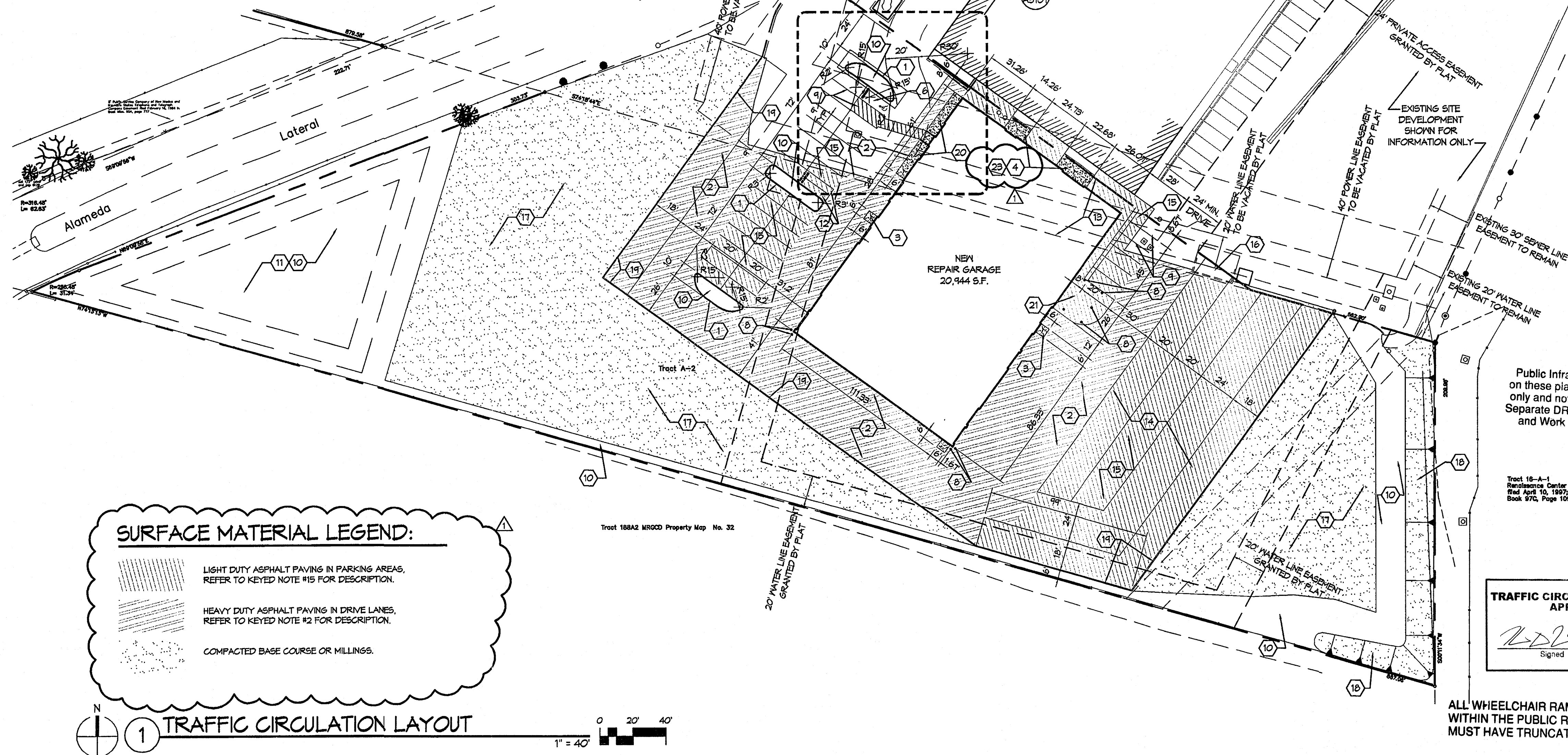
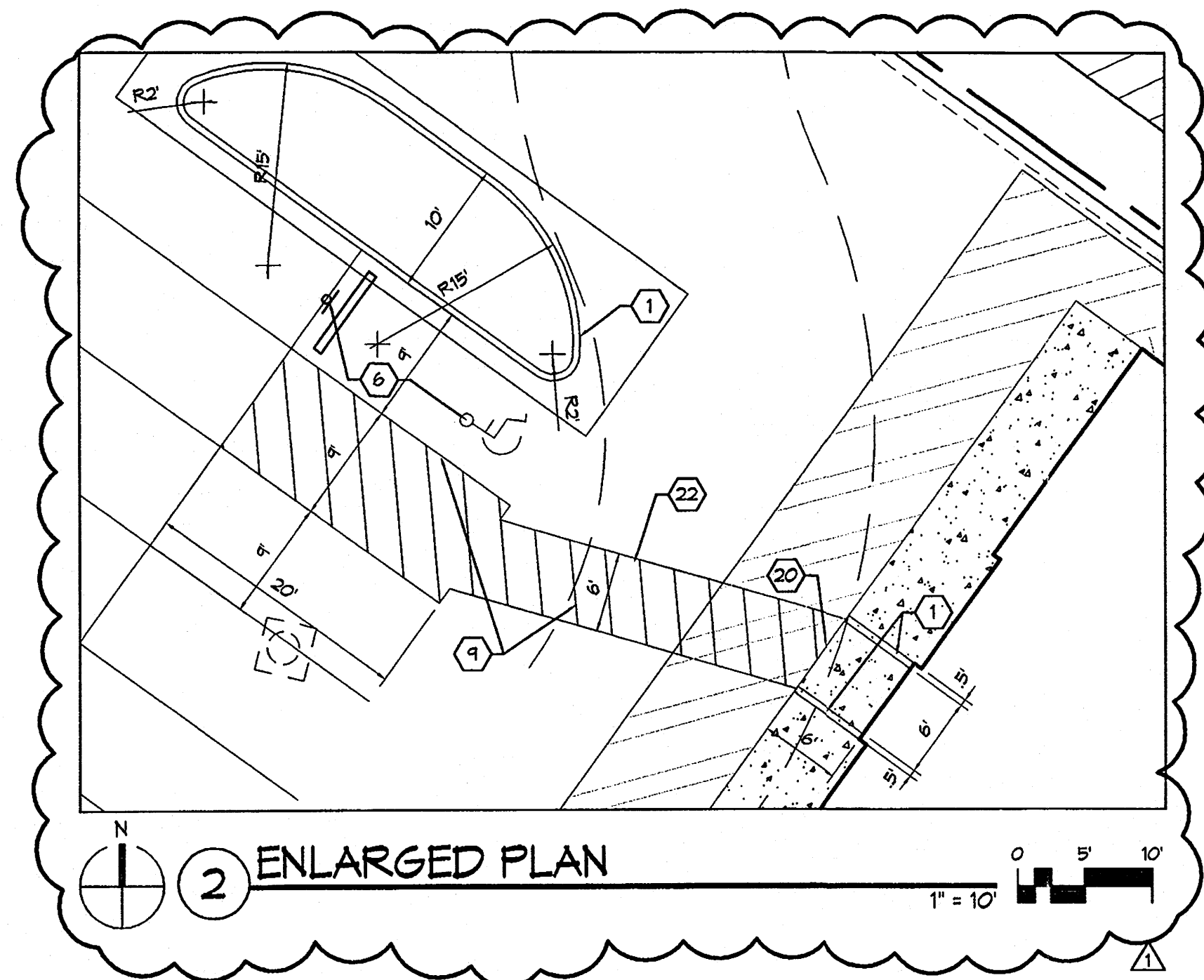
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OF

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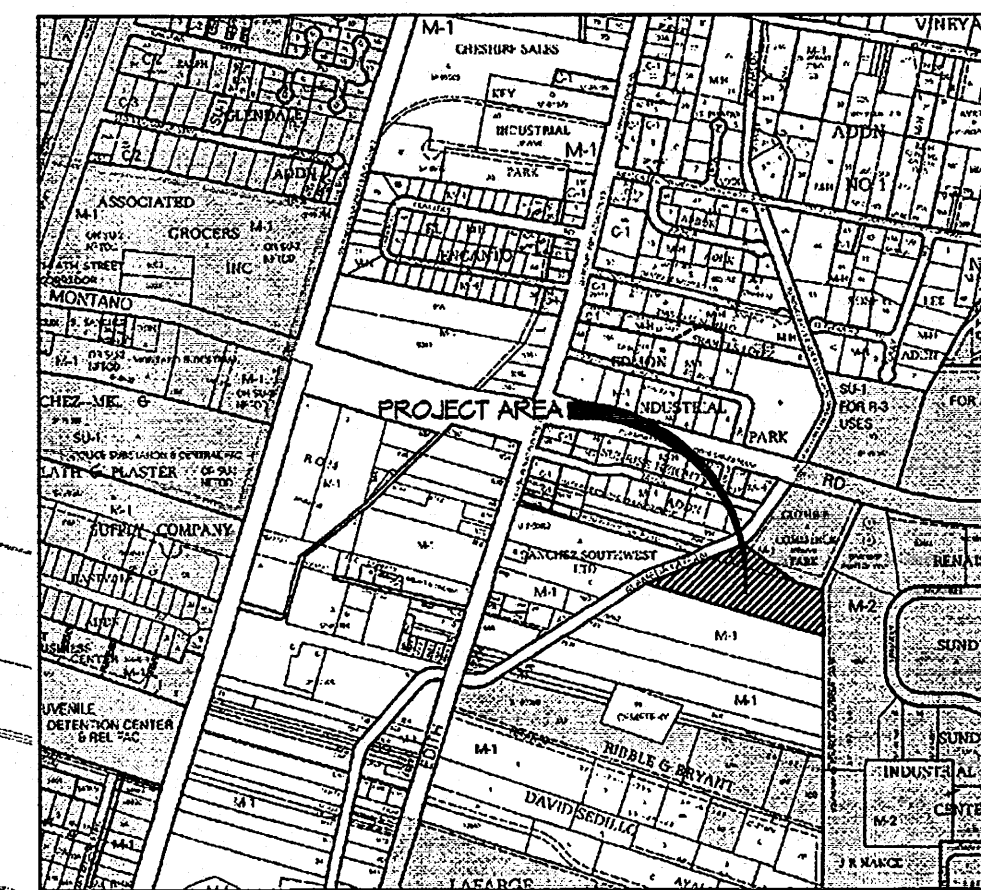
AUG 10 2012

TOL



SURFACE MATERIAL LEGEND:

- LIGHT DUTY ASPHALT PAVING IN PARKING AREAS, REFER TO KEYED NOTE #15 FOR DESCRIPTION.
- HEAVY DUTY ASPHALT PAVING IN DRIVE LANES, REFER TO KEYED NOTE #2 FOR DESCRIPTION.
- COMPACTED BASE COURSE OR MILLINGS.



SITE DATA:

LEGAL DESCRIPTION: TRACT A-2, GUTHRIE COMMERCE PARK
ADDRESS: 500 MONTANO ROAD, NE
PROPERTY AREA: 3.94 ACRES
ZONING: M-1
BUILDING AREA:
NEW AUTOMOTIVE REPAIR GARAGE: 20,944 SF

PARKING CALCULATIONS:

REQUIRED PARKING:	
1 SPACE PER 1,000 SF MANUFACTURING:	21 SPACES
20,944 SF/1000 SF:	1 SPACE
ADA SPACES	1 SPACE
MOTORCYCLE SPACES	23 SPACES
TOTAL:	
PROVIDED PARKING:	
STANDARD SPACES	24 SPACES
ADA SPACES	1 SPACES
MOTORCYCLE SPACES	2 SPACES
TOTAL:	32 SPACES

GENERAL NOTES:

- REFER TO SHEET C-102 FOR GRADING AND DRAINAGE.
- REFER TO SHEET C-106 FOR SITE UTILITIES.
- REFER TO SHEET ES101 FOR SITE ELECTRICAL.
- TRACT A-1 SITE DEVELOPMENT SHOWN FOR INFORMATION ONLY.
- EXISTING BUSINESS ON TRACT A-1 IS THE SAME AS THE NEW BUSINESS ON TRACT A-2 AND SHARE THE SAME HOURS OF OPERATION.
- EXISTING GATE AT THE PRIVATE ACCESS EASEMENT ON TRACT A-1 SHALL REMAIN OPEN AND UNLOCKED DURING HOURS OF OPERATION.
- PUBLIC/CUSTOMER PARKING AND BUILDING ACCESS IS LIMITED TO THE NORTH END OF TRACT A-1. THE DEVELOPMENT ON TRACT A-2 IS NOT OPEN TO THE PUBLIC. ONLY EMPLOYEES OF CAR CRAFTERS ARE ALLOWED ACCESS TO THE DEVELOPMENT ON TRACT A-2.

KEYED NOTES:

- NEW 6" CONCRETE HEADER CURB, SEE 4/A5501.
- INSTALL 4" ASPHALT CONCRETE PAVING OVER 6" AGGREGATE BASE COURSE OVER PREPARED SUBGRADE.
- NEW CONCRETE STOOP TO BE FLUSH WITH ASPHALT, SEE DETAIL 8/A5501.
- NEW CONCRETE APRON TO BE FLUSH WITH ASPHALT, SEE DETAIL 8/A5501.
- NOT USED.
- NEW ACCESSIBLE PARKING SPACE MARKING & SIGN, SEE 5 & 7/A5501.
- NOT USED.
- NEW 6" DIA. CONCRETE FILLED PIPE BOLLARD, SEE 2/A5501.
- NEW 4" WIDE PAVEMENT MARKING.
- NEW LANDSCAPE AREA.
- NEW STORM WATER RETENTION AREA.
- NEW MOTORCYCLE PARKING & SIGN, SEE 6/A5501.
- LOT LINE TO BE ADJUSTED BY PLATTING ACTION.
- NEW VEHICLE STAGING AREA, PAVEMENT MARKING PATTERN & SPACING TO BE DETERMINED BY OWNER.
- INSTALL 2" ASPHALT CONCRETE PAVING OVER 4" AGGREGATE BASE COURSE OVER PREPARED SUBGRADE.
- EXISTING DOUBLE BIN REFUSE ENCLOSURE TO REMAIN.
- INSTALL COMPACTED BASE COURSE/MILLINGS FOR FUTURE OVERFLOW VEHICLE STORAGE WITHIN THIS AREA.
- SHOT-CRETE SLOPE STABILIZATION, SEE SHEET C-102 FOR DETAILS.
- NEW ASPHALT CURB, SEE DETAIL 3/A5501.
- NEW CONCRETE WALK TO BE FLUSH WITH ASPHALT, SEE DETAIL 8/A5501.
- NEW MECHANICAL EQUIPMENT, SEE SHEET MH-101.
- NEW 6" WIDE PAINTED ACCESSIBLE PATH.
- ACCESSIBLE PATH BETWEEN BUILDINGS.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

Tract 16-A-1
Resubdivision Center II
Map April 10, 1995,
Book 172, Page 109

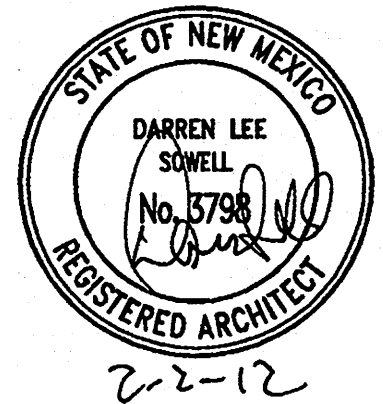
TRAFFIC CIRCULATION LAYOUT APPROVED

Signed *[Signature]* Date 02-10-12

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

DSA
Darren Sowell
ARCHITECTS

4700 Lincoln N.E., Suite 111
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Phone: (505) 342-6200
Fax: (505) 342-6201



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Albuquerque, New Mexico 87107

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FEB 07 2012

HYDROLOGY
SECTION

1 1-31-2012 PERMIT COMMENTS

Project Number 1016

Drawn By

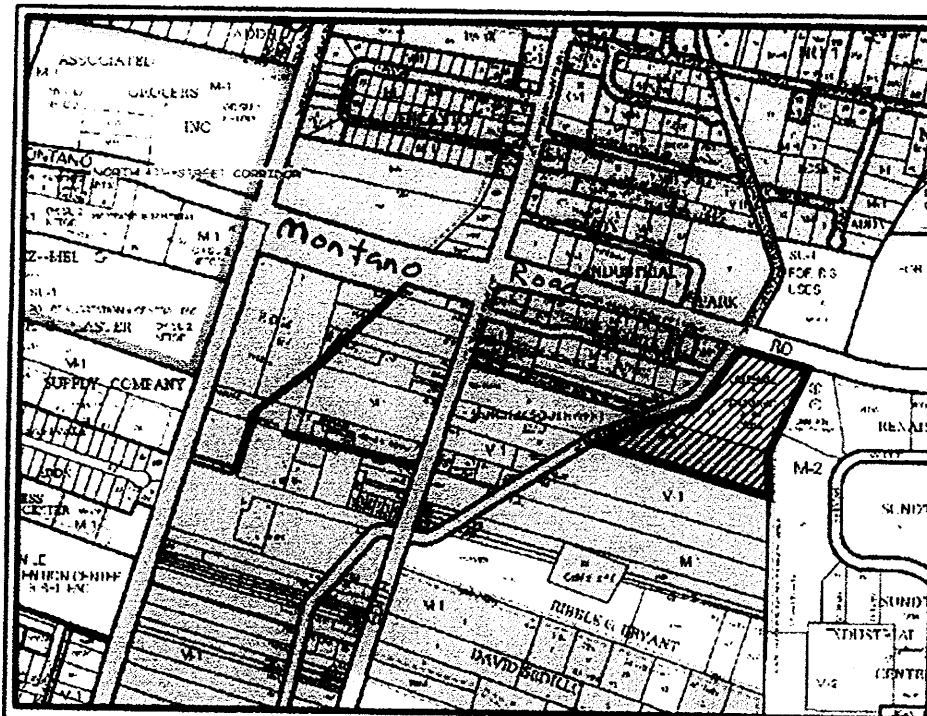
Checked

Issue Date September 23, 2011

**TRAFFIC
CIRCULATION
LAYOUT**

Scale: AS SHOWN

TCL



VICINITY MAP No. F-15

APPROVED on the condition that all rights of the Middle Rio Grande Conservancy District in easements, rights of way, assessments and liens, are fully reserved to said District, and that if provision for irrigation source and easements are not provided for by the subdivider for the subdivision, addition, or plat, said District is absolved of all obligations to furnish irrigation waters and services to any portions thereof, other than from existing turnouts.

APPROVED A. F. Smith DATE 11/14/11

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO RE-ALIGN THE LOT LINE BETWEEN TRACT A AND TRACT 188A1B M.R.G.C.D. MAP No. 32, VACATE A PORTION OF THE PUBLIC WATERLINE EASEMENT AS SHOWN AND GRANT ALL EASEMENTS AS SHOWN.

GENERAL NOTES:

- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 7.7279 ACRES.
- TALOS LOG NO. N/A
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- DATE OF FIELD WORK: MAY/JUNE 2011
- NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT
- Annexation Case No. 0-11-63
- Enactment No. 0-2011-030
- This Property lies within the City Limits for the City of Albuquerque.
- By the recording of this plat, a reciprocal drainage Easement is granted for the benefit of Tracts A-1 and A-2.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# 101506143912540239 / 101506146215840241
PROPERTY OWNER OF RECORD: Headstart Enterprises
BERNALILLO CO. TREASURER'S OFFICE: 11-22-11

LEGAL DESCRIPTION

TRACT LETTERED 'A' OF THE PLAT OF GUTHRIE COMMERCE PARK, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 10, 2007 IN PLAT BOOK 2007C, PAGE 115 AND TRACT NUMBERED 188-A-1-B AS SHOWN ON THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT MAP No. 32, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE SOUTHERLY LINE OF MONTANO ROAD, WHENCE CITY OF ALBUQUERQUE CONTROL MONUMENT 'I-25-20' HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, 1983) N= 1502367.513 AND E= 1530649.760 BEARS S 36°37'35" E, A DISTANCE OF 3016.70 FEET RUNNING THENCE S 25°02'55" W, A DISTANCE OF 312.51 FEET TO A POINT;
THENCE S 24°52'02" W, A DISTANCE OF 133.88 FEET TO A POINT;
THENCE S 21°08'39" W, A DISTANCE OF 17.31 FEET TO A POINT;
THENCE S 00°11'52" W, A DISTANCE OF 209.96 FEET TO THE SOUTHEAST CORNER;
THENCE N 74°12'55" W, A DISTANCE OF 885.83 FEET TO THE SOUTHWEST CORNER, BEING A POINT ON THE EASTERLY LINE OF THE ALAMEDA LATERAL;
THENCE ALONG THE EASTERLY LINE OF THE ALAMEDA LATERAL FOR THE NEXT 5 CALLS:
30.42 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 256.48, A CENTRAL ANGLE OF 06°47'43" FEET AND HAVING A CHORD BEARING AND DISTANCE OF N 65°45'40" E, 30.40 FEET TO A POINT OF TANGENCY;
THENCE N 69°01'14" E, A DISTANCE OF 303.73 FEET TO AN ANGLE POINT;
THENCE N 66°24'45" E, A DISTANCE OF 166.18 FEET TO A POINT OF CURVE;
THENCE 92.43 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 173.25 FEET, A CENTRAL ANGLE OF 30°34'01" AND HAVING A CHORD BEARING AND DISTANCE OF N 51°07'03" E, 91.34 FEET TO A POINT OF TANGENCY;
THENCE N 35°50'44" E, A DISTANCE OF 292.85 FEET TO THE NORTHWEST CORNER, BEING A POINT ON THE SOUTHERLY LINE OF MONTANO ROAD;
THENCE LEAVING THE EASTERLY LINE OF THE ALAMEDA LATERAL, S 74°49'30" E, ALONG THE SOUTHERLY LINE OF MONTANO ROAD, A DISTANCE OF 354.14 FEET TO THE NORTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 7.7279 ACRES MORE OR LESS

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM")**, a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
 - New Mexico Gas Company** for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
 - Qwest** for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
 - Cable TV** for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgear, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.
- Disclaimer:**
In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Jim Guthrie 10-13-11
DATE

ACKNOWLEDGMENT

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC
THIS 13 DAY OF October, 2011

BY: Jim Guthrie
OWNERS NAME

MY COMMISSION EXPIRES: July 18, 2012 BY: Robert
NOTARY PUBLIC

PLAT OF TRACTS A-1 AND A-2 GUTHRIE COMMERCE PARK

WITHIN
ELENA GALLEGOS LAND GRANT AND TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 33, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2011

PROJECT NUMBER: 1004228

APPLICATION NUMBER: 110RB70313

UTILITY APPROVALS:

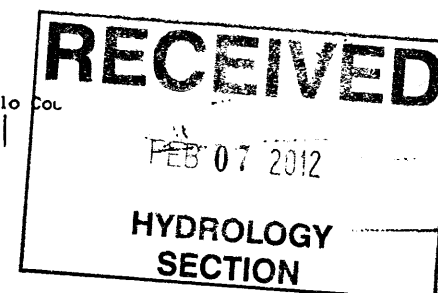
Michelle V. Gallegos 11-22-2011
PUBLIC SERVICE COMPANY OF NEW MEXICO DATE
h.g. 11-14-2011
NEW MEXICO GAS COMPANY DATE
Alabeh Ramoel 11-19-11
QWEST TELECOMMUNICATIONS / CENTURY LINK QC DATE
— SEE NOTE IN FILE
COMCAST DATE

CITY APPROVALS:

Al B. Smith 10-31-11
CITY SURVEYOR DATE
VIA
REAL PROPERTY DIVISION (CONDITIONAL) DATE
VIA
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE
ALD J.S. 11-16-11
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
Alfon Portia 11/16/11
ABCWA DATE
Carl S. Dumont 11/16/11
PARKS AND RECREATION DEPARTMENT DATE
Ante a. Chene 11-16-11
AMAFCA DATE
Ante a. Chene 11-16-11
CITY ENGINEER DATE
Bill Davis 11-22-11
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

APPROVED on the condition that all rights of the Middle Rio Grande Conservancy District in easements, rights of way, assessments and liens, are fully reserved to said District, and that if provision for irrigation source and easements are not provided for by the subdivider for the subdivision, addition, or plat, said District is absolved of all obligations to furnish irrigation waters and services to any portions thereof, other than from existing turnouts.

DATE



SURVEYORS CERTIFICATE:

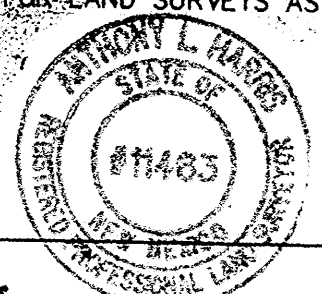
STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
THIS 13th DAY OF October, 2011.

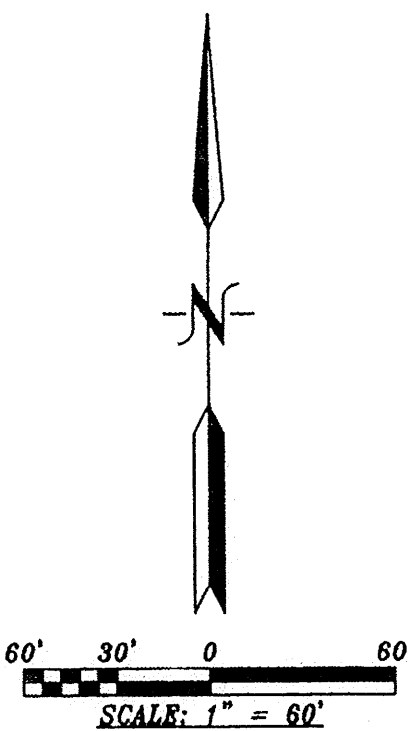
Anthony L. Harris
ANTHONY L. HARRIS, P.S. # 11463

W.E.E.E. SURVEYING, INC. PHONE: (505) 889-8056
1100 1ST AVENUE S.W. FAX: (505) 889-8045
ALBUQUERQUE, NEW MEXICO 87102



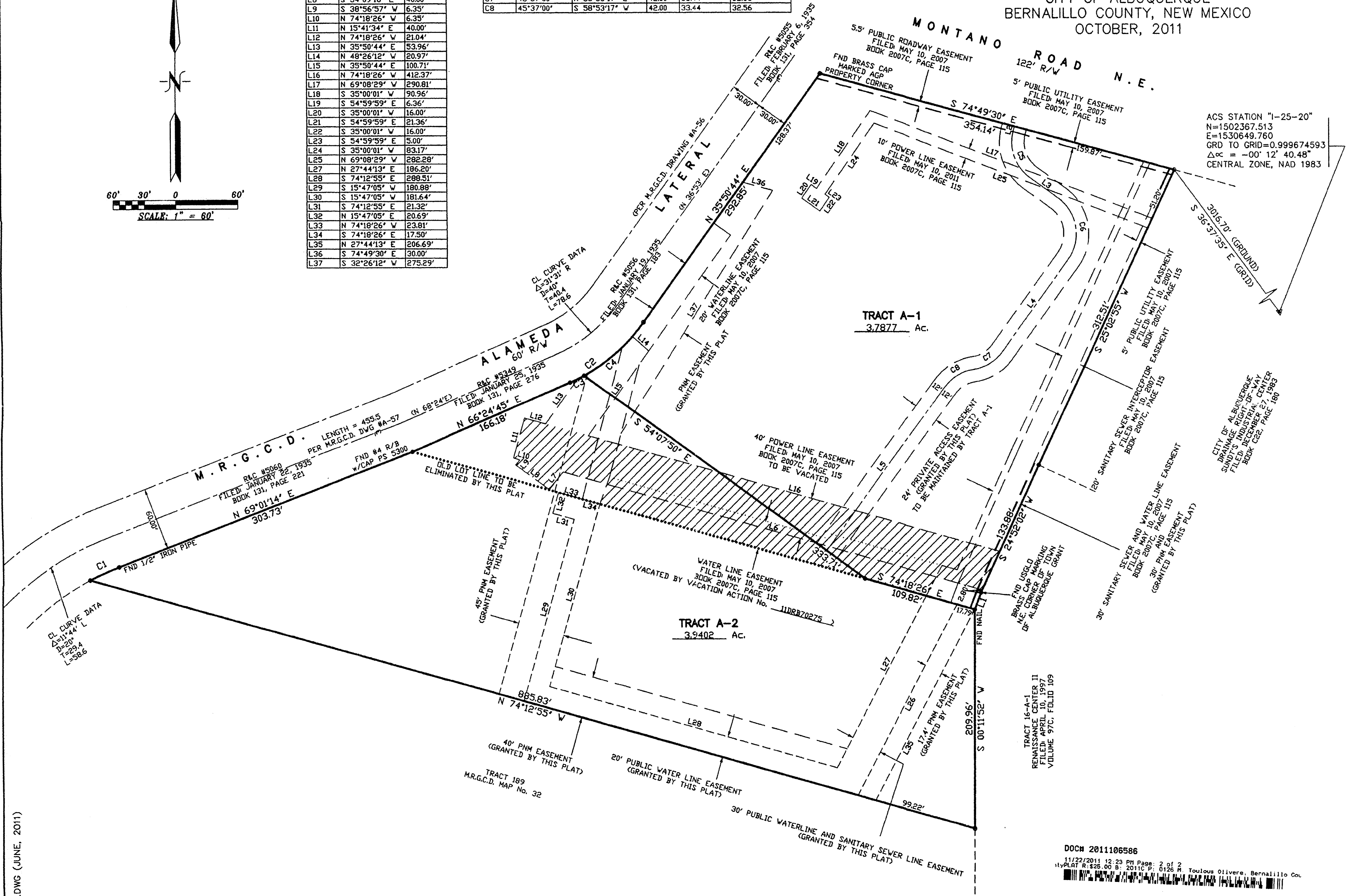
PLAT OF
TRACTS A-1 AND A-2
GUTHRIE COMMERCE PARK

WITHIN
ELENA GALLEGOS LAND GRANT AND TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 33, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2011



LINE TABLE		
NUMBER	DIRECTION	DISTANCE
L1	S 21°09'20" W	17.31'
L2	N 54°09'16" W	33.53'
L3	S 36°04'47" W	108.34'
L4	N 74°18'26" W	419.74'
L5	S 38°56'37" W	21.35'
L6	S 54°09'16" E	40.00'
L7	S 38°56'37" W	6.35'
L8	N 74°18'26" W	6.35'
L9	N 15°41'34" E	40.00'
L10	N 74°18'26" W	21.04'
L11	N 35°50'44" E	53.96'
L12	N 48°26'12" W	20.97'
L13	N 35°50'44" E	100.71'
L14	N 74°18'26" W	412.37'
L15	N 69°08'29" W	290.81'
L16	S 35°00'01" W	90.96'
L17	S 54°59'59" E	6.36'
L18	S 35°00'01" W	16.00'
L19	S 54°59'59" E	21.36'
L20	S 35°00'01" W	16.00'
L21	S 54°59'59" E	5.00'
L22	S 35°00'01" W	83.17'
L23	N 69°08'29" W	282.28'
L24	N 27°44'13" E	186.20'
L25	S 74°12'55" E	288.51'
L26	S 15°47'05" W	180.88'
L27	S 15°47'05" W	181.64'
L28	S 74°12'55" E	21.32'
L29	N 15°47'05" E	20.69'
L30	N 74°18'26" W	23.81'
L31	S 74°18'26" W	17.50'
L32	N 27°44'13" E	206.69'
L33	S 74°49'30" E	30.00'
L34	S 32°26'12" W	275.29'

CURVE TABLE				
NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH
C1	06°47'43"	S 65°46'21" W	256.48	30.42
C2	30°34'01"	N 51°07'45" E	173.25	92.43
C3	04°56'37"	N 63°56'26" E	173.25	14.95
C4	25°37'24"	N 48°39'26" E	173.25	77.48
C5	69°37'27"	S 19°20'32" E	42.00	51.04
C6	90°14'03"	N 09°02'15" W	42.00	66.15
C7	45°37'00"	N 58°53'17" E	42.00	33.44
C8	45°37'00"	S 58°53'17" W	42.00	33.44



ACS STATION "I-25-20"
N=1502367.513
E=1530649.760
GRD TO GRID=0.999674593
 $\Delta\alpha = -00^{\circ} 12' 40.48''$
CENTRAL ZONE, NAD 1983

11-0272.DWG (JUNE, 2011)

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY SUPPLIERS AT LEAST THREE (3) DAYS PRIOR TO ANY UTILITY CONSTRUCTION (INCLUDING CONNECTIONS TO EXISTING SYSTEM) TO COORDINATE THE VARIOUS ITEMS OF WORK WITH OPERATIONS STAFF. THE CONTRACTOR SHALL CONTACT WATER UTILITY TWO (2) WEEKS PRIOR TO WATER SHUT-OFF AND INFORM ANY AFFECTED USERS OF INTERRUPTIONS IN UTILITY SERVICES.
2. ALL TEES, BENDS AND CAPS ON WATER PIPING SHALL BE BLOCKED ACCORDING CITY OF ALBUQUERQUE STANDARD DETAIL 2320.
3. ALL TRENCH BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 95% OF OPTIMUM (MODIFIED) ASTM D-1557, $\pm 2\%$.
4. ALL NON-UTILITY WORK DETAILED ON THESE PLANS SHALL BE PERFORMED EXCEPT AS OTHERWISE STATED IN ACCORDANCE WITH THE AWWA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION AS AMENDED.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
6. EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED ON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLY WITH (BLUE STAKE) PROCEDURES, OR OTHERWISE.
7. THE GEOTECHNICAL REPORT INDICATES THAT ON SITE NON-EXPANSIVE SOILS MAY BE USED FOR ENGINEERED FILL OR FOR GENERAL SITE GRADING AND EXTERIOR SLABS. NO MATERIALS PITS HAVE BEEN DESIGNATED FOR THIS PROJECT. IT IS ANTICIPATED THAT ANY REQUIRED ENGINEERED SOILS WOULD BE OBTAINED FROM EXISTING STATE AND EPA COMPLIANT BORROW SOURCES.
8. ALL NEW STREET PAVING AND CURB AND GUTTER SHALL MATCH THE ELEVATIONS OF ABUTTING EXISTING AREAS AS SHOWN IN THE PLANS OR AS DIRECTED BY THE PROJECT OWNERS REPRESENTATIVE.
9. THE CONTRACTOR SHALL COORDINATE HIS CONSTRUCTION ACTIVITIES WITH ALL OTHER CONTRACTORS AND UTILITY COMPANIES WORKING IN THE SAME AREA.
10. WHEN ABUTTING NEW PAVEMENT TO EXISTING, CONTRACTOR SHALL SAW CUT, TO FULL PAVEMENT DEPTH, THE EXISTING PAVEMENT TO A NEAT VERTICAL STRAIGHT LINE AS REQUIRED TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW TO EXISTING. THIS WORK SHALL BE CONSIDERED INCIDENTAL AND NO ADDITIONAL PAYMENT WILL BE MADE THEREFOR.
11. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB AND GUTTER, OR SIDEWALK DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS, AND SHALL REPAIR OR REPLACE IN KIND AT HIS OWN EXPENSE.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING, AT HIS OWN EXPENSE, ALL PERMITS NECESSARY FOR CONSTRUCTION. PERMITS ASSOCIATED WITH ENVIRONMENTAL CONCERNS AND SURFACE DISTURBANCE OF SOILS SHOULD BE ACQUIRED THROUGH THE CITY OF LAS CRUCES OF FEDERAL EPA AS REQUIRED.
13. OVERNIGHT PARKING OF CONSTRUCTION VEHICLES ON PRIVATE PROPERTY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
14. ALL TRENCH EXCAVATION BACKFILL WITHIN THE ROADWAY PRISM SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR PER ASTM D-1557 AS APPLICABLE.
15. ANY EARTHWORK HAUL ON THIS PROJECT WILL BE CONSIDERED AS INCLUDED IN THE CONTRACT PRICE. NO SEPARATE PAYMENT WILL BE MADE THEREFOR.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REMOVALS REQUIRED TO COMPLETE THE PROJECT. ADDITIONAL REMOVALS NOT SHOWN ON THE PLANS WILL BE CONSIDERED INCLUDED IN THE CONTRACT PRICE.
17. THE CONSTRUCTION CLEAR ZONE FOR THIS PROJECT IS 30 FT. FROM THE EDGE OF DRIVING LANE. THE CONTRACTOR SHALL NOT STORE EQUIPMENT OR MATERIAL WITHIN THE CONSTRUCTION CLEAR ZONE UNLESS THE EQUIPMENT OR MATERIAL IS PROPERLY SHIELDED UTILIZING CURRENT SAFETY DESIGN AND INSTALLATION METHODS. THE SAFETY DESIGN FOR SHIELDING SHALL BE PROVIDED BY THE CONTRACTOR AND MUST BE APPROVED BY THE OWNER'S PROJECT REPRESENTATIVE BEFORE IMPLEMENTING. THIS WORK, INCLUDING DESIGN, INSTALLATION, AND REMOVAL OF THE SHIELDING, SHALL BE CONSIDERED INCIDENTAL TO THE COMPLETION OF THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE THEREFOR.
18. THE CONTRACTOR SHALL MAINTAIN AN UP TO DATE SET OF AS-BUILT PLANS FOR THE PROJECT. THESE PLANS SHALL BE KEPT CURRENT, WITHIN TWO (2) WEEKS, AT ALL TIMES AND SHALL BE SUBJECT TO REVIEW BY THE OWNER'S PROJECT REPRESENTATIVE THROUGHOUT THE PROJECT AND WILL BE REVIEWED BY THE OWNER'S PROJECT REPRESENTATIVE FOR ACCURACY AND COMPLETENESS AT LEAST ONCE EVERY 30 DAYS. THE FINAL AS-BUILT PLANS SHALL BE SUBMITTED TO THE OWNER'S MANAGER PRIOR TO FULL PAYMENT.
19. CONTRACTOR TO PROVIDE CONSTRUCTION JOINT LAYOUT FOR PCC PAVED AREAS TO ARCHITECT A MINIMUM OF TWO (2) WEEKS PRIOR TO CONCRETE PLACEMENT. WRITTEN APPROVAL OF JOINT LAYOUT MUST BE PROVIDED TO CONTRACTOR PRIOR TO PLACEMENT OF ANY CONCRETE IN THIS AREA.
20. THE CONTRACTOR SHALL PREPARE & OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES. THE CONTRACTOR SHALL PREPARE AN EPA APPROVED STORM WATER POLLUTION PREVENTION (SWPP) PLAN FOR THIS PROJECT. ALL PERMITS MUST BE OBTAINED PRIOR TO START OF CONSTRUCTION.
21. THE CONTRACTOR SHALL MAINTAIN AND PROTECT ALL EXISTING SURVEY MONUMENTS WITHIN THE CONSTRUCTION AREA. SHOULD A MONUMENT BE DAMAGED OR DESTROYED IT WILL BE REPLACED IN ACCORDANCE WITH SURVEY PRACTICE STANDARDS AT NO ADDITIONAL EXPENSE TO THE OWNER.
22. ALL TRAFFIC HANDLING SHALL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). A TRAFFIC HANDLING CONTROL PLAN SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE ARCHITECT/ENGINEER AND ENTITY HAVING JURISDICTION OVER THE ADJOINING ROADWAYS FOR APPROVAL PRIOR TO COMMENCEMENT OF ANY WORK.
23. ALL MATERIAL REQUIRING DISPOSAL SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN AN EPA APPROVED LANDFILL OR APPROPRIATE FACILITY. ALL ASPHALTIC ROADWAY MATERIAL, AND CONCRETE CURB AND GUTTER, IS TO BE REMOVED FROM THE PROJECT. CONTRACTOR SHALL SUBMIT DISPOSAL MANIFEST TO OWNER'S PROJECT REPRESENTATIVE FOR ALL MATERIAL REQUIRING A DISPOSAL MANIFEST. THIS ALSO INCLUDES REMOVAL AND DISPOSAL OF ANY AND ALL TRANSITE MATERIALS IN ACCORDANCE WITH EPA AND OTHER GOVERNMENTAL AGENCY REQUIREMENTS AS NECESSARY. ALL DISPOSALS SHALL BE AT AN APPROVED EPA FACILITY. THIS WORK IS CONSIDERED INCIDENTAL AND NO ADDITIONAL PAYMENT SHALL BE MADE THEREFOR.
24. NO ON-SITE ASPHALT AND/OR CONCRETE BATCH PLANTS ARE ANTICIPATED FOR THIS PROJECT.
25. THE CONTRACTOR IS ADVISED THAT THE CURB AND GUTTER SHOWN FOR INSTALLATION SHALL BE IN PLACE PRIOR TO PLACEMENT OF ASPHALTIC SURFACING MATERIALS.
26. CONTRACTOR SHALL CONFORM TO ALL CITY OF ALBUQUERQUE WATER, AND WASTE WATER SPECIFICATIONS AND STANDARDS.
27. ALL WATER LINES SHALL BE PVC C-900-200 PSI AND SEWER LINES TO BE PVC SDR35.
28. CONTRACTOR TO ABANDON OLD UTILITY LINES (WATER AND SEWER) IN PLACE OR REMOVE AS NECESSARY TO PERMIT NEW CONSTRUCTION. TOP PORTION OF MANHOLES SHALL BE REMOVED. GATE VALVES, VALVE BOXES AND WATER METERS SHALL BE REMOVED FROM ALL BUILDINGS AND CONTRACTOR SHALL ABIDE BY GOVERNING REGULATIONS AND PROCEDURES FOR ABANDONMENT, REMOVAL AND DISPOSAL OF ITEMS MENTIONED. CONTRACTOR TO PROVIDE TIE IN TO EXISTING UTILITIES IN SUCH A MANNER THAT SERVICE IS MAINTAINED TO ANY EXISTING FACILITIES. IN THE EVENT THAT SERVICES MUST BE DISCONNECTED FOR A PERIOD OF TIME THIS WORK WILL BE PERFORMED AT SUCH TIMES WHEN THE FACILITY IS NOT IN USE OR AS DESCRIBED BY WRITTEN DIRECTION OF THE OWNER.
29. THE SITE AND UTILITY SURVEY WAS PROVIDED TO J.E.L. & ASSOCIATES, LLC (JEL) BY THE OWNER. JEL ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SAID SURVEY.



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HYDROLOGY
SECTION

Project Number

Drawn By T.D.S.

Checked E.J.L.

Issue Date 12/22/2011

GENERAL

CONSTRUCTION NOTES

Scale:

C100



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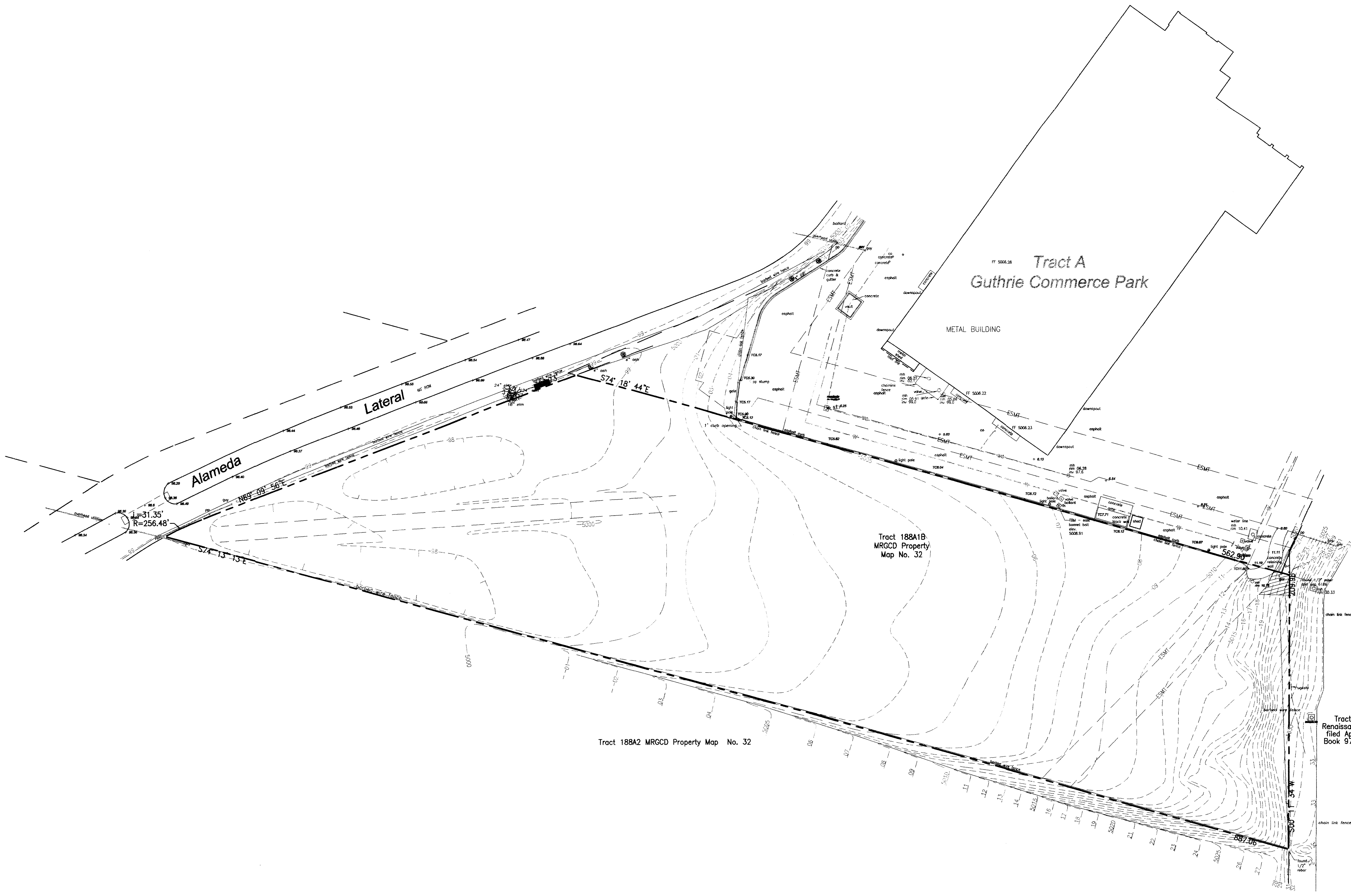
HYDROLOGY
SECTION

Project Number
Drawn By T.D.S.
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Issue Date 12/22/2011
EXISTING SITE
PLAN

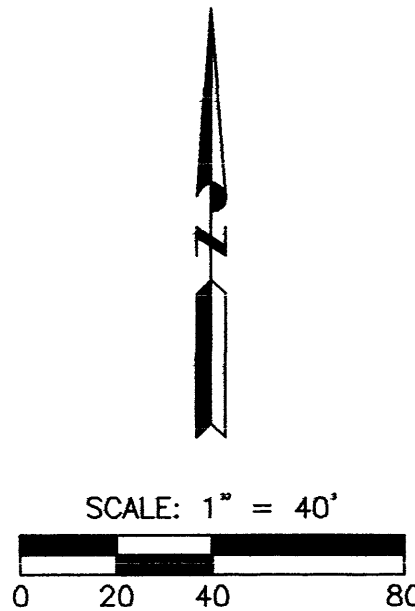
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C101

OF



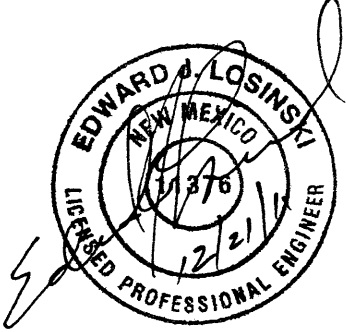
BENCHMARK: CITY OF ALBUQUERQUE 9-F15. AN ALLUMINUM DISK ON
CONCRETE DROP INLET, ENE. QUADRANT OF MONTANO AND EDITH N.E.
ELEVATION: 4986.68, NAVD88





Darren Sowell
ARCHITECTS

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Project Number
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Checked E.J.L.
Issue Date 12/22/2011
GRADING AND
DRAINAGE PLAN

Scale:

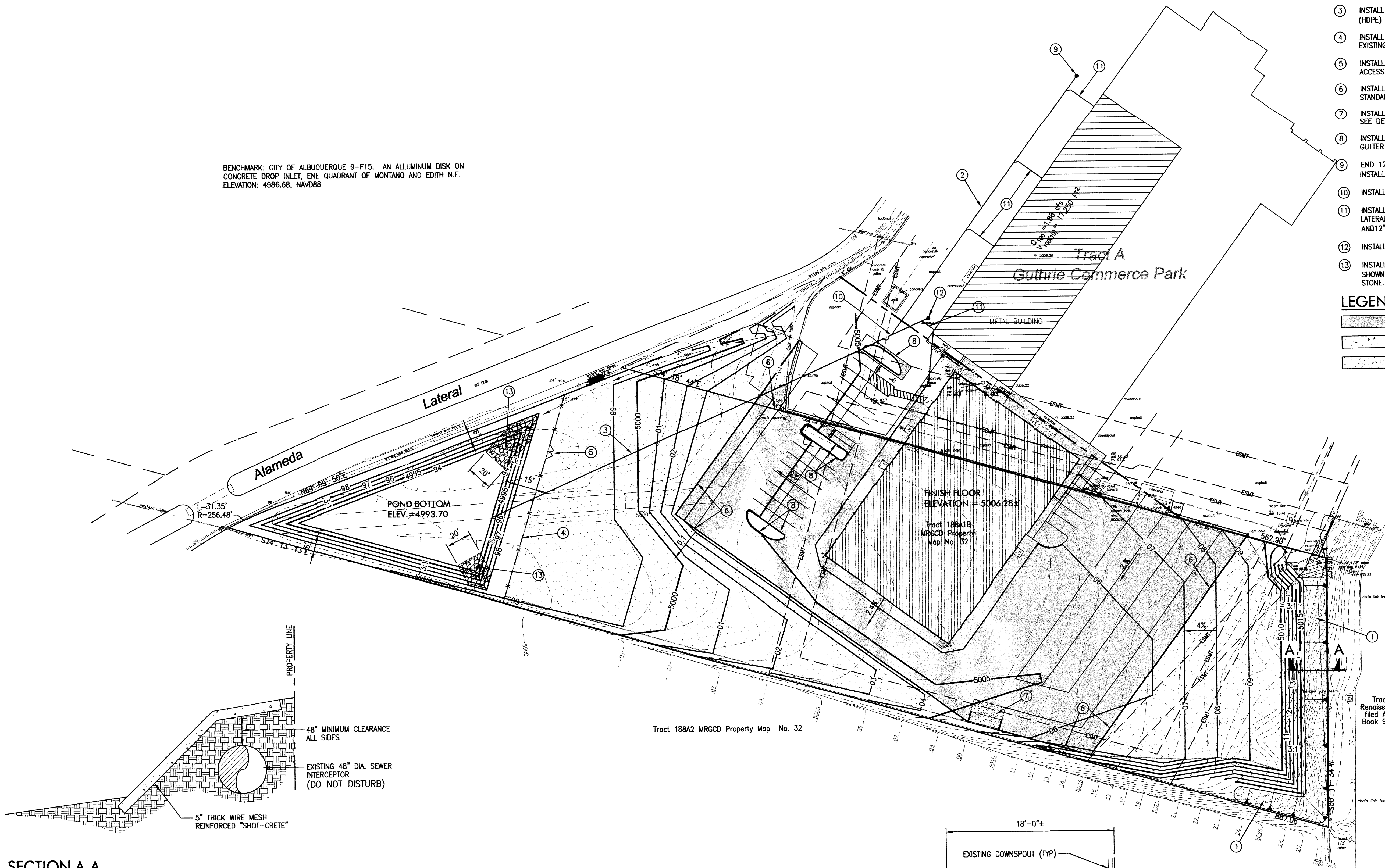
C102

KEYED NOTES:

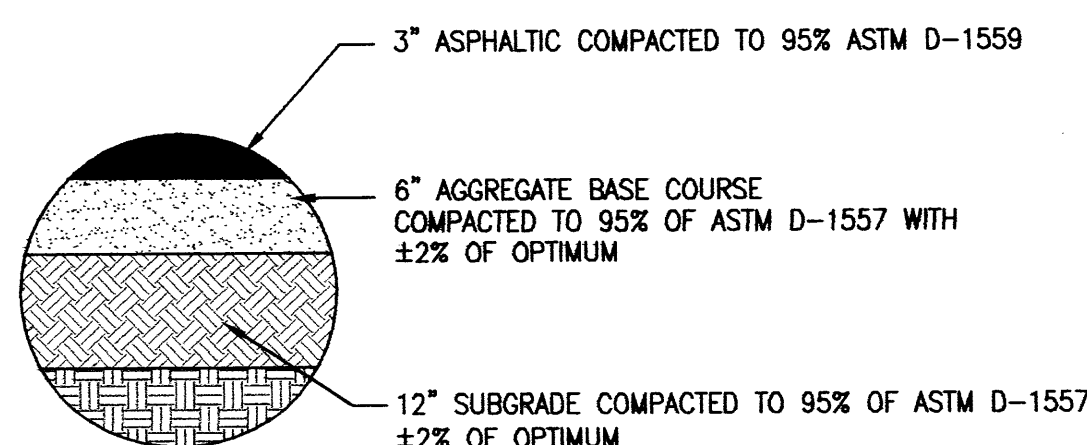
- 5" THICK "SHOT-CRETE" WITH WIRE MESH REINFORCING, SLOPE 1:1
- INSTALL 250 L.F. OF 12" DIA. HIGH DENSITY POLYTHELENE (HDPE) STORM DRAIN. MINIMUM SLOPE = 0.5%.
- INSTALL 374 L.F. OF 12" DIA. HIGH DENSITY POLYTHELENE (HDPE) STORM DRAIN. MINIMUM SLOPE = 0.5%.
- INSTALL APPROXIMATELY 170 L.F. OF FENCING TO MATCH EXISTING PERIMETER FENCING.
- INSTALL 12" WIDE (DOUBLE 6") GATES FOR MAINTENANCE ACCESS TO PONDS. MATCH EXISTING PERIMETER FENCING.
- INSTALL HEADER CURB FLUSH WITH ASPHALT PER COA STANDARD DETAIL 2415.
- INSTALL CONCRETE PAVING SECTION FOR TRASH DUMPSTER. SEE DETAIL THIS SHEET.
- INSTALL CURB AND GUTTER TO MATCH EXISTING CURB AND GUTTER WITHIN THE CAR CRAFTERS FACILITY.
- END 12" DIA. HIGH DENSITY POLYTHELENE (HDPE) AND INSTALL TRAFFIC RATED 6" DIA. CLEANOUT.
- INSTALL 12" DIAx45° WYE.
- INSTALL 6" DIA. HIGH DENSITY POLYTHELENE (HDPE) LATERAL AND CONNECT TO EXISTING BUILDING DOWN SPOUT AND 12" DIA. HDPE MAIN LINE. SEE DETAIL THIS SHEET.
- INSTALL 6" DIA. TRAFFIC RATED CLEAN OUT.
- INSTALL 20' WIDE BY 1'-2" DEEP DUMPED RIPRAP AS SHOWN. INSTALL FILTER FABRIC BELOW RIPRAP. D₅₀=6" STONE.

LEGEND

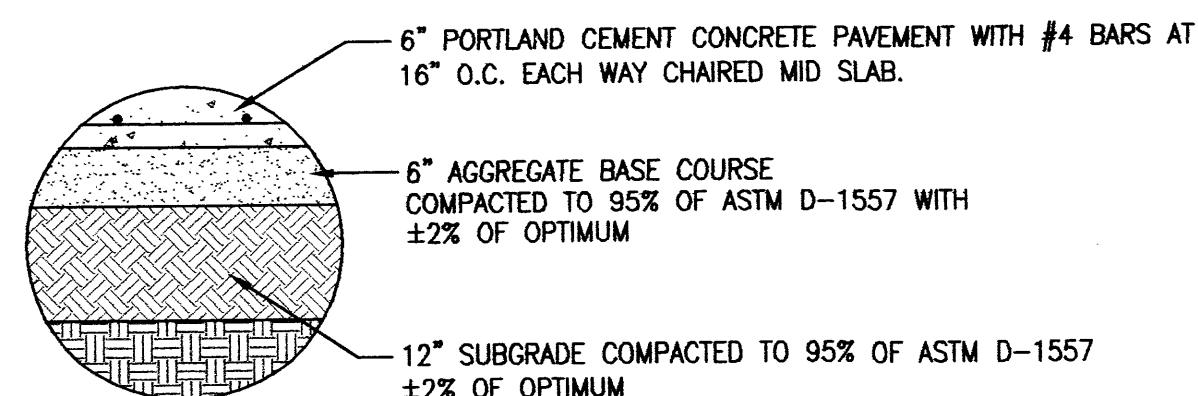
- | | |
|--|---------------------------|
| | INDICATES ASPHALT PAVING |
| | INDICATES CONCRETE PAVING |
| | INDICATES SHOT-CRETE |



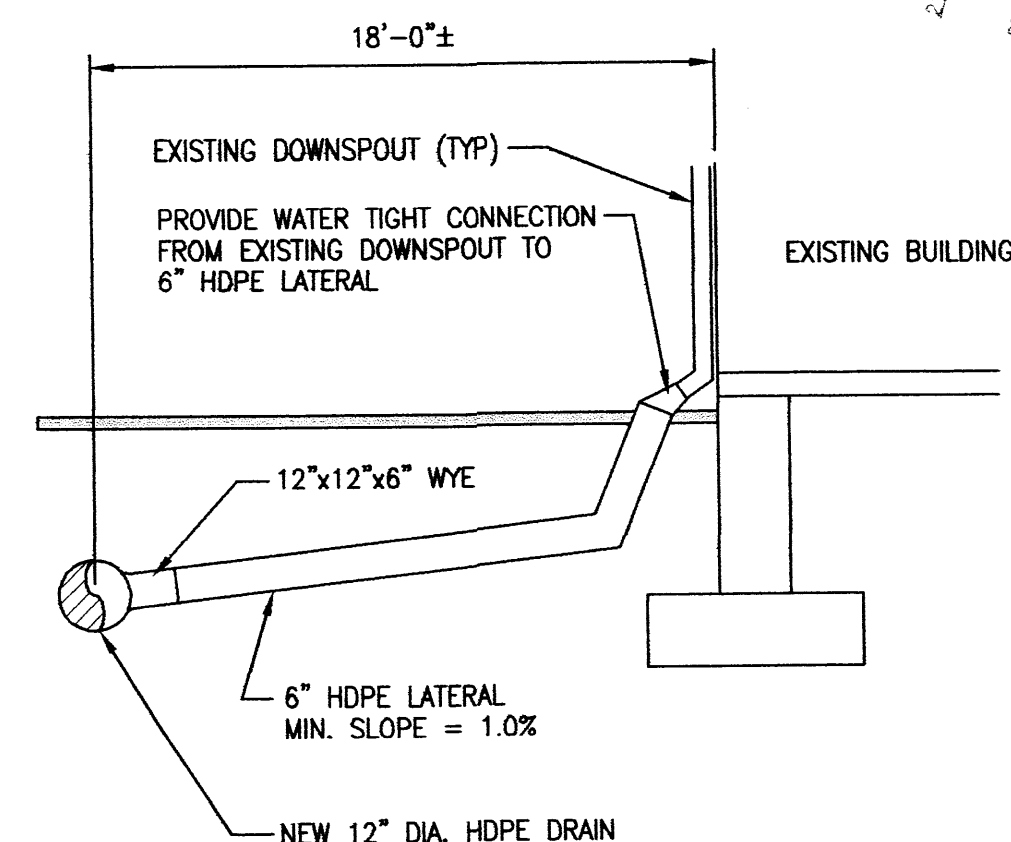
SECTION A-A



TYPICAL ASPHALT PAVING SECTION



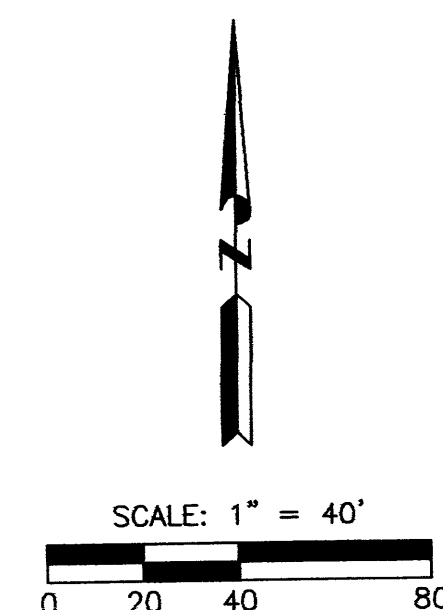
TYPICAL CONCRETE PAVING SECTION



DOWNSPOUT CONNECTION DETAIL

GENERAL NOTES:

- EASEMENTS SHOWN HEREIN ARE EXISTING AND SOME ARE INTENDED TO BE VACATED. SEE PRELIMINARY PLAT WITHIN THIS SET OF DRAWINGS FOR DETAILS.
- THE PROPERTY LINE SHOWN IS EXISTING AND A LOT LINE ADJUSTMENT IS PENDING. SEE PRELIMINARY PLAT WITHIN THIS SET FOR DETAILS.



LEGEND

PRE-DEVELOPMENT BASIN

POST-DEVELOPMENT BASIN



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HYDROLOGY
SECTION

Project Number 1016

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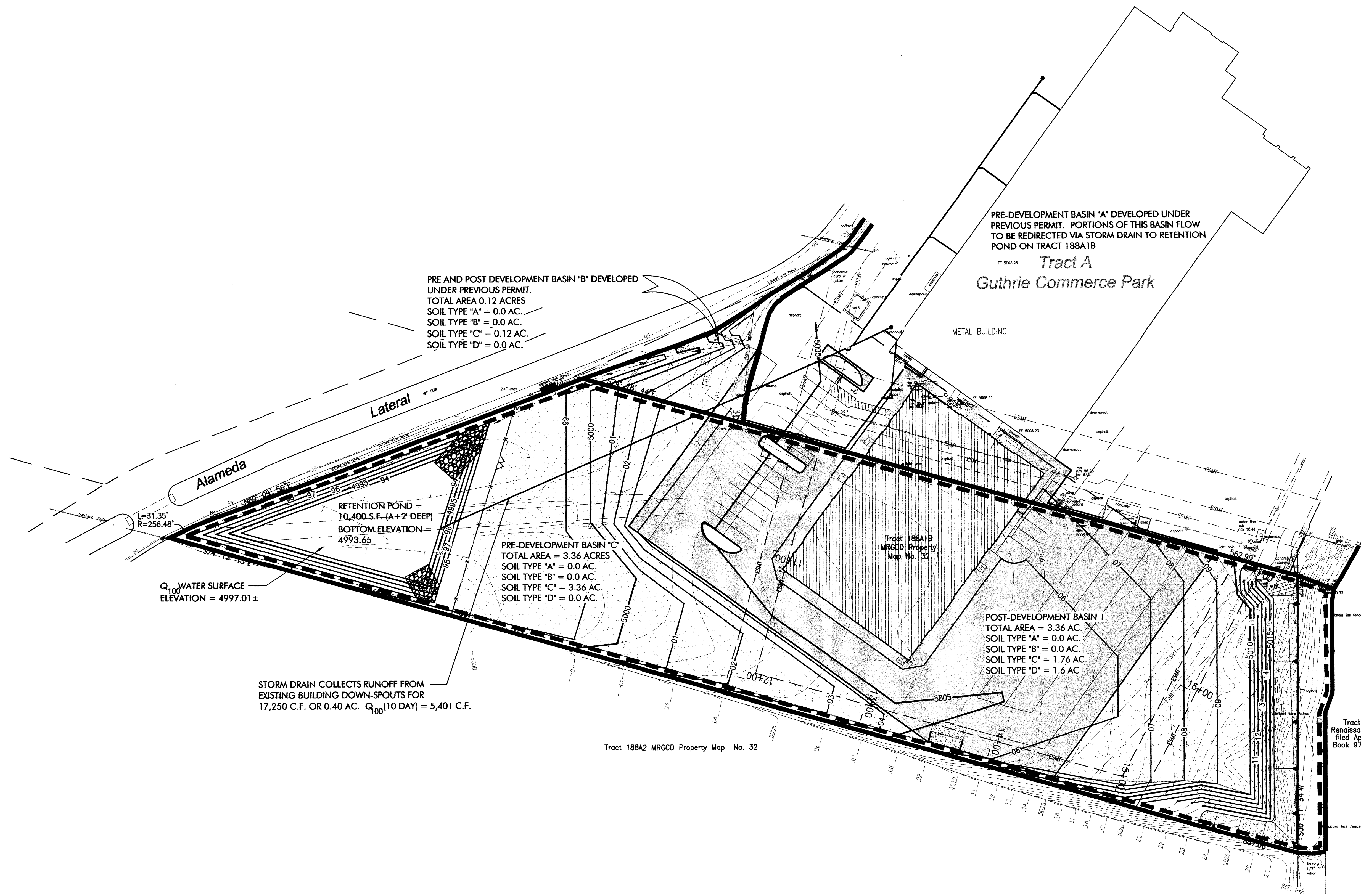
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Issue Date 12/22/2011

**PRE AND POST
DEVELOPMENT
DRAINAGE BASINS**

Scale:

C103



PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE MANAGEMENT PLANS FOR THE PROPOSED CAR CRAFTERS FACILITY LOCATED ON MONTANO NEAR THE ALAMEDA LATERAL. THE SITE CURRENTLY IS DISTURBED BUT UNDEVELOPED.

II. SITE DESCRIPTION AND HISTORY

THE SITE IS CURRENTLY VACANT AND WAS PART OF A FACILITY THAT STORED VINTAGE TRUCKS. NO STRUCTURES WERE KNOWN TO EXIST ON THIS PROPERTY BUT THE VEHICLES WERE STORED THERE UNTIL LATE 2004. THE SITE WAS ACCESSED THROUGH THE SUNRISE HEIGHTS SUBDIVISION VIA A CROSSING OVER THE ALAMEDA LATERAL.

THE SITE GENERALLY SLOPES FROM EAST TO SOUTHWEST TOWARD THE ALAMEDA LATERAL. WATER FROM THE SITE PRESENTLY OVERTOPS A SMALL DEPRESSION AND ENTERS THE ALAMEDA LATERAL.

III. COMPUTATIONAL PROCEDURES

HYDRAULIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA FOUND IN THE COA-DPM SECTION 22.2 RELEASED IN JUNE 1997.

IV. PRECIPITATION

THE 100-YEAR 6-HOUR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THE SITE IS LOCATED WITHIN ZONE 2 AS IDENTIFIED IN THE DPM SECTION 22.2. TABLES WITHIN THAT SECTION WERE USED TO ESTABLISH THE 6-HOUR PRECIPITATION, EXCESS PRECIPITATION AND PEAK DISCHARGE.

V. EXISTING DRAINAGE CONDITIONS OVERVIEW

THE 3.36 ACRES SITE, LOCATED WITHIN ZONE ATLAS K-13-Z HAS NOT BEEN STRUCTURALLY DEVELOPED. THE SITE WAS FORMERLY USED FOR STORAGE OF VINTAGE TRUCKS AND MINOR WORK ON THE SAME.

THE SITE GENERALLY SLOPES FROM EAST TO SOUTHWEST. THERE IS A LARGE DETENTION POND LOCATED UPSTREAM OF THE SITE (ON THE EAST SIDE) THAT IS PART OF THE RENAISSANCE PARK DEVELOPMENT. THERE IS A LARGE EMBANKMENT TO CONTAIN THIS DETENTION POND ALONG THE EAST PROPERTY LINE. THE ONLY OFFSITE DRAINAGE FROM THE EAST IS FROM WATER THAT LANDS DIRECTLY ON THE EMBANKMENT.

THE SITE IS BOUND BY TRACT A GUTHRIE COMMERCIAL PARK ON THE NORTH, THE ALAMEDA LATERAL TO THE WEST, TRACT 188A2 MRGCD TO THE SOUTH AND TRACT 16-A-1 RENAISSANCE CENTER II TO THE EAST.

ALL FLOWS WITHIN TRACT A, GUTHRIE COMMERCIAL PARK ARE CONVEYED TO THE NORTH AND ENTER MONTANO BLVD. A 25' WIDE STRIP OF EMBANKMENT LOCATED WITHIN TRACT 16-A-1, RENAISSANCE CENTER II FLOWS INTO THE SITE FROM THE EAST. FROM THE SOUTH ONLY A SMALL SLIVER OF LAND VARYING FROM 4 FEET TO 13 FEET CONTRIBUTES STORM FLOW TO THE PROPERTY.

THE PEAK RUNOFF FROM ALL CONTRIBUTARY AREAS FLOWS WEST WHERE A SMALL DETENTION POND IS QUICKLY FILLED ALLOWING THE BALANCE OF WATER TO ENTER INTO THE ALAMEDA LATERAL WHERE IT IS CONVEYED TO THE SOUTH.

VI. THE SITE IMPROVEMENTS INCLUDE THE CONSTRUCTION OF AN APPROXIMATELY 24,275 SQUARE FOOT CAR CRAFTERS AUTO BODY FACILITY AND ASSOCIATED PARKING AND OUTSIDE STORAGE AREA. IN ORDER TO RECTIFY THE INAPPROPRIATE DISCHARGE OF STORM FLOWS TO THE ALAMEDA LATERAL, A RETENTION POND WILL BE CONSTRUCTED ON THE WEST SIDE OF THE PROPERTY.

BASED ON DISCUSSIONS WITH THE COA HYDROLOGY DEPARTMENT (MR. CURTIS CHEMIE) A PORTION OF THE GENERATED STORM FLOW FROM TRACT A, GUTHRIE COMMERCIAL PARK WILL BE COLLECTED VIA SUBSURFACE STORM DRAIN AND COLLECTED WITHIN THE PROPOSED RETENTION POND. AN ADDITIONAL 1-FOOT OF FREEBOARD ABOVE THE 100-YEAR, 10-DAY RUNOFF VOLUME WILL ALSO BE PROVIDED.

THE PEAK DISCHARGE FOR TRACT 188A1B IS 13.07 CFS. THE COLLECTION OF ROOF DRAINAGE FROM TRACT A, GUTHRIE COMMERCIAL PARK IS 1.88 CFS, AND THE COLLECTION OF PRE-DEVELOPMENT BASIN "B" IS 0.39 CFS, FOR A TOTAL OF 15.3 CFS. THE 100-YEAR 10-DAY VOLUME GENERATED IS 34,855 C.F.

VII. THE SITE IS FULLY RETAINED AFTER THE CONSTRUCTION OF THE PROPOSED POND AND WILL LOWER CURRENT IMPACTS TO DOWNSIDE FACILITIES.

DRAINAGE SUMMARY

PROJECT	CAR CRAFTERS
DATE	12/22/11
BY	EDDY L.
SITE LOCATION	

PRECIPITATION ZONE 2 PER TABLE A-1 COA SECTION 22.2

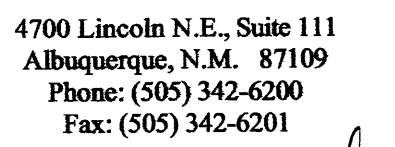
EXISTING CONDITION SUMMARY

BASIN NAME	BASIN A	BASIN B	BASIN C
AREA (SF)	17,424	5401	146,362
AREA (acres)	0.40	0.12	2.36
%A LAND TREATMENT			
%B LAND TREATMENT			
%C LAND TREATMENT		100	100
%D LAND TREATMENT	100		
SOIL TREATMENT (acres)			
%A LAND TREATMENT	0.0	0.0	0.0
%B LAND TREATMENT	0.0	0.0	0.0
%C LAND TREATMENT	0.0	0.12	3.36
%D LAND TREATMENT	0.40	0.0	0.0
EXCESS RUNOFF (acre feet)			
100YR 6HR	0.07	0.01	0.32
10YR 6HR	0.04	0.01	0.15
2YR 6HR	0.03	0.00	0.04
100YR 24HR	0.08	0.01	0.32
PEAK DISCHARGE (cfs)			
100YR	1.88	0.39	10.55
10YR	1.26	0.21	5.75
2YR	0.74	0.07	2.02

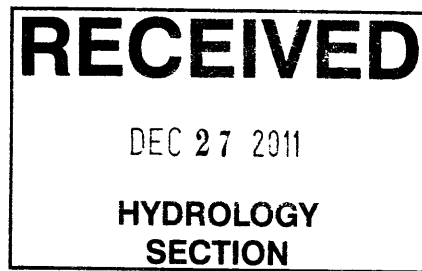
PROPOSED CONDITION SUMMARY

BASIN NAME	BASIN A	BASIN B	BASIN C
AREA (SF)	17,424	5401	146,362
AREA (acres)	0.40	0.12	3.36
%A LAND TREATMENT			
%B LAND TREATMENT			
%C LAND TREATMENT		100	52
%D LAND TREATMENT	100	48	48
SOIL TREATMENT (acres)			
%A LAND TREATMENT	0.0	0.0	0.0
%B LAND TREATMENT	0.0	0.0	0.0
%C LAND TREATMENT	0.0	0.12	1.75
%D LAND TREATMENT	0.40	1.61	1.61
EXCESS RUNOFF (acre feet)			
100YR 6HR	0.07	0.01	0.45
10YR 6HR	0.04	0.01	0.26
2YR 6HR	0.03	0.00	0.13
100YR 24HR	0.08	0.01	0.50
PEAK DISCHARGE (cfs)			
100YR	1.88	0.39	13.07
10YR	1.26	0.21	8.05
2YR	0.74	0.07	4.05

AREA OF POND = 10,400 FT².
REQUIRED PONDING VOLUME = 34,855 FT³.
DEPTH @ Q₁₀₀ = 3.35 FEET.
POND BOTTOM ELEVATION = 4993.65.
WATER SURFACE ELEVATION = 4997.01.
TOP OF POND ELEVATION = 4998.00.
FREEBOARD = 1'±.



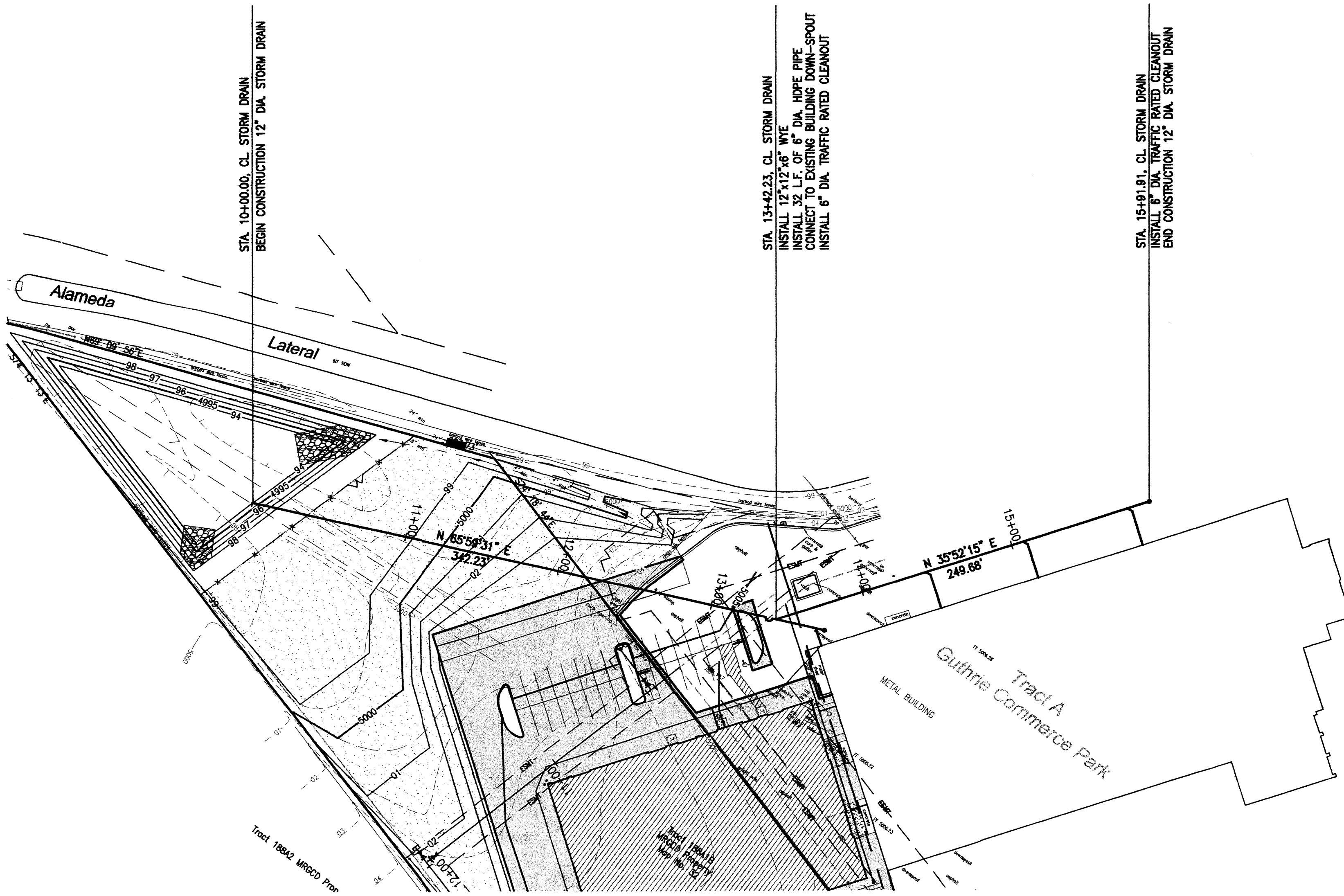
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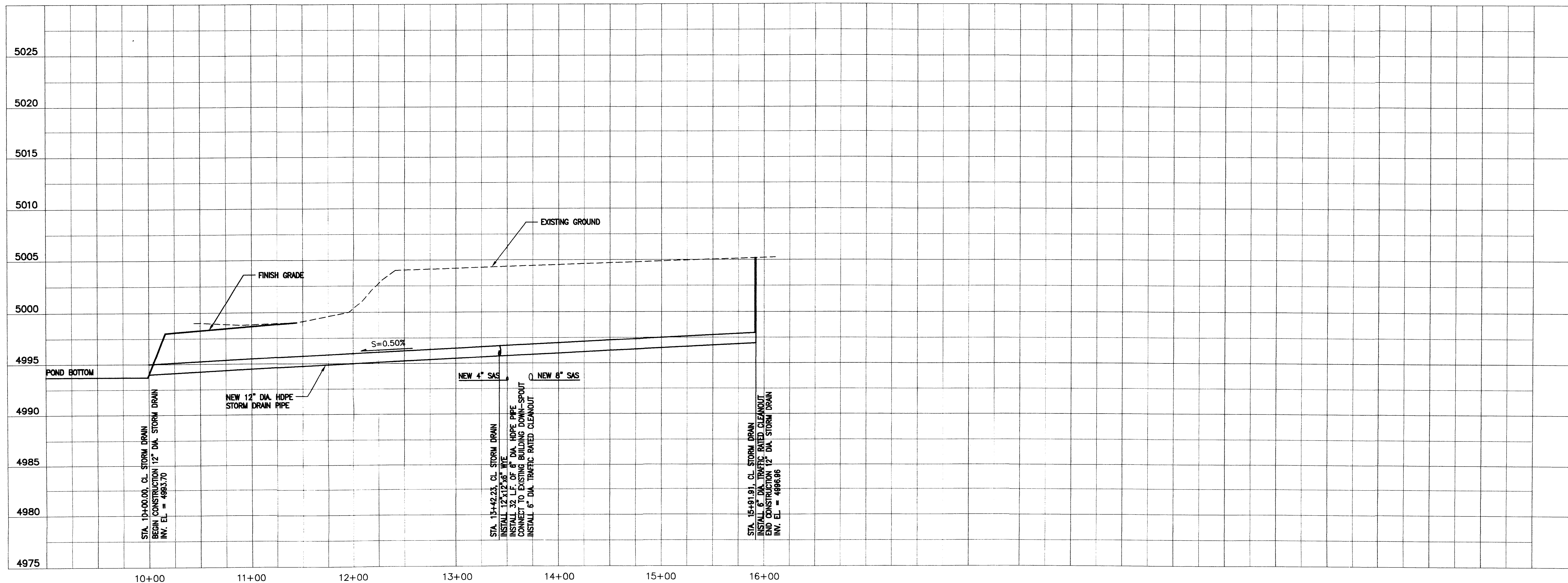
Project Number	1016
Drawn By	T.D.S.
Checked	E.J.L.
Issue Date	12/22/2011

**DRAINAGE
SUMMARY
AND CALCULATIONS**

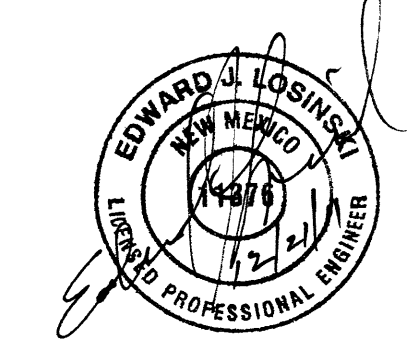
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SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



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HYDROLOGY
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Project Number 1016
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Issue Date 12/22/2011

**STORM SEWER
PLAN AND
PROFILE**

Scale: _____

C105

OF

KEYED NOTES:

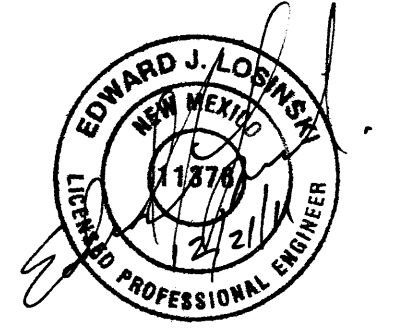
- 1 CAP EXISTING 8" DIA. WATER LINE.
- 2 NEW OR RELOCATED FIRE HYDRANT PER COA STANDARD DETAIL 2340.
- 3 REMOVE AND RELOCATE EXISTING FIRE HYDRANT.
- 4 RECONNECT EXISTING BUILDING SERVICE LINE WITH CLEANOUT TO NEW 8" DIA. SEWER MAIN LINE.
- 5 INSTALL NEW 8" DIA PVC SDR35 SEWER LINE.
- 6 PLUG EXISTING 8" DIA. SANITARY SEWER LINE TO THE EAST.
- 7 EXISTING LIFT STATION.
- 8 REMOVE EXISTING SEWER LINES AND APPERTANANCES.
- 9 INSTALL NEW 8" GATE VALVE WITH VALVE BOX
- 10 INSTALL NEW 12" GATE VALVE WITH VALVE BOX.
- 11 INSTALL NEW 12" END CAP WITH THRUST RESTRAINT.
- 12 REMOVE SECTION OF EXISTING 8" DIA. WATER LINE.
- 13 CONNECT NEW SANITARY SEWER LINE TO EXISTING LINE AND PROVIDE 6" CLEANOUT FOR SERVICE PURPOSES. (THIS NEW SEWER LINE IS PRNATELY OWNED)
- 14 20' WIDE WATER LINE EASEMENT TO BE GRANTED TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- 15 INSTALL 22.5' BEND WITH RESTRAINTS IN 6" DIA. WATER LINE AND APPROX. 14 L.F. OF NEW 6" DIA. PVC C900 WATER LINE TO MECHANICAL ROOM. SEE PLUMBING PLANS FOR CONTINUATION. LINE SHALL SUPPLY FIRE RISER DIRECTLY WITH BRANCH "DOWNSTREAM" FOR DOMESTIC USE. BACKFLOW PREVENTION TO BE INSTALLED WITHIN MECHANICAL ROOM.
- 16 INSTALL APPROX. 30 L.F. OF 4" DIA. SEWER LINE AND CONNECT TO NEW MANHOLE. MIN. SLOPE = 1.0%
- 17 INSTALL 22.5' BEND.
- 18 INSTALL APPROX. 20 L.F. OF 4" DIA. SEWER LINE WITH DOUBLE CLEANOUT. FOR CONTINUATION SEE PLUMBING DRAWINGS.
- 19 INSTALL 8"x8"x4" WYE.
- 20 INSTALL 8"x8"x8" WYE.
- 21 INSTALL 12"x12"x8" TEE

GENERAL NOTES:

- 1. MANHOLES AND COVERS SHALL BE INSTALLED IN COMPLIANCE WITH COA STANDARD DETAILS 2102 AND 2110
- 2. ALL WATER LINES, GATE VALVES, FIRE HYDRANTS AND OTHER APPURTANANCES SHALL BE INSTALL IN COMPLIANCE WITH COA STANDARD DETAILS FOR WATER, SECTION 2300.



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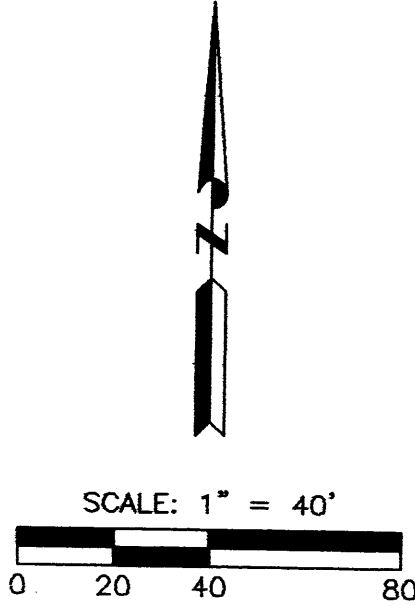
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SECTION

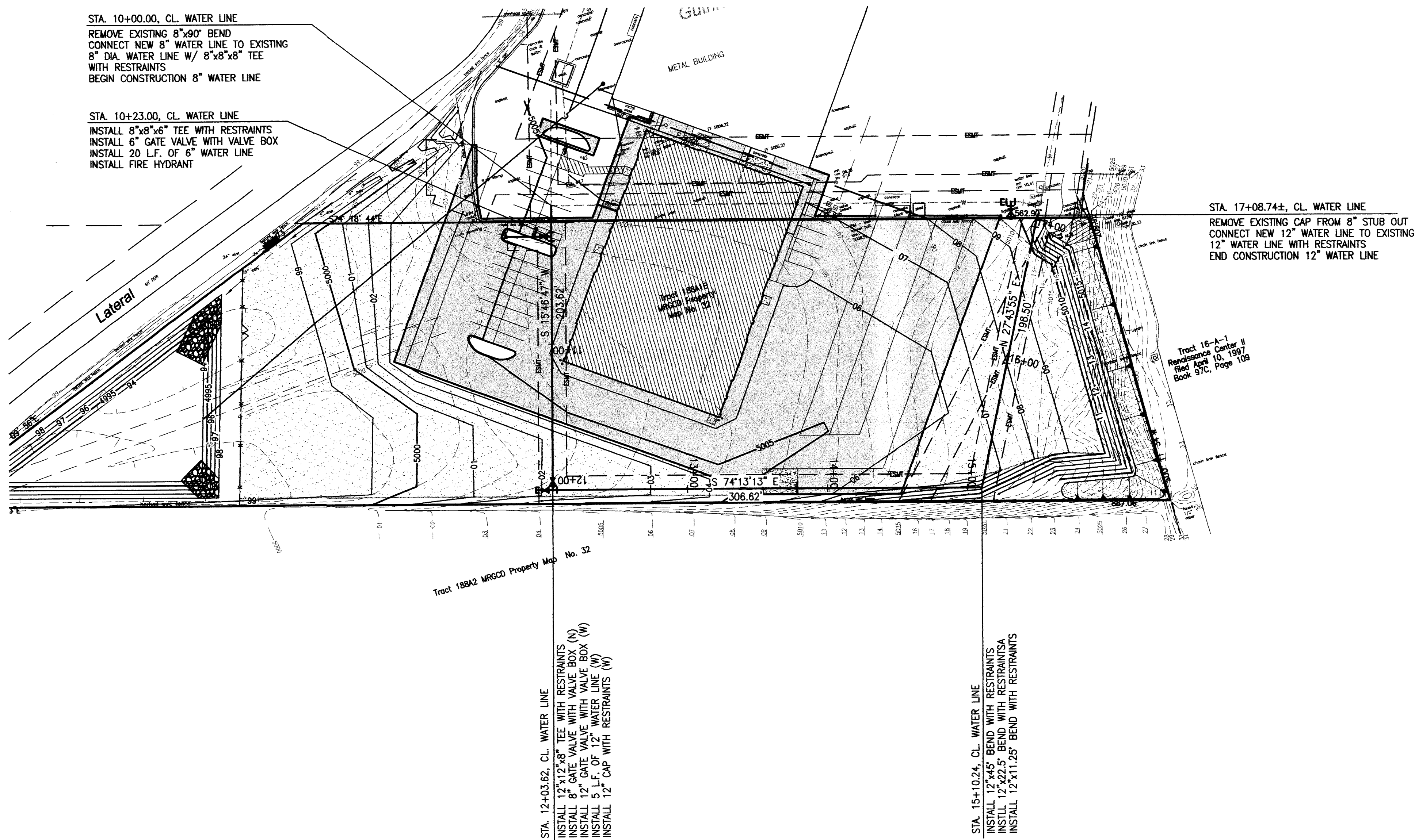
Project Number
Drawn By T.D.S.
Checked E.J.L.
Issue Date 12/22/2011
OVERALL UTILITY
LAYOUT PLAN

Scale:

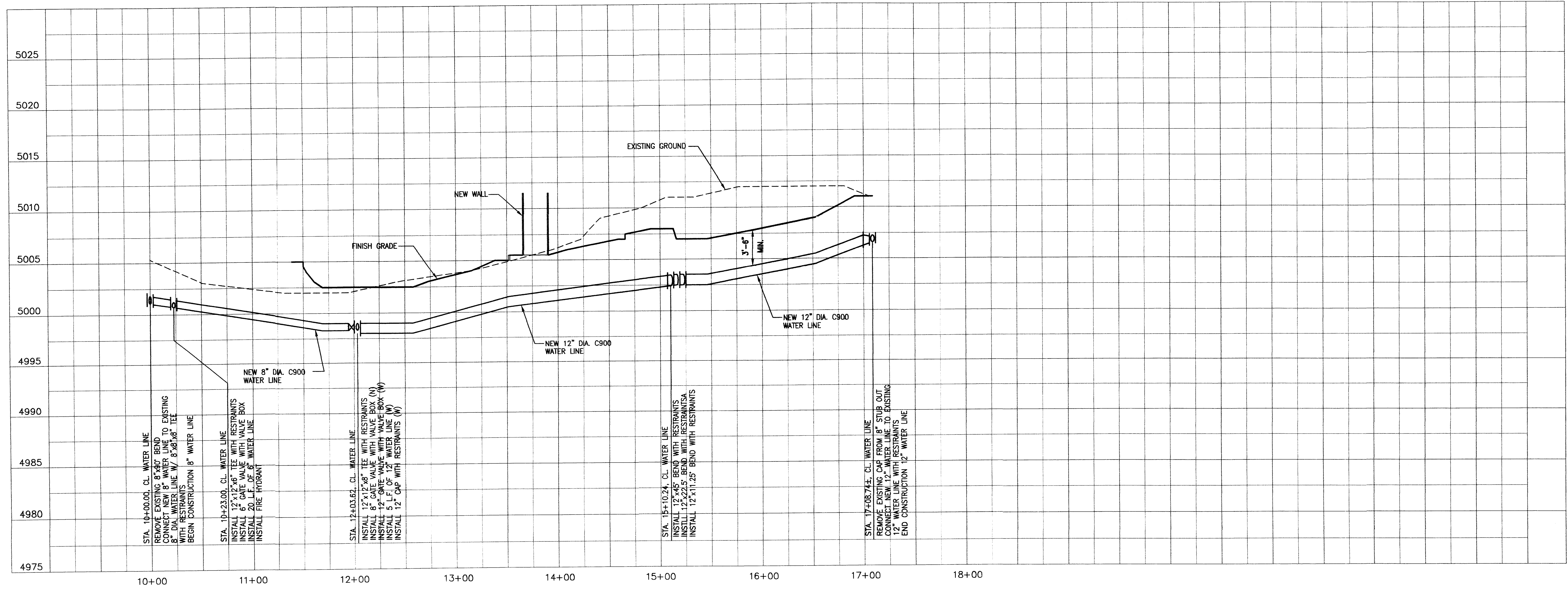


C106

OF



SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



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DSA
Darren Sowell
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EDWARD A. LORENZ
NEW MEXICO
11876
12/21/11
PROFESSIONAL ENGINEER

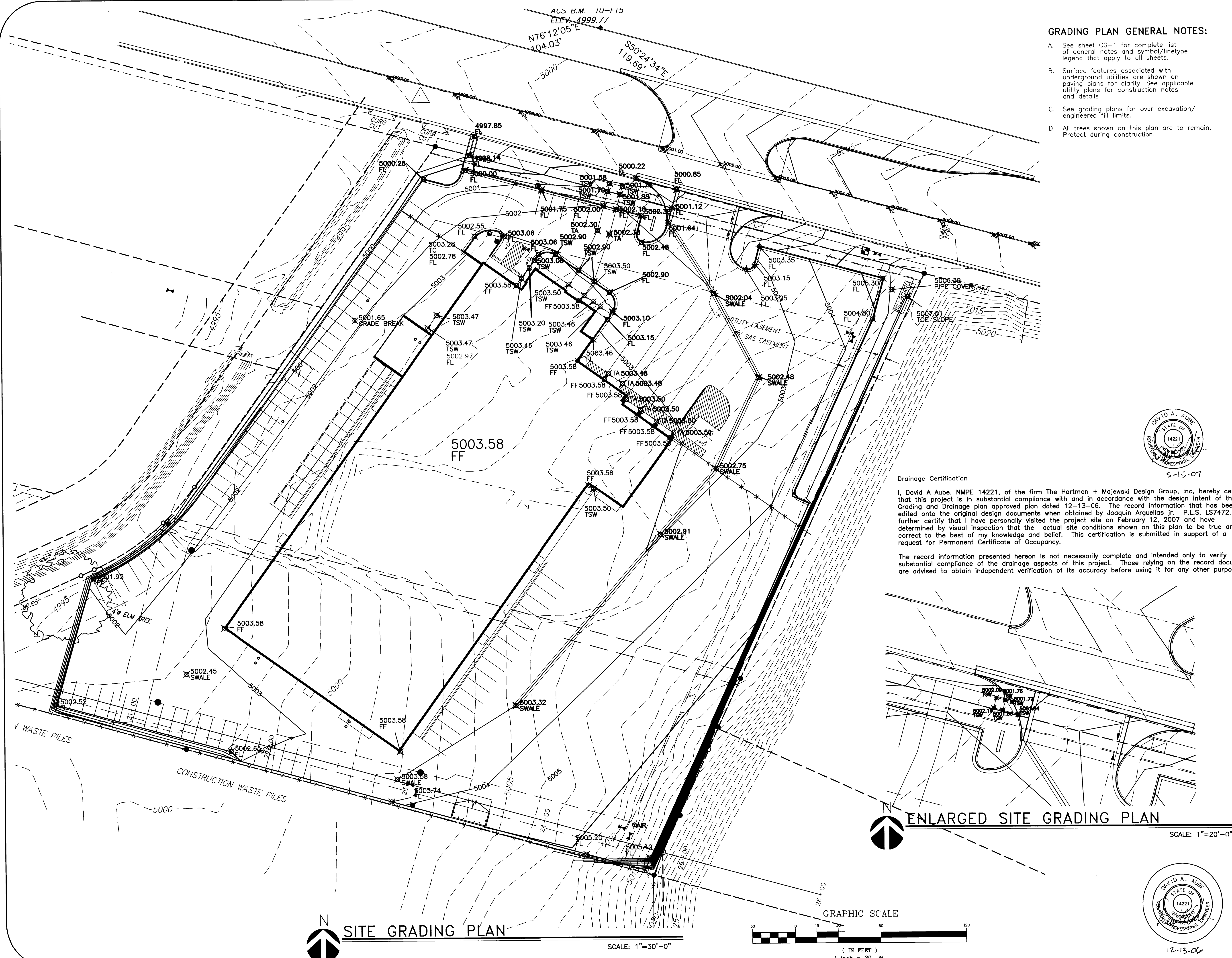
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**WATER LINE
PLAN AND
PROFILE**

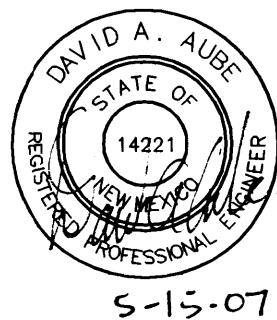
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C107



GRADING PLAN GENERAL NOTES:

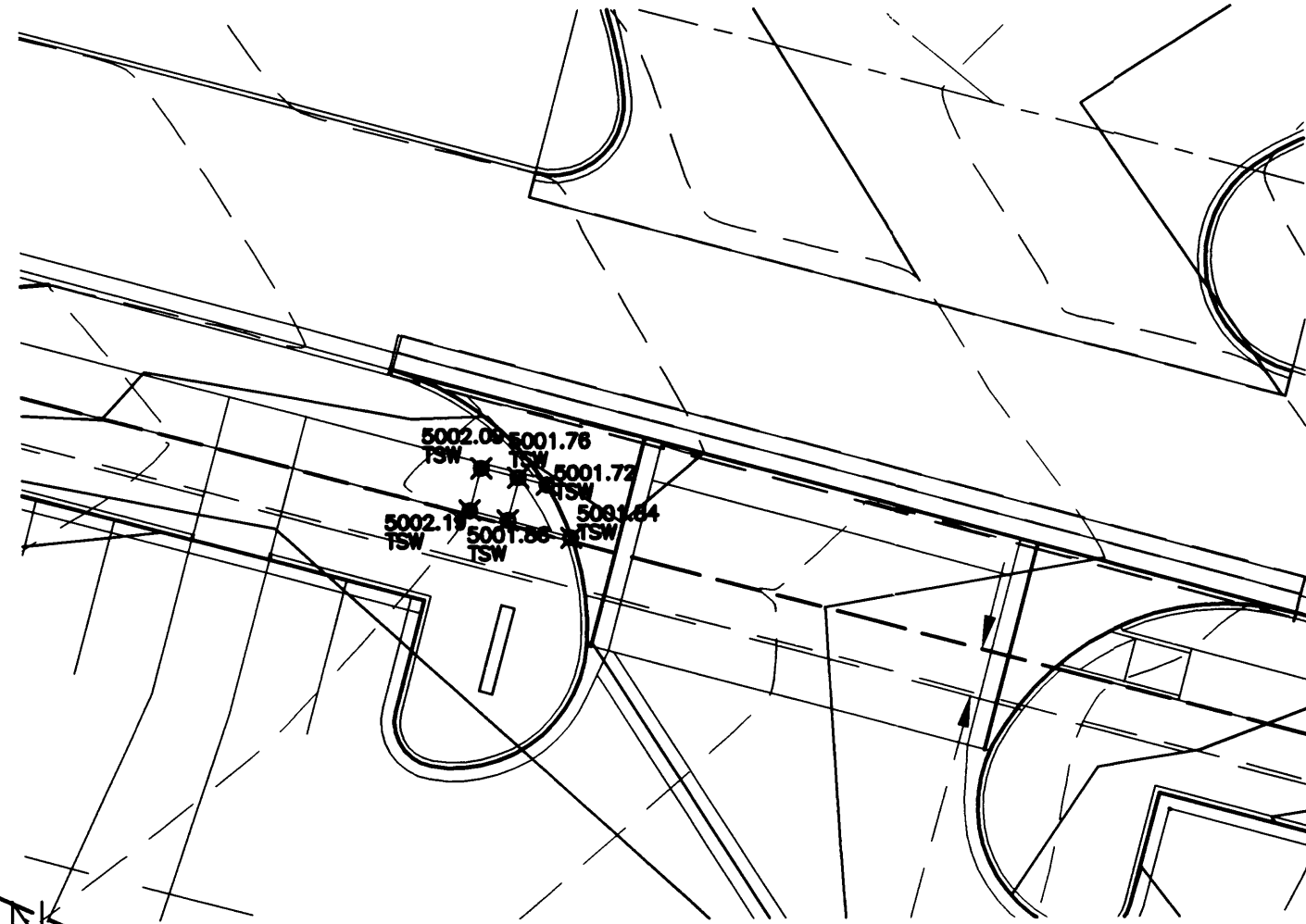
- A. See sheet CG-1 for complete list of general notes and symbol/linetype legend that apply to all sheets.
- B. Surface features associated with underground utilities are shown on paving plans for clarity. See applicable utility plans for construction notes and details.
- C. See grading plans for over excavation/ engineered fill limits.
- D. All trees shown on this plan are to remain. Protect during construction.



Drainage Certification

I, David A. Aube, NMPE 14221, of the firm The Hartman + Majewski Design Group, Inc. hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Grading and Drainage plan approved plan dated 12-13-06. The record information that has been edited onto the original design documents when obtained by Joaquin Arguillas Jr. P.L.S. LS7472. I further certify that I have personally visited the project site on February 12, 2007 and have determined by visual inspection that the actual site conditions shown on this plan to be true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the drainage aspects of this project. Those relying on the record documents are advised to obtain independent verification of its accuracy before using it for any other purpose.



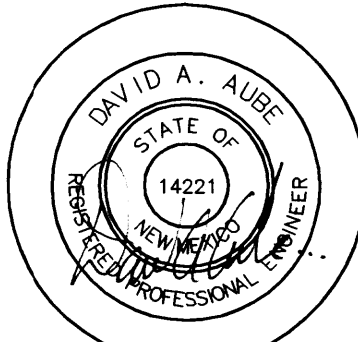
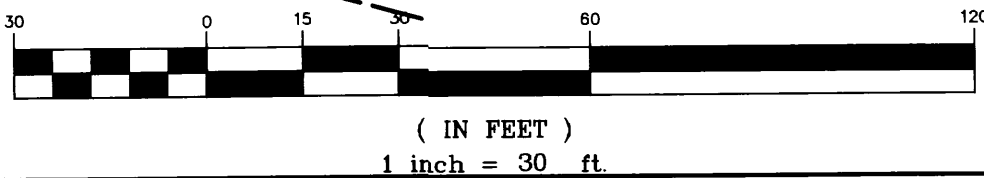
ENLARGED SITE GRADING PLAN

SCALE: 1"=20'-0"



SITE GRADING PLAN

SCALE: 1"=30'-0"



Revision/Issue	Date
1 DELETE ENTRANCE	11.6.06
No.	

Project Name and Address

**CAR CRAFTERS
MONTANO ROAD**

Albuquerque, New Mexico

THE DESIGN GROUP
ARCHITECTS • PLANNERS • INTERIOR DESIGN
202 CENTRAL AVENUE SE, SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.242.6880 FAX: 505.242.6881

Sheet Title	Sheet Number
SITE GRADING PLAN	C-2.1
Date 1/30/2006	
Project No. 2286CE	

Car Crafters Facility

I. PURPOSE AND SCOPE

The purpose of this drainage plan is to present the existing and proposed drainage management plans for the proposed Car Crafters Facility located on Montano near the Alameda Lateral. The site currently has a single 9,000 sf metal building and dirt access roads.

II. SITE DESCRIPTION AND HISTORY

The site was used for storage of vintage trucks. There were shops in the metal building for minor work on these vehicles. The Metal building was constructed around 1974 and vehicles were stored there until late 2004. The site was accessed through the Sunrise Heights Subdivision acrossed the Alameda Lateral.

The site generally slopes form east to southwest toward the Alameda Lateral. There is a retention pond located in the southwest corner near the Alameda Lateral. No water from the site is discharged into the Lateral.

III. COMPUTATIONAL PROCEDURES

Hydrologic analysis was performed utilizing the design criteria found in the COA-DPM Section 22.2 released in June 1997.

IV. PRECIPITATION

The 100-yr 6-hr duration storm was used as the design storm for this analysis. This site is located within Zone 2 as identified in the DPM Section 22.2. Tables within that section were used to establish the 6-hr precipitation, excess precipitation and peak discharge.

V. EXISTING DRAINAGE CONDITIONS OVERVIEW

The 4.4 acres site, located within Zone Atlas K-13-Z was first developed in 1974. The site was formerly used for storage of vintage trucks and minor work on the same.

The site generally slopes from east to the south west. There is a large detention pond located upstream of the site (on the east side) that is part of the Renaissance Park development. There is a large embankment to contain this detention pond along the east propoerty line. The only offsite drainage from the east is from water that lands directly on the embankment slope.

The site is bounded by Montano on the north side. There is COA Standard C&G that conveys water within the street section to an existing sump condition catch basin located approximately 200' west of the project limits. There are catch basins located on Montano to the east of the subject site that were designed to collect all water flowing down Montano from the East.

The site is bounded on the west by the Alameda Lateral, and by and empty property (sloping South) along the south property line.

The peak runoff from all On-site and Off-Site basins is collected in a retention pond located in the southwest corner of the site. No water from the site enters the Alameda Lateral. The combined peak runoff into the retenion pond was 13.26 cfs with excess runoff volume of 0.426 acre feet for the 100-yr 24-hr event.

VI. DRAINAGE MANAGEMENT PLAN

The site improvements include removal of the existing 9,000 sf metal building and the construction of a new 49,867 sf. Car Crafters Auto Body Facility and associated parking facilities. There will be a one new drive pads constructed for direct access from Montano. There will also be a sidewalk culvert constructed on the west side of the site to allow for release of water into Montano.

The site is designed to 85% impervious treatment and 15% landscaping. (except the small ponding located in the southwest corner.)

The site is designed to drain toward Montano. The peak runoff for the developed flow that will discharge into Montano is 19.60 cfs. The existing catch basin located west of the site along Montano is in a sump condition and should have approximately 22 cfs capacity. Because the catch basins to the east of the site picked up all surface water there should be sufficient capacity for this site to discharge freely into Montano.

The drive pad located at the east side of the site will drain a majority of the on site storm runoff into Montano. The peak flow rate through this drive pad is 12.00 cfs. The remaining runoff, 7.60cfs, will be drained through a pair of 2' wide sidewalk culverts on the west side of the site into Montano. The sidewalk culverts and drive pad are to be constructed per Public Work Order Drawings for project number 763181.

There is approximately $\frac{1}{8}$ acre in the south west corner of the site that cannot (without excessive earthwork) be drained into Montano. This area will need to retain the rainfall that lands within the proposed closed basin to prevent discharge into the Alameda Lateral. The peak runoff generated by this basin is 0.36 cfs with an excess runoff volume of .01 acre feet for the 100-yr 24-hr event. This area will be graded to create a flat spot to retain storm runoff up to 6" cap.

VII. CONCLUSIONS

The site is designed for free discharge into Montano. There should not be any significant impact to the large storm drainage system in Montano or downstream facilities. There is a small retention pond necessary in the southwest corner of the site that will retain only the water that lands in the ponding area (no parking lot drainage will flow into this area).

Drainage Summary

Project: Car Crafters
Project Numbe: 2286
Date: 12/12/06
By: Dave A

Site Location

Precipitaion Zone

2 Per Table A-1 COA DPM Section 22.2

Existing summary

Basin Name	Ex 1	Ex 2	Off Ex #1	Off Ex #2
Area (sf)	104073.6	87166.5	13720.9	4644.8
Area (acres)	2.39	2.00	0.31	0.11
%A Land treatment	0	0	0	0
%B Land treatment	70	70	20	20
%C Land treatment	15	20	80	80
%D Land treatment	15	10	0	0
Soil Treatment (acres)				
Area "A"	0.00	0.00	0.00	0.00
Area "B"	1.67	1.40	0.06	0.02
Area "C"	0.36	0.40	0.25	0.09
Area "D"	0.36	0.20	0.00	0.00
Excess Runoff (acre-feet)				
100yr. 6hr.	0.2058	0.1641	0.0278	0.0094
10yr. 6hr.	0.0946	0.0724	0.0124	0.0042
2yr. 6hr.	0.0309	0.0205	0.0033	0.0011
100yr. 24hr.	0.2177	0.1708	0.0278	0.0094
Peak Discharge (cfs)				
100 yr.	6.62	5.39	0.93	0.32
10yr.	3.33	2.64	0.49	0.17
2yr.	1.02	0.72	0.16	0.05

Proposed summary

Basin Name	Pro 1A	Pro 1B	Pro 2	Off Ex #1	Off Ex #2
Area (sf)	101402	82450	6407	13720.9	4644.8
Area (acres)	2.33	1.89	0.15	0.31	0.11
%A Land treatment	0	0	0	0	0
%B Land treatment	15	15	20	20	20
%C Land treatment	0	0	80	80	80
%D Land treatment	85	85	0	0	0
Soil Treatment (acres)					
Area "A"	0.00	0.00	0.00	0.00	0.00
Area "B"	0.35	0.28	0.03	0.06	0.02
Area "C"	0.00	0.00	0.12	0.25	0.09
Area "D"	1.98	1.61	0.00	0.00	0.00
Excess Runoff (acre-feet)					
100yr. 6hr.	0.3723	0.3027	0.0130	0.0278	0.0094
10yr. 6hr.	0.2291	0.1863	0.0058	0.0124	0.0042
2yr. 6hr.	0.1308	0.1064	0.0015	0.0033	0.0011
100yr. 24hr.	0.4382	0.3563	0.0130	0.0278	0.0094
Peak Discharge (cfs)					
100 yr.	10.10	8.21	0.44	0.93	0.32
10yr.	6.54	5.32	0.23	0.49	0.17
2yr.	3.71	3.02	0.07	0.16	0.05

Revision/Issue Date

No.	1	CHANGE ENTRANCE TO MONTANO	12.12.06
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Project Name and Address

CAR CRAFTERS
MONTANO ROAD

Albuquerque, New Mexico

dg THE DESIGN GROUP
ARCHITECTS PLANNERS INTERIOR DESIGN
202 CENTRAL AVENUE SE SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.242.6880 FAX: 505.242.6881

Sheet Title

DRAINAGE NARRATIVE

Date

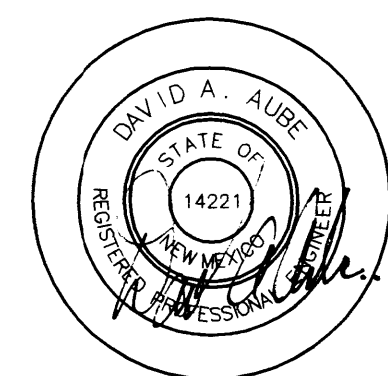
1/30/2006

Project No.

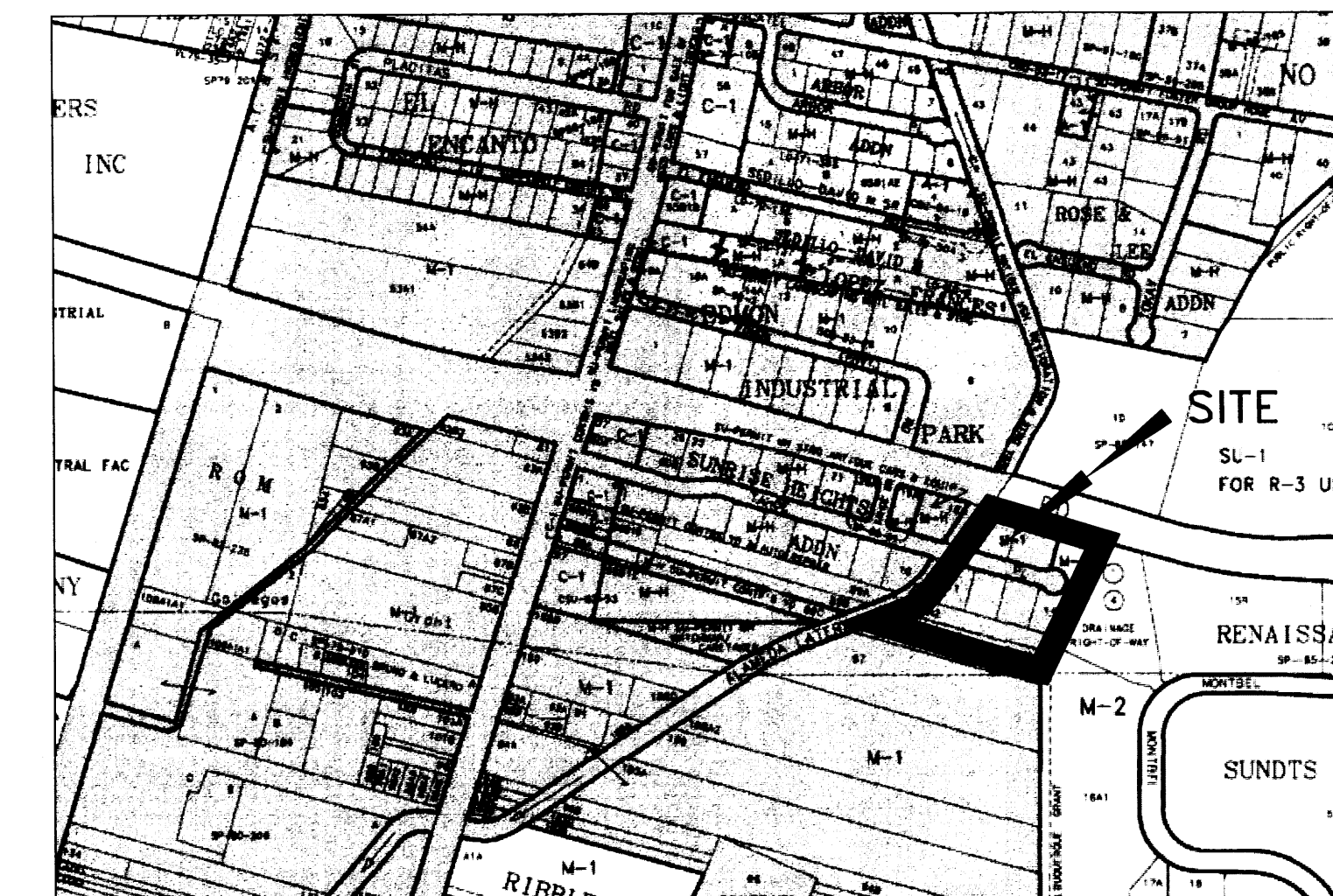
2286CE

Sheet Number

CD.3



12-13-06



 **VICINITY MAP**
NOT TO SCALE ZONE ATLAS F-15

CURVE	CURVE TABLE			DELTA
	LENGTH	RADIUS	TANGENT	
C11	39.23	25.00	24.96	89°54'48"
C12	15.66	10.00	9.95	89°42'48"
C13	39.29	25.00	25.02	90°02'30"
C14	16.78	10.00	11.13	96°08'18"
C15	7.85	5.00	5.00	90°00'00"
C16	6.49	3.00	5.63	123°55'28"
C17	9.84	10.00	5.36	56°21'58"
C18	43.60	30.00	26.67	83°15'58"
C19	44.11	30.05	27.10	84°05'52"
C20	47.09	114.00	23.89	23°40'00"
C21	41.31	100.00	20.95	23°40'00"
C22	13.23	10.00	7.78	75°46'58"
C23	5.43	30.00	2.72	102°1'48"
C24	14.14	4.50	INFINITE	180°00'00"
C25	7.83	5.00	4.98	89°45'58"
C26	18.15	15.00	10.37	69°19'48"
C27	9.66	5.00	7.23	110°40'18"
C28	24.20	20.00	13.83	69°19'48"
C29	7.85	5.00	5.00	90°00'00"
C30	5.47	3.00	3.87	104°28'38"
C31	5.47	3.00	3.87	104°28'38"
C32	19.77	15.00	11.62	75°31'12"
C33	19.77	15.00	11.62	75°31'12"
C34	1.38	179.25	0.69	0°26'00"
C35	99.11	179.25	50.86	31°40'00"

LINE TABLE		
LINE	LENGTH	BEARING
L11	3.91	S15°12'00"
L12	23.75	N75°05'18"
L13	1.41	N76°33'10"
L14	13.00	N14°54'42"
L15	135.00	N75°05'18"
L16	13.81	S14°54'42"
L17	3.53	N15°12'00"
L18	125.98	N24°47'07"
L19	47.61	N65°12'53"
L20	59.73	S24°47'07"
L21	151.46	S24°36'14"
L22	59.77	S24°47'07"
L23	156.23	S24°36'14"
L24	89.77	N74°34'14"
L25	152.22	N74°34'14"
L26	15.50	N15°25'46"
L27	15.50	S15°25'46"
L28	126.00	N74°34'14"
L29	95.54	N15°49'27"
L30	182.50	N35°34'50"
L31	15.63	S54°11'01"
L32	11.99	N35°34'56"
L33	1.62	S54°17'22"
L34	34.67	N35°35'08"
L35	1.62	S54°17'22"
L36	5.02	N35°34'56"
L37	11.34	N75°05'18"
L38	10.30	N35°34'56"
L39	27.00	N54°25'04"
L40	11.75	N35°34'56"
L41	36.15	N75°05'18"
L42	13.82	S14°54'42"
L43	21.13	S14°54'42"
L44	13.61	S35°34'56"
L45	37.24	S14°54'42"
L46	14.00	N14°54'42"
L47	269.05	N35°34'56"

TABULATED PARKING—REQUIRED BY ZONING		
PARKING REQUIRED	REGULAR	77 TOTAL
	HC	3 TOTAL
	VAN HC	1 TOTAL
		80 TOTAL
PARKING PROVIDED	REGULAR	69 TOTAL
	COMPACT	14 TOTAL
	HC	3 TOTAL
	VAN HC	1 TOTAL
		87 TOTAL

PARKING REQUIRED
1 SPACE/1000SF MANUFACTURING (40,000 SF)
= 40 SPACES +
1 SPACE/200SF OFFICE (8000SF) = 40 SPACE
TOTAL REQUIRED 80 SPACES
OR 1 SPACE PER 3 EMPLOYEE IN
MANUFACTURING SPACES (75 EMPLOYEES)
= 25 SPACES

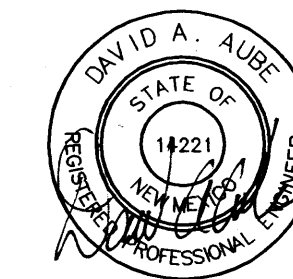
PAVING PLAN GENERAL NOTES:

- A. See sheet C-G.1 for complete list of general notes and symbol/line type legend that apply to all sheets.
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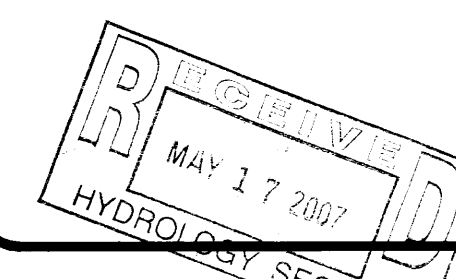
Drainage Certification

I, David A Aube, NMPE 14221, of the firm The Hartman & Majewski Design Group, Inc, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Plan approved plan dated 2-15-07. The record information that has been edited onto the original design documents when obtained by Danny Osborn of the firm BroCon Construction. I further certify that I have personally visited the project site on February 16, 2007 and have observed by visual inspection that the actual site conditions shown on this plan to be true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the drainage aspects of this project. Those relying on the record documents are advised to obtain independent verification of its accuracy before using it for any other purpose.



5-15-07



Revision/Issue		Date
2	DELETE ACCESS	12.20.0
1	DELETE ENTRANCE	11.6.0
No.		

Project Name and Address

CAR CRAFTERS
MONTANO ROAD

Albuquerque, New Mexico



Sheet Title	TRAFFIC CIRCULATION LAYOUT
Date	1/30/2006
Project No.	2286CE

Sheet Number

TCL

2-16-07