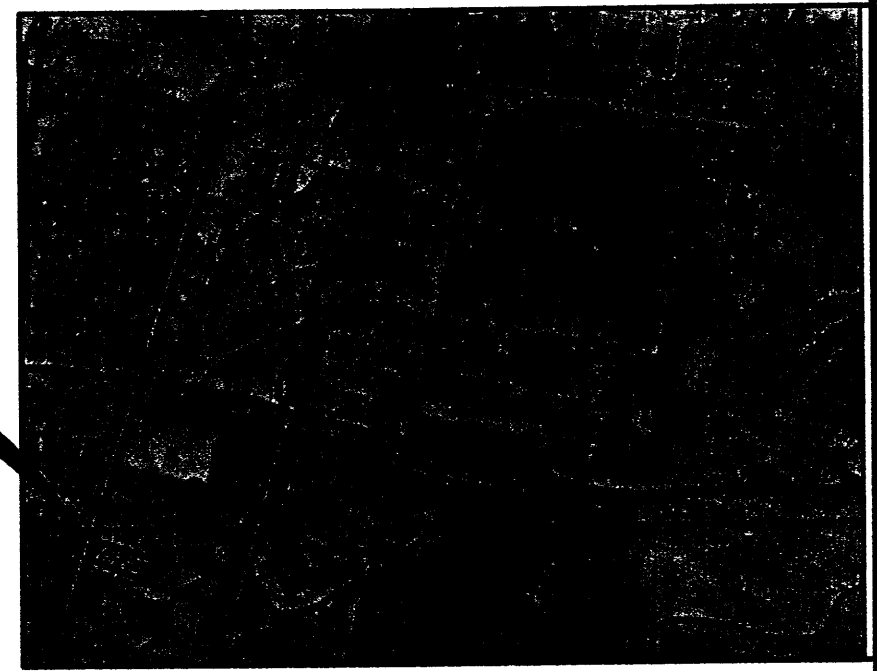
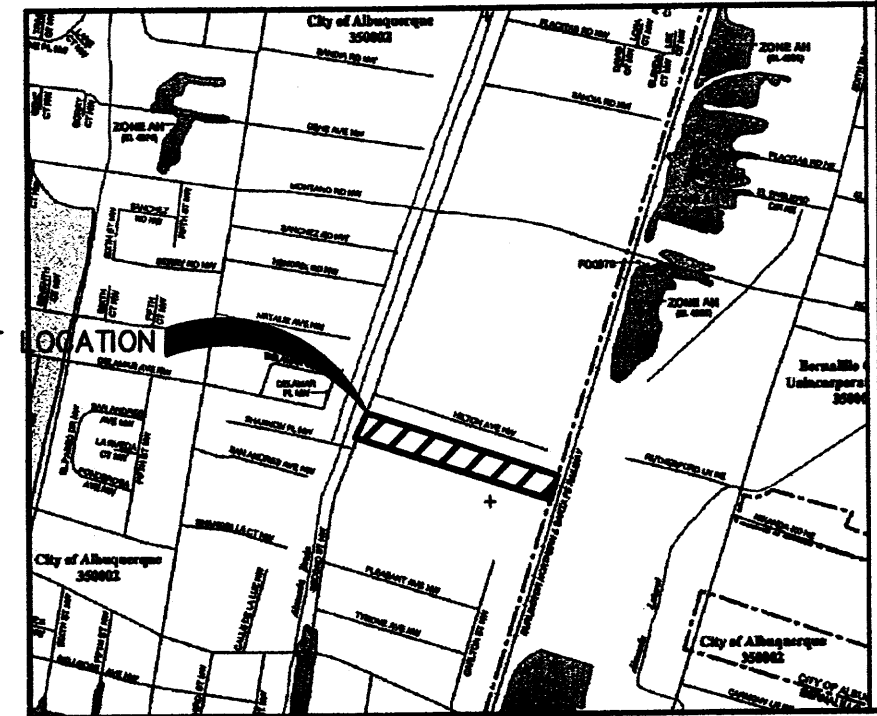


LOCATION MAP
ZONE ATLAS MAP NO. F-15



SOILS MAP
REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY
SHEET NO. 21



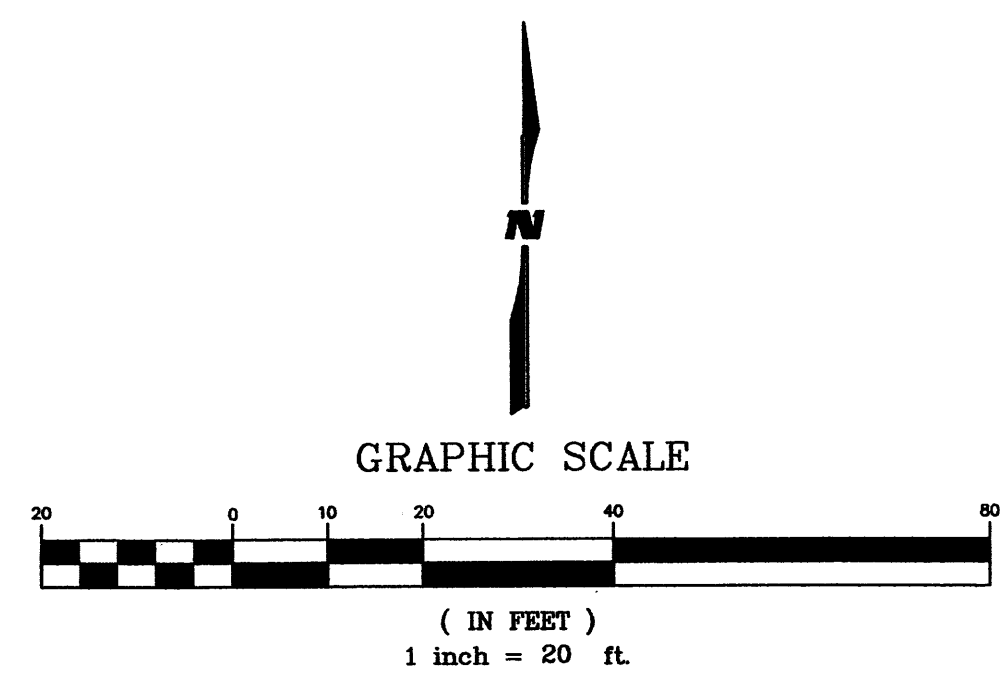
FLOOD INSURANCE MAP
REFERENCE: FLOOD INSURANCE STUDY
PANEL 35001C0119E

LEGAL DESCRIPTION
A TRACT OF LAND SITUATE IN PROJECTED SECTION 33, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO, COMPRISED OF PARCEL 2 TRACT 127B, MRGCD MAP 32; PARCEL 3, TRACT 128B, MRGCD MAP 32; PARCEL 4, TRACTS 129 B-2, 131 AND 131A, MRGCD MAP 32, AND A PORTION OF THE VACATED GALLEGOS LATERAL (FILED AUGUST 29, 1975, BOOK MISC. 437, PP. 740, 741).

BENCH MARK
ACS STATION 8-F15 1 3/4" ALUMINUM DISK EPOXIED TO THE TOP OF A CONCRETE BASE OF A GALVANIZED STEEL ELECTRIC TRANSMISSION LINE POLE, APPROXIMATELY 10' NORTH OF THE NORTHWEST OF THIS PROPERTY. ELEVATION 4973.196 (NGVD 1988)

- LEGEND**
- | | | | |
|------|--|-----------|-------------------------------------|
| WV | WATER VALVE | FL | FLOWLINE |
| WM | WATER METER | --- | METAL FENCE |
| FH | FIRE HYDRANT | --- | CHAIN LINK FENCE |
| MH | SANITARY SEWER MANHOLE | --- | WIRE OR WOOD FENCE |
| WM | WATER METER | --- | CONCRETE BLOCK WALL |
| PP | POWER POLE | --- | EXISTING CONTOURS @ 1 FT. INTERVALS |
| ANCH | ANCHOR | --- | INDEX CONTOURS @ 5 FT. INTERVALS |
| LP | LIGHT POLE | --- | PROPOSED 3" ASPHALT |
| PYL | STEEL TRANSMISSION LINE PYLON | BASIN 101 | EXISTING BASIN DESIGNATION |
| CATV | CABLE TELEVISION RISER | BASIN 201 | PROPOSED BASIN DESIGNATION |
| --- | OVERHEAD POWER LINE | --- | EXISTING BASIN BOUNDARY |
| + | SPOT ELEVATION
UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO NATURAL GRADE | --- | PROPOSED BASIN BOUNDARY |
| EC | EDGE OF CONCRETE | --- | ROOF DRAIN FLOW DIRECTION |
| TC | TOP OF CURB | --- | SWALE/DIRECTION OF SURFACE FLOW |
| | | --- | PROPERTY LINE |

APPROVED FOR ROUGH GRADING



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

WILSON & COMPANY
4900 LANG AVE NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 348-4000

**NORTH 2ND STREET
BUSINESS CENTER**

**OVERALL
GRADING & DRAINAGE PLAN**

NO.	DATE	REMARKS	BY
DESIGN	MJJ	WCEA NO. 06600090	DATE APR 2007
DRAWN	STAFF	PROJECT NO. N/A	SHEET NO. C-103A
CHECK	MJJ		

SO 19

NOTICE TO CONTRACTOR

1. AN EXCAVATION/ CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.

2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.

3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.

4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

5. BACKFILL COMPACTION SHALL BE ACCORDING TO COMMERCIAL STREET FL: 71.91 USE.

6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

WILSON & COMPANY

HYDROLOGY

INSPECTOR

WCEA # 06600090

APPROVALS

NAME

DATE

MAP NO.

NORTH 2nd STREET BUSINESS CENTER

F-15-Z

GRADING NOTES

1. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.

2. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED TO THE ELEVATIONS, AND IN ACCORDANCE WITH THE TYPICAL SECTIONS SHOWN ON THIS PLAN.

3. THIS PLAN IS FOR THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH MATERIALS AND THE CONSTRUCTION OF REQUIRED RETAINING WALLS ONLY.

4. PAVING AND ROADWAY GRADES SHALL BE +.05 FOOT FROM SHOWN PLAN ELEVATIONS.

5. PADS SHALL NOT VARY FROM A TRUE HORIZONTAL PLANE BY MORE THAN +.01 FOOT AT ANY POINT. THIS TRUE PLANE SHALL NOT VARY FROM THE SHOWN PAD ELEVATION BY +0.2 FOOT, UNLESS PERMITTED BY OWNER.

6. CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL REGULATION WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS AND GRADING OPERATIONS.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS AND INSPECTION APPROVALS NECESSARY FOR THE CONSTRUCTION OF THESE FACILITIES AND ALL GRADING OPERATIONS.

8. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.

9. ALL RIM ELEVATIONS FOR SANITARY SEWER AND STORM DRAIN MANHOLES ARE APPROXIMATE ONLY. RIMS SHALL BE ADJUSTED FLUSH TO GRADE AT FINAL PAVING.

10. BOULDERS, GREATER THAN 3' IN DIAMETER, EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.

11. UNLESS OTHERWISE SHOWN, DRAINAGE SWALES SHALL HAVE A MINIMUM 1% SLOPE IN THE DIRECTION OF FLOW.

NORTH 2nd STREET BUSINESS CENTER

Master Grading & Drainage

Drainage Report

Site Location: The North 2nd Street Business Center is located at 5124 2nd Street NW just south of the intersection of Montano Road and 2nd street. The proposed development will comprise of new buildings with site work improvements. Improvements include a parking lot, curb & gutter, paving, and sidewalk.

Methodology: Section 22.2 of City of Albuquerque DPM was followed to calculate the design volume. The charts and formulas in Part A were followed using the 100-year frequency 6-hour rainfall as the design storm. The site is located in Zone 2 as determined from Table A-1. The total storm volume was calculated as per section A.5. The peak discharge was calculated as per section A.6.

Existing Conditions: The drainage from the site flows in an east to west direction toward 2nd Street. Basin 101 encompasses the entire site. The subject property is bounded on the north with CMU wall, east by a building and fencing, and south by chainlink fence. 2nd street bounds the west side of the subject area. Off-site flows are cut off by existing fencing or natural ground ridges along the existing property lines and therefore do not enter the site.

Existing volumetric runoff and peak discharge quantities are as shown below:

Table 1 - Existing Conditions							
Treatment							
Basin	Area (ac)	A (%)	B (%)	C (%)	D (%)	V _{30yr} (ac-ft)	Q _{30yr} (cfs)
101	6.12	0	0	90	10	0.627	20.17
Total	6.12					0.627	20.17

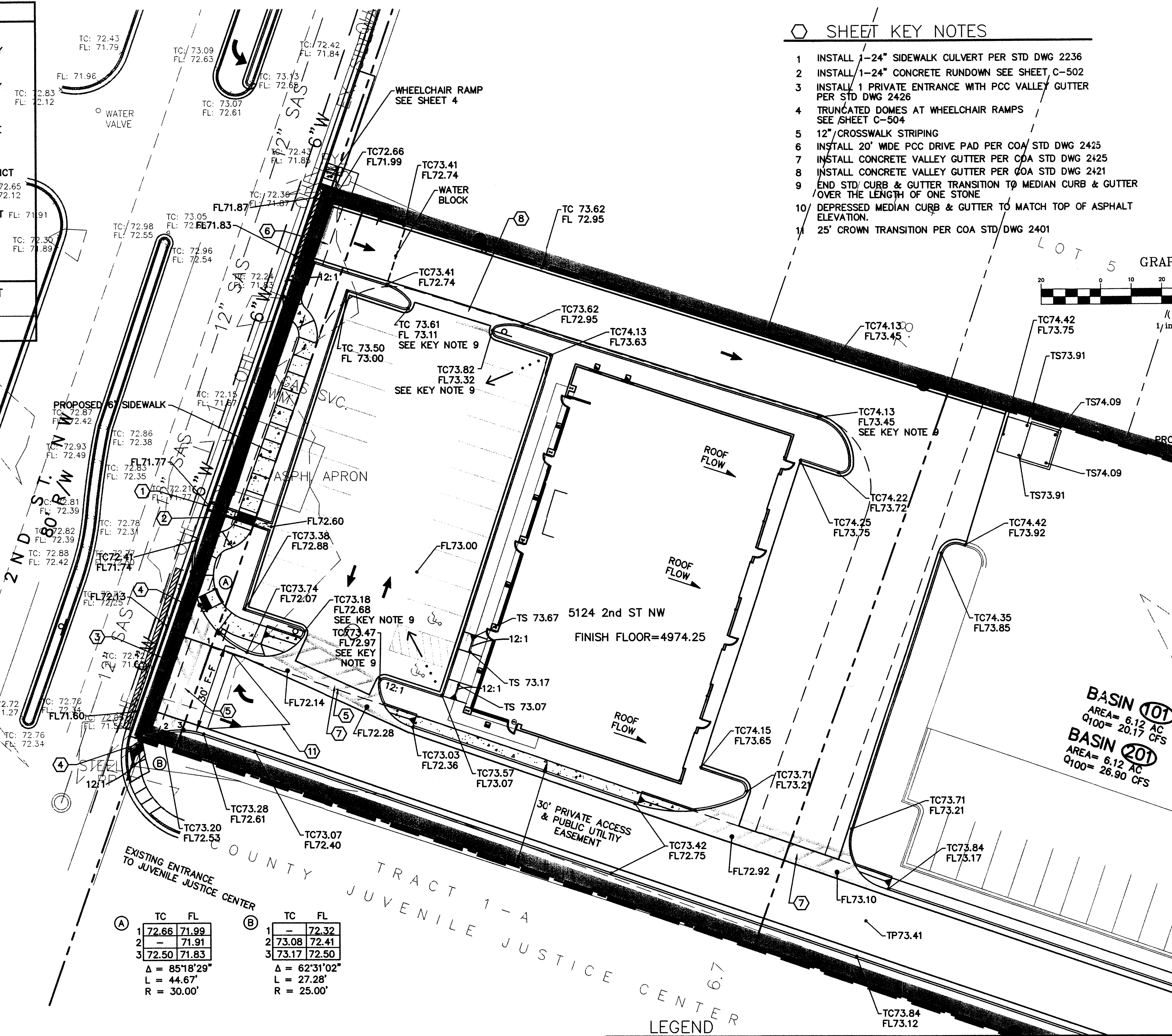
Table 1 - Provides a breakdown of existing volumetric runoff and peak discharge of the site.

Proposed Conditions: The proposed improvements maintained the same flow direction as the existing. The proposed basin remained the same as the existing. Basin 201 will continue to drain into Second Street. Volumetric run-off will primary surface flow onto the private access road along the south property line and discharge onto 2nd street. The private access road street capacity is approximately 52.59 cfs. Calculations are provided on figure 1. A portion of the surface flow will be conveyed to 2nd street via the north driveway entrance. The north driveway access road is approximately 46.46 cfs. Calculations are provided in figure 1. The proposed runoff from the entire site is 26.86 which is well below the capacities of both the access road and north driveway.

Proposed volumetric runoff and peak discharge quantities are as shown below:

Table 2 - Proposed Conditions							
Treatment							
Basin	Area (ac)	A (%)	B (%)	C (%)	D (%)	V _{30yr} (ac-ft)	Q _{30yr} (cfs)
201	6.12	10	0	0	90	1.001	26.86
Total	6.12	10			90	1.001	26.86

Table 2 - Provides a breakdown of proposed volumetric runoff and peak discharge of the site.



TC FL

1 72.66 71.99

2 71.91

3 72.50 71.83

$\Delta = 85^{\circ}18'29''$

$L = 44.67'$

$R = 30.00'$

TC FL

1 72.32

2 73.08 72.41

3 73.17 72.50

$\Delta = 62^{\circ}31'02''$

$L = 27.28'$

$R = 25.00'$

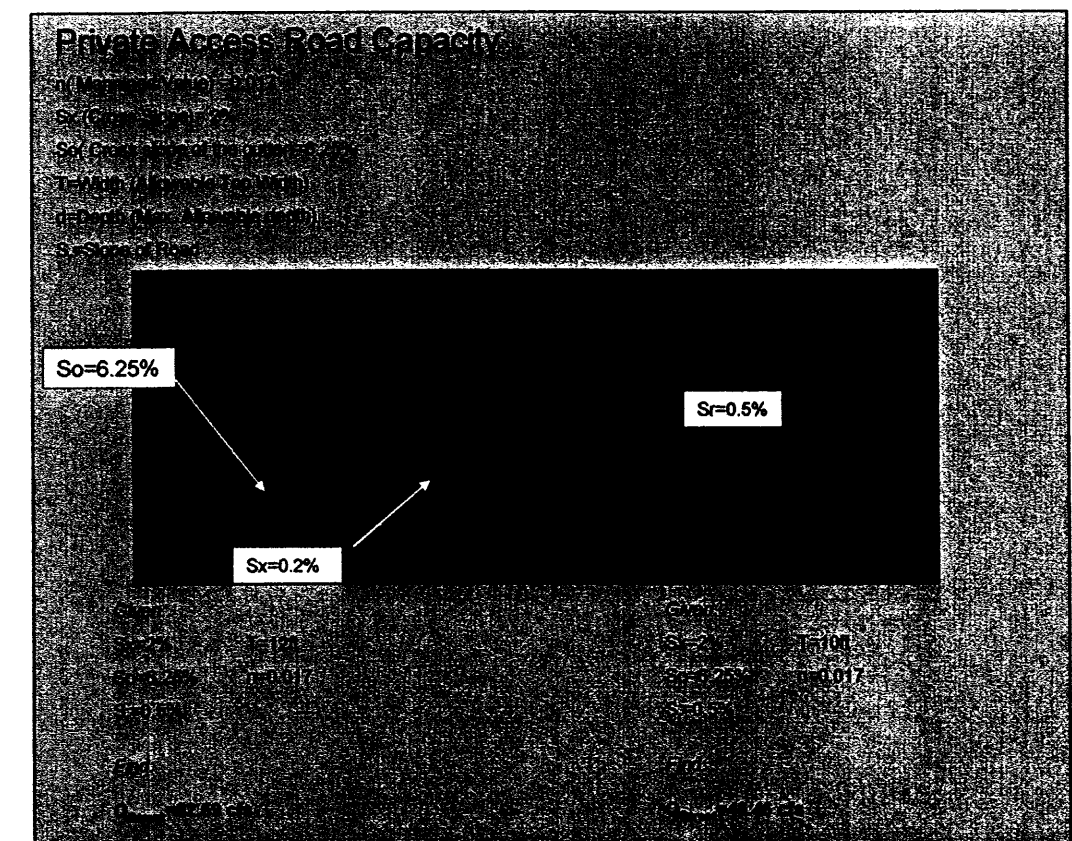
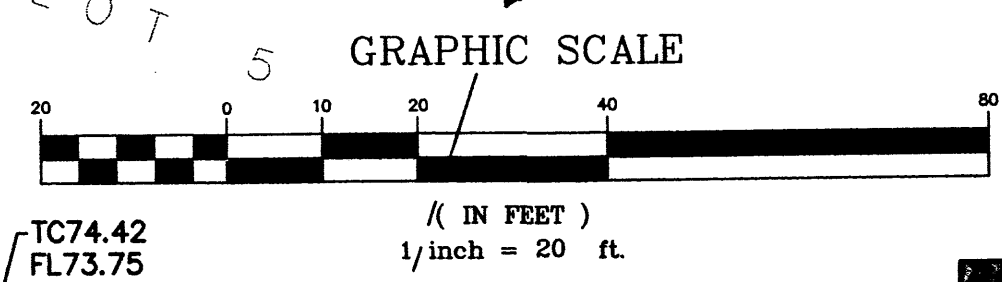


Figure 1 - Private Access Road Capacity

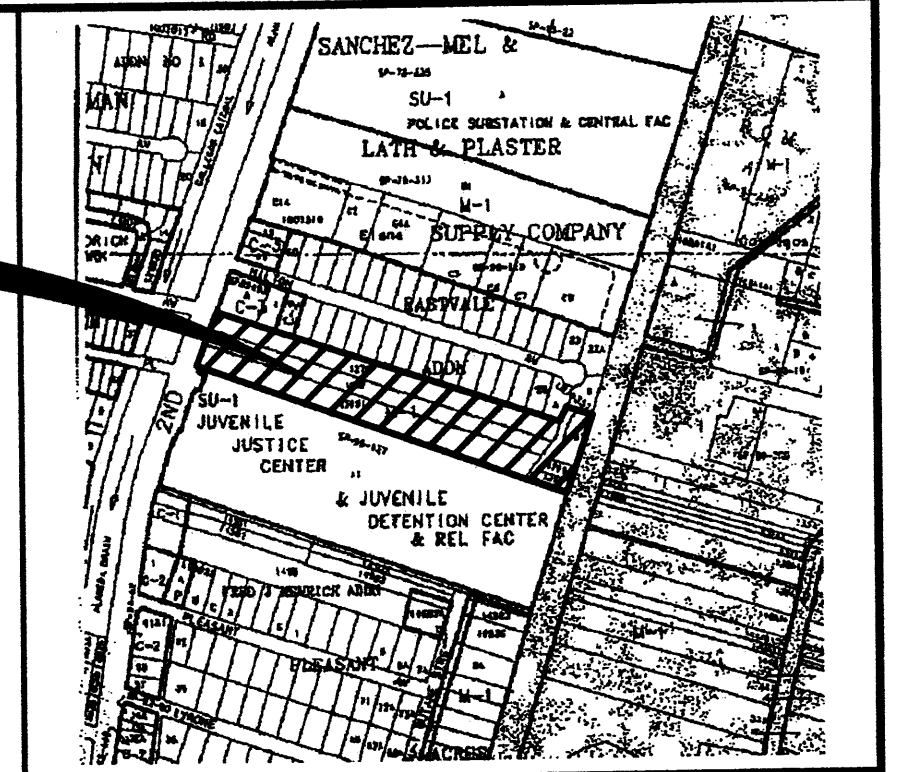
Conclusion: In conclusion, comparing existing conditions to proposed development, there will be an increase of approximately 6.69 cfs or 33% more drainage into Second Street. The increase in peak discharge will not significantly impact the flow into Second Street. Equally important, street capacities are adequate for storm run-off conveyance.

SHEET KEY NOTES

1. INSTALL 1-24" SIDEWALK CULVERT PER STD DWG 2236
2. INSTALL 1-24" CONCRETE RUNDOWN SEE SHEET C-502
3. INSTALL 1 PRIVATE ENTRANCE WITH PCC VALLEY GUTTER PER STD DWG 2426
4. TRUNCATED DOMES AT WHEELCHAIR RAMPS SEE SHEET C-504
5. 12" CROSSWALK STRIPING
6. INSTALL 20' WIDE PCC DRIVE PAD PER COA STD DWG 2425
7. INSTALL CONCRETE VALLEY GUTTER PER COA STD DWG 2425
8. INSTALL CONCRETE VALLEY GUTTER PER COA STD DWG 2421
9. END STD CURB & GUTTER TRANSITION TO MEDIAN CURB & GUTTER OVER THE LENGTH OF ONE STONE
10. DEPRESSED MEDIAN CURB & GUTTER TO MATCH TOP OF ASPHALT ELEVATION.
11. 25' CROWN TRANSITION PER COA STD DWG 2401



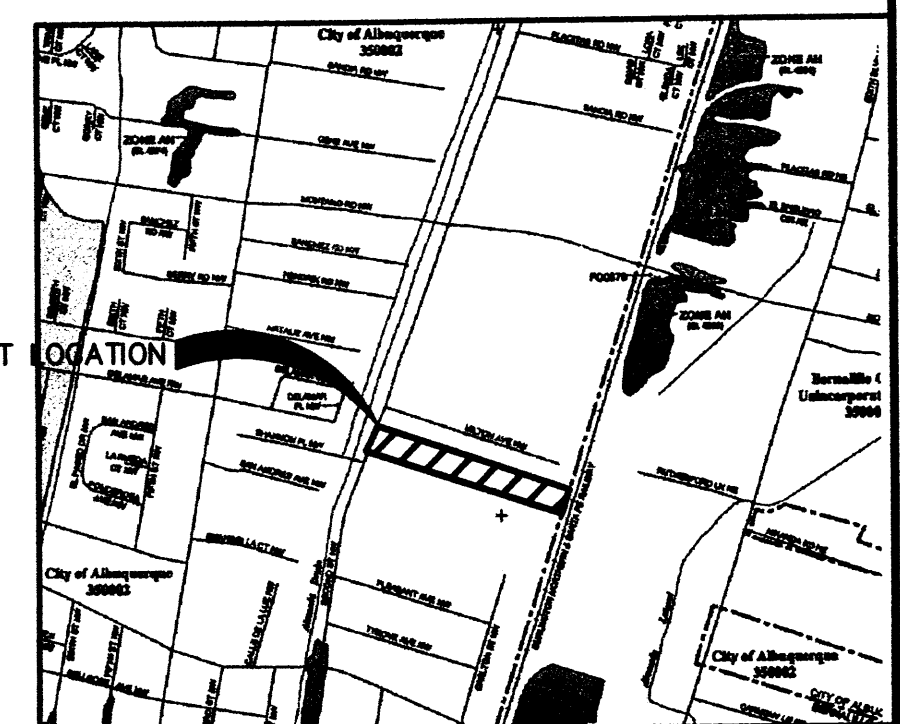
PROJECT LOCATION



LOCATION MAP
ZONE ATLAS MAP NO. F-15

SOILS MAP

REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 21



FLOOD INSURANCE MAP
REFERENCE: FLOOD INSURANCE STUDY PANEL 35001C0119E

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ACS STATION 8-F15 1 3/4" ALUMINUM DISK EPOXIED TO THE TOP OF A CONCRETE BASE OF A GALVANIZED STEEL ELECTRIC TRANSMISSION LINE POLE, APPROXIMATELY 10' NORTH OF THE NORTHWEST OF THIS PROPERTY. ELEVATION 4973.196 (NGVD 1988)

WV WATER VALVE

WM WATER METER

FH FIRE HYDRANT

MH SANITARY SEWER MANHOLE

WM WATER METER

PP POWER POLE

ANCH ANCHOR

LP LIGHT POLE

PYL STEEL TRANSMISSION LINE PYLON

CATV CABLE TELEVISION RISER

OVERHEAD POWER LINE

SPOT ELEVATION UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO NATURAL GRADE

EC EDGE OF CONCRETE

TC TOP OF CURB

FL FLOWLINE

METAL FENCE

CHAIN LINK FENCE

WIRE OR WOOD FENCE

CONCRETE BLOCK WALL

EXISTING CONTOURS 1 FT. INTERVALS

INDEX CONTOURS 5 FT. INTERVALS

PROPOSED 3" ASPHALT

BASIN 101 EXISTING BASIN DESIGNATION

BASIN 201 PROPOSED BASIN DESIGNATION

EXISTING BASIN BOUNDARY

PROPOSED BASIN BOUNDARY

ROOF DRAIN FLOW DIRECTION

SWALE/DIRECTION OF SURFACE FLOW

PROPERTY LINE

CITY OF ALBUQUERQUE
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ENGINEERING GROUP

WILSON & COMPANY

4900 LANG AVE
ALBUQUERQUE, NEW MEXICO 87110
(505) 348-4000
(505) 348-4072 Fax
www.wilsonco.com

NORTH 2nd STREET BUSINESS CENTER

GRADING & DRAINAGE PLAN

DESIGN MJI

DRAWN STAFF

CHECK MJI

WCEA NO. 06600090

PROJECT NO. N/A

DATE APR 2007

SHEET NO. C-103

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